

Londonderry Heritage/Historic District Commission Meeting

January 22, 2026 - 7:00 P.M.

MOOSE HILL CONFERENCE ROOM

AGENDA

- I. Open Meeting
- II. Approval of minutes from prior meeting
- III. Election of Officers
- IV. Applications for Advisory input to the Planning Board
 - A. Site plan for a two story 41,700 square foot building with 12 indoor pickleball courts along with 21 outdoor pickleball courts and associated site improvements in the Commercial II (C-II), 2 Highlander Way, Map 28, Lot 10-0, City of Manchester (Owner), Benton Family Trust (Applicant); 5 Highlander Way, Map 28, Lots 10-4, Benton Family Realty LLC (Owner/Applicant), Commercial II (C-II) Zoning District; 3385 Brown Avenue, Map 28, Lot 9, City of Manchester (Owner), Benton Family Trust (Applicant)

Documents:

[17562-06 SITE PLANS R00.2.PDF](#)
[CONDITIONAL USE PERMIT APPLICATION - COMPLETE.PDF](#)

- B. Site plan for a retail car dealership and associated site improvements in the Commercial 2 (C-II) Zoning District. 6 Dickey Street, Tax Map 10, Lot 109, Leon & Tamara Lampes (Owner/Applicant).

Documents:

[SITE PLAN APPLICATION.PDF](#)
[18301 SITE PLAN SET_2025-11-07.PDF](#)

- C. Subdivision for 16 residential lots and associated site improvements in the Agricultural Residential (AR-1) District. 35 Elwood Road, Map 5 Lot 39; 16 Dan Hill Road, Map 5 Lot 39-5; 54A Elwood Road, Map 5 Lot 40; 68 Rear Elwood Road, and Map 5 Lot 72, Estate of Wayne Elwood c/o Linda & Christina Elwood (owner) & Belize Real Estate Holdings, LLC (applicant).

Documents:

[SUBDIVISION APPLICATION AND CHECKLIST EXHIBIT 5.PDF](#)
[ELWOOD PLAN SET_2025.12.22 \(1\).PDF](#)

- D. Site plan for renovation of an existing building to add a restaurant and associated parking in support of an agritourism operation at 230 Mammoth Road (Map 06, Lot 21), zoned Agricultural-Residential (AR-1). MHO Acquisition, LLC, (owner/applicant).

Documents:

[APPLICATION \(1\).PDF](#)

[5375-44 MACKS APPLES-LONDONDERRY SUBMITAL PLAN SET.PDF](#)

- V. Other business

- A. Discussion with Planning Board Chair – Role of Heritage in DRC process

- VI. Public input

- VII. Adjournment

GENERAL INFORMATION

OWNER

MAP 28 LOT 10-0
CITY OF MANCHESTER
C/O AIRPORT AUTHORITY
1 AIRPORT ROAD, SUITE 300
MANCHESTER, NH 03103

MAP 28 LOT 10-9
CITY OF MANCHESTER
C/O AIRPORT AUTHORITY
1 AIRPORT ROAD, SUITE 300
MANCHESTER, NH 03103

MAP 28 LOT 10-4
BENTON FAMILY REALTY LLC
1 HIGHLANDER WAY
MANCHESTER, NH 03103

APPLICANT / PREPARED FOR

BENTON FAMILY REALTY LLC
1 HIGHLANDER WAY
MANCHESTER, NH 03103

RESOURCE LIST

COMMUNITY DEVELOPMENT DEPARTMENT
268 B MAMMOTH ROAD
LONDONDERRY, NH 03053
(603) 432-1100 EXT. 129
KELLIE WALSH, TOWN PLANNER

PUBLIC WORKS
268 B MAMMOTH ROAD
LONDONDERRY, NH
(603) 432-1100 EXT. 152
DAVE WHOLLEY, DIRECTOR

POLICE DEPARTMENT
268 A MAMMOTH ROAD
LONDONDERRY, NH 03053
(603) 432-1118
FAX (603) 432-1117
CHIEF KIM BERNARD

FIRE DEPARTMENT
280 MAMMOTH ROAD
LONDONDERRY, NH
(603) 432-1124
FAX (603) 432-1129
CHIEF DARREN O'BRIEN

HEALTH DEPARTMENT
268 B MAMMOTH ROAD
LONDONDERRY, NH 03053
(603) 432-1100 EXT. 115

EXECUTIVE COUNTRY CLUB RACQUET SPORTS DEVELOPMENT



2 & 5 HIGHLANDER WAY
LONDONDERRY, NEW HAMPSHIRE

INDEX OF SHEETS

SHEET	SHEET TITLE
C-1	COVER
C-2	NOTES & LEGEND
SHEET 1 - 5	EXISTING CONDITIONS PLAN
C-3	SITE PREPARATION & DEMOLITION PLAN
C-4	OVERALL SITE LAYOUT PLAN
C-5	SITE LAYOUT PLAN
C-6	GRADING & DRAINAGE PLAN
C-8	UTILITY PLAN
C-9	SEWER PLAN & PROFILE
C-10	LANDSCAPE PLAN
C-11	EROSION CONTROL PLAN
C-12	EROSION CONTROL NOTES
C-13	LIGHTING PLAN
C-14 - C-22	DETAILS SHEET
T-1	TURNING MOVEMENT PLAN
REFERENCE PLANS BY ASSOCIATED PROFESSIONALS	
-	ARCHITECTURAL PLANS

PERMITS/APPROVALS

	NUMBER	APPROVED	EXPIRES
LONDONDERRY PLANNING BOARD SITE PLAN REVIEW	-	-	-
LONDONDERRY SEWER PERMIT	-	-	-
LONDONDERRY STORMWATER PERMIT	-	-	-
NHDES ALTERATION OF TERRAIN PERMIT	-	-	-

VARIANCES (APPROVED IN SUMMER 2025)

- MAP 028 LOT 010-4
- SEC. 4.3.3.A - TO ALLOW A SIDE YARD BUILDING/STRUCTURE ENCRoACHMENT OF 24.9 FT. OR A SETBACK OF 5.1 FT. WHERE 30 FT IS REQUIRED.
 - SEC. 4.3.2.A - TO ALLOW 0 FT. OF FRONTAGE WHERE 150 FT IS REQUIRED.
 - 4.3.3.B.2.a & b - TO NOT PROVIDE A 50 FT PERMANENTLY LANDSCAPED BUFFER ZONE WHERE AN EXISTING DRIVEWAY IS WITHIN 200 FT OF THE AR-1 ZONING DISTRICT.
 - 4.3.3.B.1 - TO ALLOW AN ENCRoACHMENT OF 15 FT. OR A 0 FT PERIMETER LANDSCAPE BUFFER, WHERE 15 FT IS REQUIRED IN C-II ZONE.
- MAP 028 LOT 010-0
- SEC. 4.3.3.B.1 - TO ALLOW AN ENCRoACHMENT OF UP TO 15 FT. OR A 0 FT PERIMETER LANDSCAPE BUFFER, WHERE 15 FT (30 FT AT RIGHT-OF-WAY) IS REQUIRED IN C-II ZONE.

11/18 /2025

ABUTTERS LIST EXECUTIVE HEALTH & SPORTS CENTER, LONDONDERRY NH

JOB # 17562.06

MAP 028 LOTS 004-0, 009-0, 010-0, 011-0, 012-0, 014-0; MAP 710 LOTS 1A, 2, 3, 7, 7E;
MAP 866 LOTS 4, 5, 7, 12, 13, 14, 16, 16A
CITY OF MANCHESTER
C/O MANCHESTER AIRPORT AUTHORITY
1 AIRPORT ROAD, SUITE 300
MANCHESTER, NH 03103

MAP 028 LOT 006-0
TOWN OF LONDONDERRY
268B MAMMOTH ROAD
LONDONDERRY, NH 03053

MAP 028 LOT 008-0; MAP 710 LOT 4
BLUE SKY HOLDINGS, LLC
51 MICHAEL STREET
MANCHESTER, NH 03104

MAP 866 LOTS 9 AND 10
KATHLEEN Y. WIBBER
3526 BROWN AVENUE
MANCHESTER, NH 03103

MAP 028 LOT 014C-8A
UNITED PARCEL SERVICE
ATTN: CORPORATE REAL ESTATE
56 GLENLAKE PKWY, NE
ATLANTA, GA 30328

MAP 028 LOT 005-0
CITY OF MANCHESTER
C/O MANCHESTER AIRPORT
AUTHORITY
1 AIRPORT ROAD, SUITE 100
MANCHESTER, NH 03103

MAP 710 LOT 5
CITY OF MANCHESTER
C/O 3F LLC
70 LOWELL STREET
MANCHESTER, NH 03101

MAP 028 LOTS 010-2, 010-4
BENTON FAMILY REALTY, LLC
1 HIGHLANDER WAY
MANCHESTER, NH 03103

MAP 028 LOT 010-1
TT OF HILLSBOROUGH, LLC
505 SOUTH FLAGLER DRIVE, STE 1400
WEST PALM BEACH, FL 33401

MAP 028 LOT 013-0 & MAP 710 LOT 1
JEFFREY W. & ANNIE MARIE CHICK
3563 BROWN AVENUE
MANCHESTER, NH 03103

MAP 028 LOT 014-10 & MAP 710 LOT 55
STATE OF NEW HAMPSHIRE
DEPARTMENT OF TRANSPORTATION
P.O. BOX 483
7 HAZEN DRIVE
CONCORD, NH 03302-0483

MAP 028 LOT 014B-0
HERTZ CORPORATION
8501 WILLIAMS ROAD
ESTERO, FL 33928

MAP 028 LOT 014-10
STATE OF NEW HAMPSHIRE
P.O. BOX 483
CONCORD, NH 03302

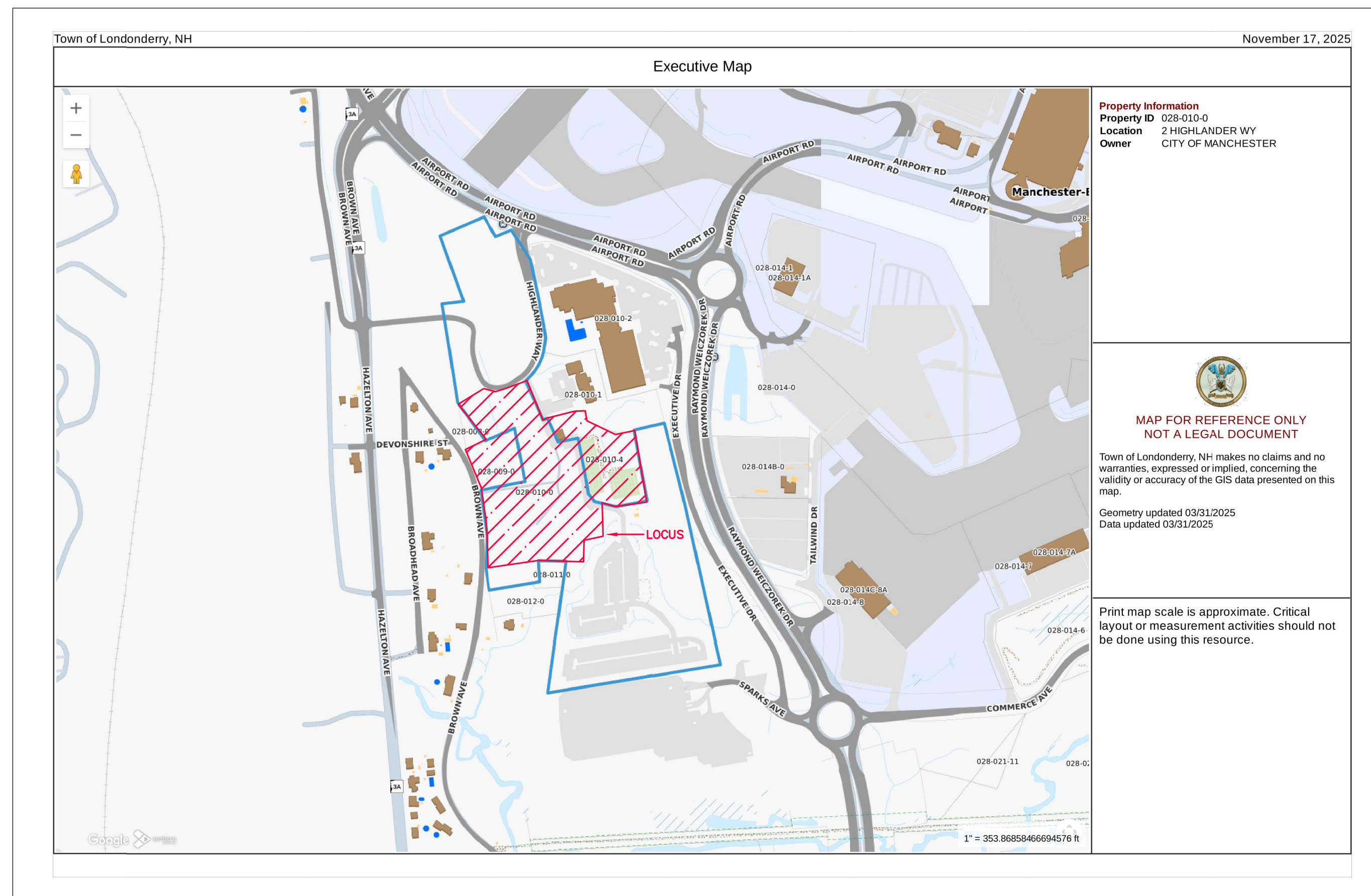
MAP 866 LOT 1
SCOTT RILEY
3600 BROWN AVENUE
MANCHESTER, NH 03103

TFMORAN, INC.
48 CONSTITUTION DRIVE
BEDFORD, NH 03110
ATTN: ROBERT DUVAL

MAP 866 LOT 19
ARCHIE F. SYRENE
142 LOWELL ST APT 6
MANCHESTER, NH 03104

MAP 866 LOT 6
ROGER A. BOULTIN
254 WOODCREST CT
MANCHESTER, NH 03109

MAP 710 LOT 8
CITY OF MANCHESTER
ONE CITY HALL PLAZA
MANCHESTER, NH 03101



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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

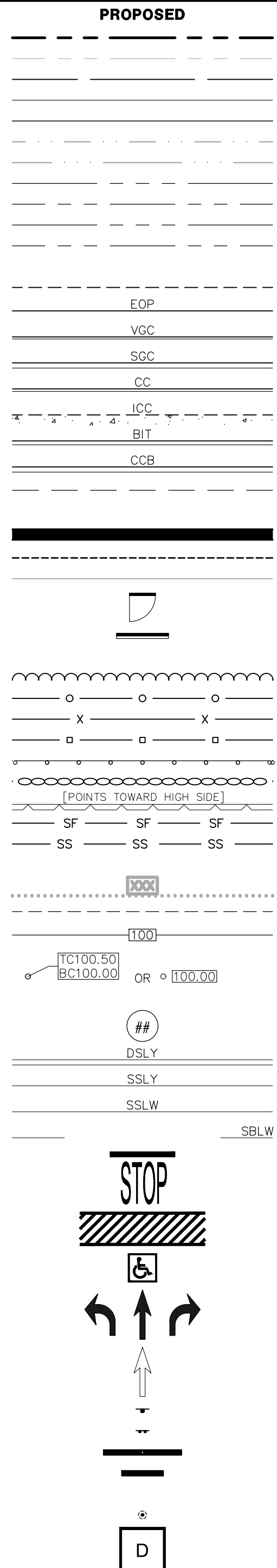
REV	DATE	DESCRIPTION	DR	CK

17562.06 DR JSH CADFILE 17562-06 COVER-DETAILS C-1

TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com

LEGEND



PROPOSED

PROPERTY LINE
ZONING LINE
EASEMENT
BASELINE
FLOODPLAIN
EDGE OF WATERBODY
EDGE OF WETLAND
SETBACK (WETLAND)
SETBACK (STRUCTURE)
SETBACK (PARKING)
SETBACK (LANDSCAPE)

GRAVEL ROAD
EDGE OF PAVEMENT
VERTICAL GRANITE CURB
SLOPED GRANITE CURB
CONCRETE CURB
INTEGRATED CONCRETE CURB
BITUMINOUS ASPHALT CURB
CAPE COD BERM
SAWCUT

BUILDING
BUILDING ROOF OVERHANG
BUILDING FOUNDATION
BUILDING ENTRANCE
OVERHEAD DOOR

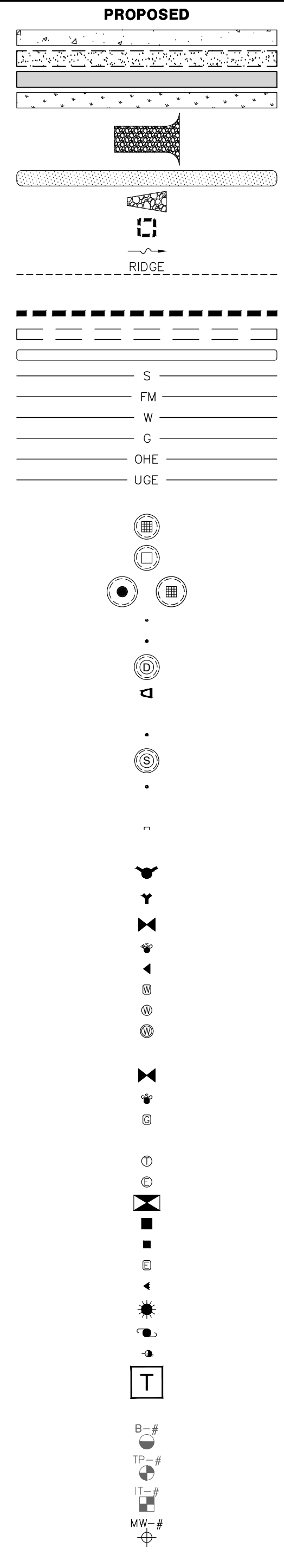
TREE LINE
FENCE (CHAIN LINK)
FENCE (WIRE)
FENCE (STOCKADE)
GUARDRAIL
STONE WALL
RETAINING WALL
SILT FENCE
SILT SOCK

SOIL BOUNDARY
LIMIT OF GRADING
CONTOUR
SPOT GRADE

PARKING COUNT

YELLOW DOUBLE SOLID LINE
YELLOW SINGLE SOLID LINE
WHITE SINGLE SOLID LINE
WHITE SINGLE BROKEN LINE

STOP BAR
CROSSWALK
ACCESSIBLE PARKING SYMBOL
PAVEMENT ARROW
TRAFFIC FLOW ARROW (NOT PAINTED)
SIGN (SINGLE POST)
SIGN (DOUBLE POST)
SIGN (PYLON)
SIGN (MONUMENT)
BOLLARD
DUMPSTER PAD



CONCRETE
GRAVEL
HEAVY DUTY PAVEMENT

CONSTRUCTION ENTRANCE

SNOW STORAGE
RIPRAP
INLET PROTECTION
FLOW ARROW
GRADE BREAK RIDGE

DRAIN LINE
DRAINAGE SWALE
STORMWATER BMP
SEWER LINE
SEWER FORCE MAIN LINE
WATER LINE
GAS LINE
OVERHEAD UTILITY LINE
UNDERGROUND UTILITY LINE

CATCH BASIN
DRAIN INLET
OUTLET CONTROL STRUCTURE
ROOF DRAIN
DRAIN CLEANOUT
DRAIN MANHOLE
FARED END SECTION

SEWER CLEAN OUT
SEWER MANHOLE
SEWER VENT

DRAIN/SEWER/WATER PLUG OR CAP

HYDRANT
FIRE DEPARTMENT CONNECTION
WATER GATE VALVE
WATER SHUTOFF
THRUST BLOCK
WATER METER
WATER MANHOLE
WELL

GAS GATE VALVE
GAS SHUT OFF
GAS METER

TELEPHONE MANHOLE
ELECTRIC MANHOLE
TRAFFIC CONTROL CABINET
ELECTRIC HANDHOLE
ELECTRIC PULL BOX
ELECTRIC METER
FLOOD LIGHT
LIGHT POLE
UTILITY POLE
GUY POLE
TRANSFORMER PAD

BORING LOCATION
TEST PIT LOCATION
INFILTRATION TEST LOCATION
MONITORING WELL

ABBREVIATIONS

GENERAL		UTILITIES	
ABAN	ABANDON	CB	CATCH BASIN
AC	ACRES	CIP	CAST IRON PIPE
ADJ	ADJUST	CMP	CORRUGATED METAL PIPE
APPROX	APPROXIMATE	CO	CLEANOUT
BC	BOTTOM OF CURB	COND	CONDUIT
BIT	BITUMINOUS	DCB	DOUBLE CATCH BASIN
BK/PG	BOOK & PAGE	DIP	DUCTILE IRON PIPE
BLDG	BUILDING	DMH	DRAIN MANHOLE
BMP	BEST MANAGEMENT PRACTICE	F&C	FRAME AND COVER
BS	BOTTOM OF SLOPE	F&G	FRAME AND GRATE
BW	BOTTOM OF WALL	FES	FLARED END SECTION
CONC	CONCRETE	GT	GREASE TRAP
COORD	COORDINATE	HDPE	HIGH DENSITY POLYETHYLENE PIPE
DIA	DIAMETER	HH	HANDHOLE
ELEV	ELEVATION	HW	HEADWALL
		HYD	HYDRANT
		LP	LIGHT POLE
		OCS	OUTLET CONTROL STRUCTURE
		PVC	POLYVINYL CHLORIDE PIPE
		RPC	REINFORCED CONCRETE PIPE
		RD	ROOF DRAIN
		SMH	SEWER MANHOLE
		SOS	SEDIMENT OIL SEPARATOR
		TSV	TAPPING SLEEVE, VALVE, AND BOX
		UP	UTILITY POLE
EP	EDGE OF PAVEMENT		
EXIST	EXISTING		
FFE	FINISHED FLOOR ELEVATION		
FND	FOUNDATION		
HP	HIGH POINT		
INV	INVERT ELEVATION		
IT	INFILTRATION TEST		
L	LENGTH		
LF	LINEAR FEET		
LSA	LANDSCAPE AREA		
MAX	MAXIMUM		
MIN	MINIMUM		
N/F	NOW OR FORMERLY		
NHF	NEW HAMPSHIRE FISH & GAME		
NTS	NOT TO SCALE		
OC	ON CENTER		
PAVE	PAVEMENT		
PERF	PERFORATED		
PROP	PROPOSED		
R	RADIUS		
R&D	REMOVE AND DISPOSE		
R&R	REMOVE AND RESET		
RET	RETAIN		
RIM	RIM ELEVATION		
ROW	RIGHT OF WAY		
S	SLOPE		
SF	SQUARE FEET		
SW	SIDEWALK		
TBM	TEMPORARY BENCHMARK		
TC	TOP OF CURB		
TP	TEST PIT		
TW	TOP OF WALL		
TYP	TYPICAL		
UG	UNDERGROUND		
WCR	ACCESSIBLE WHEELCHAIR RAMP		
W/	WITH		

GENERAL NOTES

- THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, TFMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- ALL IMPROVEMENTS SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS.
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF LONDONDERRY, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK TO CONFORM TO TOWN OF LONDONDERRY DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS. ALL WORK WITHIN THE RIGHT-OF-WAY OF THE TOWN AND/OR STATE SHALL COMPLY WITH APPLICABLE STANDARDS. COORDINATE ALL WORK WITHIN THE RIGHT-OF-WAY WITH APPROPRIATE TOWN, COUNTY, AND/OR STATE AGENCY.
- AN ALTERATION OF TERRAIN PERMIT IS REQUIRED PER ENV-WQ 1503.02. THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 OR AS APPLICABLE.
- SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
- PRIOR TO COMMENCING ANY SITE WORK ALL LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD.
- SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY SHEET. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- TFMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
- ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS, AND ANY OTHER ADJACENT OPERATING FACILITIES. PRIOR WRITTEN PERMISSION FROM THE OWNER/DEVELOPER AND LOCAL PERMITTING AUTHORITY IS REQUIRED IF CLOSURE/OBSTRUCTIONS TO ROADS, STREET, WALKWAYS, AND OTHERS IS DEEMED NECESSARY. CONTRACTOR TO PROVIDE ALTERNATE ROUTES AROUND CLOSURES/OBSTRUCTIONS PER LOCAL/STATE/FEDERAL REGULATIONS.
- REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ABUT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOCK RAMPS, PADS, AND COMPACTOR PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
- IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- CONTRACTOR'S GENERAL RESPONSIBILITIES:
 - BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS, AND STANDARDS.
 - NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND/OR EXISTING FEATURES.
 - EMPLOY A LICENSED SURVEYOR TO DETERMINE ALL LINES AND GRADES AND LAYOUT OF SITE ELEMENTS AND BUILDINGS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
 - TAKE APPROPRIATE MEASURES TO REDUCE, TO THE FULLEST EXTENT POSSIBLE, NOISE, DUST AND UNSIGHTLY DEBRIS FROM CONSTRUCTION ACTIVITIES.
 - MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
 - IN ACCORDANCE WITH RSA 430:53 AND AGR 3800, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
 - COORDINATE WITH ALL UTILITY COMPANIES AND CONTACT DIGSAFE (811 OR 888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
- PROTECT NEW AND EXISTING BURIED UTILITIES DURING INSTALLATION OF ALL SITE ELEMENTS. DAMAGED UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
- VERIFY LAYOUT OF PROPOSED BUILDING FOUNDATIONS WITH ARCHITECT AND THAT PROPOSED FOUNDATION MEETS PROPERTY LINE SETBACKS PRIOR TO COMMENCING ANY FOUNDATION CONSTRUCTION.
- PROVIDE AN AS-BUILT PLAN AT THE COMPLETION OF THE PROJECT TO THE PLANNING DIRECTOR AND PER TOWN REGULATIONS.
- IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.
- AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT THEY HAVE OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS.
- SUBJECT PROPERTIES ARE LOCATED WITHIN THE ST. GOBAIN CONSENT DECREE AREA. AS SUCH, EXPORT OF SOILS IS REGULATED UNDER ENV-OR 600 (CONTAMINATED SITE MANAGEMENT RULES)

GRADING NOTES

- THE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 AS APPLICABLE.
- THE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN eNOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
- THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
- COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
- COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
- COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
- LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS, AND ALIGNMENTS.
- THE CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS AND LOADING AREAS.
- THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/4" FOR A PERIOD OF MORE THEN 15 MINUTES AFTER FLOODING.
- ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
- THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/4".
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
- STORMWATER DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATION SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
- DENSITY REQUIREMENTS:

MINIMUM DENSITY*	LOCATION
95%	BELOW PAVED OR CONCRETE AREAS
95%	TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL
90%	BELOW LOAM AND SEED AREAS

*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6938.

UTILITY NOTES

- ALL PROPOSED UTILITY WORK, INCLUDING MATERIAL, INSTALLATION, TERMINATION, EXCAVATION, BEDDING, BACKFILL, COMPACTION, TESTING, CONNECTIONS, AND CONSTRUCTION SHALL BE COORDINATED WITH AND APPROVED BY THE APPROPRIATE UTILITY ENTITIES AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
- COORDINATE ALL WORK ADJACENT TO PROPOSED BUILDINGS WITH ARCHITECTURAL BUILDING DRAWINGS. CONFIRM UTILITY PENETRATIONS AND INVERT ELEVATIONS ARE COORDINATED PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE EXACT LOCATION OF NEW UTILITY CONNECTIONS SHALL BE DETERMINED BY THE CONTRACTOR IN COORDINATION WITH UTILITY COMPANY, COUNTY AGENCY, AND/OR PRIVATE UTILITY COMPANY.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE UTILITY INSTALLATION COMPLETE AND OPERATIONAL.
- ALL UTILITY COMPANIES REQUIRE INDIVIDUAL CONDUITS. CONTRACTOR TO COORDINATE WITH TELEPHONE, CABLE, AND ELECTRIC COMPANIES REGARDING NUMBER, SIZE, AND TYPE OF CONDUITS REQUIRED PRIOR TO INSTALLATION OF ANY CONDUIT.
- SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL CONFORM TO ASTM F 679 (SDR 35 MINIMUM). FORCE MAINS AND FITTINGS SHALL CONFORM TO NH CODE OF ADMINISTRATIVE RULES ENV-WQ 700. ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH NH CODE OF ADMINISTRATIVE RULES ENV-WQ 700. SANITARY MANHOLES SHALL CONFORM TO NHDES WATER DIVISION WASTEWATER ENGINEERING BUREAU STANDARDS AND SPECIFICATIONS SHOWN HEREON.
- ON-SITE WATER DISTRIBUTION SHALL BE TO MANCHESTER WATER WORKS STANDARDS AND SPECIFICATIONS. WATER MAINS SHALL HAVE A MINIMUM OF 5.5' COVER. WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10' MINIMUM. WHERE A SANITARY LINE CROSSES A WATER LINE, ENCASE THE SANITARY LINE IN 6" THICK CONCRETE FOR A DISTANCE OF 10' EITHER SIDE OF THE CROSSING, OR SUBSTITUTE RUBBER-GASKETED PRESSURE PIPE FOR THE SAME DISTANCE. WHEN SANITARY LINES PASS BELOW WATER LINES, LAY PIPE SO THAT NO JOINT IN THE SANITARY LINE WILL BE CLOSER THAN 3' HORIZONTALLY TO THE
- THRUST BLOCKS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER LINE CHANGES DIRECTIONS OR CONNECTS TO ANOTHER WATER LINE. ALL THRUST BLOCKS SHALL BE PRECAST CONCRETE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
- ALL PROPOSED UTILITIES SHALL BE UNDERGROUND. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES.
- THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL INSPECTIONS, TESTING AND RELATED SERVICES AND SUBMIT COPIES OF ACCEPTANCE TO THE OWNER, UNLESS OTHERWISE INDICATED.
- PROVIDE PERMANENT PAVEMENT REPAIR FOR ALL UTILITY TRENCHES IN EXISTING ROAD OR PAVEMENT TO REMAIN. SAW CUT TRENCH. PAVEMENT AND GRANULAR BASE THICKNESS TO MATCH EXISTING PAVEMENT. OBTAIN ALL PERMITS REQUIRED FOR TRENCHING.
- UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
- THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:

DRAINAGE	PRIVATE
SEWER	TOWN OF LONDONDERRY
WATER	MANCHESTER WATER WORKS
GAS	LIBERTY UTILITIES
ELECTRIC	EVERSOURCE
TELEPHONE	CONSOLIDATED COMMUNICATIONS
CABLE	COMCAST

TAX MAP 28 LOTS 9, 10, & 10-4

NOTES & LEGEND

EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10

CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 900, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4

BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103

APPLICANT
BENTON FAMILY REALTY, LLC
 100R WY, MANCHESTER, NH 03103

NOVEMBER 18, 2025

	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com
	F I L E # 17562.06 DR JSH CADFILE 17562-06 COVER-DETAILS C-2 CK RED	

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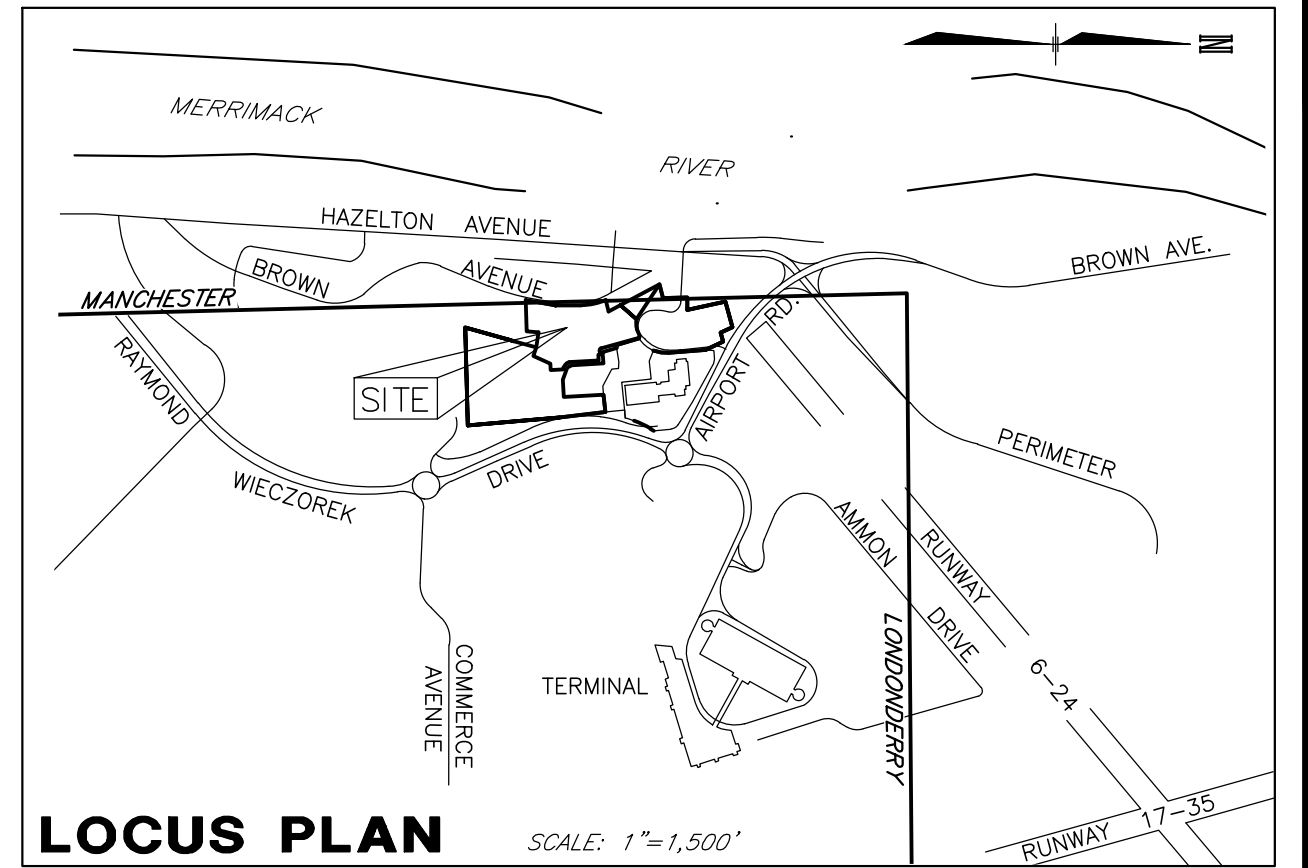
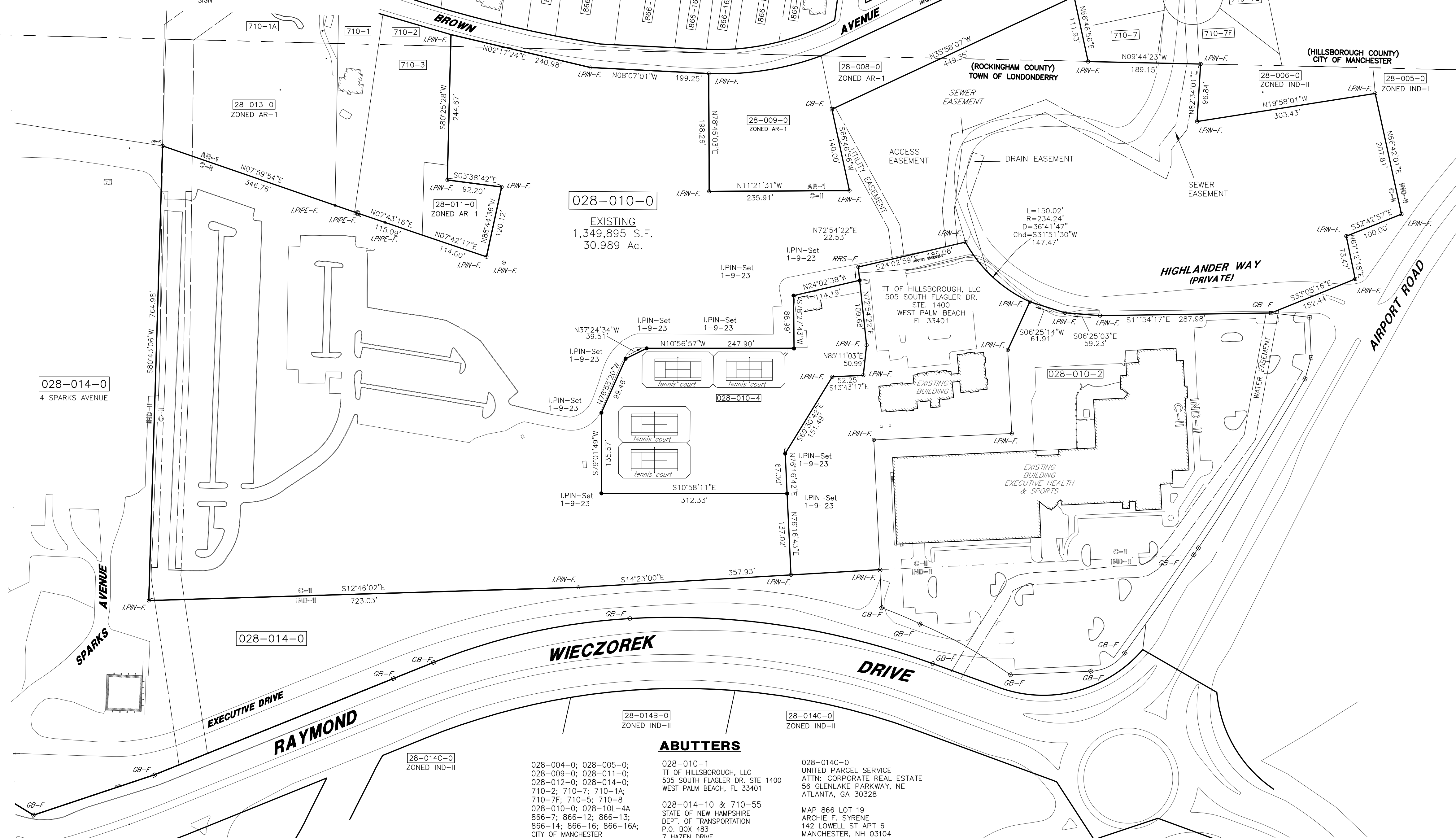
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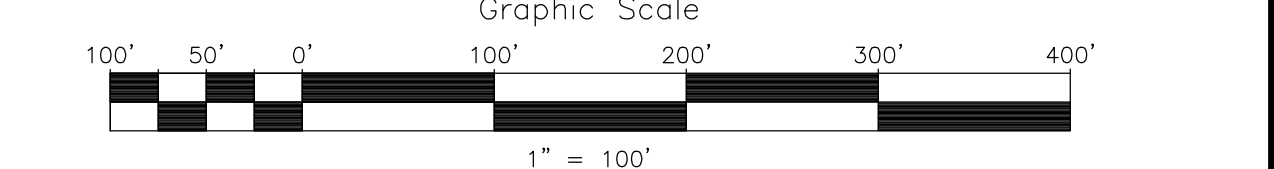
LEGEND

- VERTICAL GRANITE CURB
VERTICAL CONCRETE CURB
EDGE OF PAVEMENT
SEWER LINE
SEWER FORCE MAIN
WATER LINE
DRAIN LINE
GAS LINE
OVERHEAD UTILITIES
U.G. ELEC., TEL., & CABLE
CONCRETE SURFACE
DECIDUOUS TREE
CONIFEROUS TREE
SEWER MANHOLE
CATCH BASIN
WATER GATE
UTILITY POLE
GAS VALVE
LIGHT POLE
HYDRANT
ELECTRIC PULLBOX
GUY ANCHOR
BOUND
DRILL HOLE
IRON PIN
DRAIN MANHOLE
SIGN



- NOTES
1. OWNERS OF RECORD: MAP 28 LOT 010-0
2. 28-10-0 INDICATES TAX MAP AND LOT NUMBER.
3. THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS PRESENT AS OF NOVEMBER 25, 2025 OR TAX MAP 28 LOTS 10, & IN THE TOWN OF LONDONDERRY AS SHOWN HEREON AND NO OTHER PURPOSE.
4. CURRENT ZONING IS COMMERCIAL II AND INDUSTRIAL II
5. EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF NEW HAMPSHIRE, ROCKINGHAM COUNTY, COMMUNITY PANEL NUMBER 3301500315E EFFECTIVE DATE: MAY 17, 2005, INDICATES THAT THE SUBJECT PARCELS ARE NOT LOCATED WITHIN A FLOOD HAZARD AREA.

- REFERENCE PLANS
1. ALTA/ACSM LAND TITLE SURVEY - URBAN PERIMETER ROAD LONDONDERRY & MANCHESTER, NH
2. MASTER PLAN SITE PLAN (LOT 10, MAP 28) "PROPOSED HOTEL EXPANSION" HIGHLANDER WAY, LONDONDERRY, NH, OWNER OF RECORD: THREE F, LLC. PREPARED BY HAYNER/SWANSON, INC. DATED 25 APRIL 2001.



OWNER'S SIGNATURE
BENTON FAMILY TRUST/EXECUTIVE HEALTH & SPORTS CENTER
CITY OF MANCHESTER, NEW HAMPSHIRE

TAX MAP 28 LOTS 010-0 & 014-0
EXISTING CONDITIONS PLAN
EXECUTIVE HEALTH & SPORTS CENTER
1 HIGHLANDER WAY, LONDONDERRY, NH
OWNER: CITY OF MANCHESTER
APPLICANT: BENTON FAMILY TRUST
PREPARED FOR: EXECUTIVE HEALTH & SPORTS CENTER
SCALE: 1" = 100' NOVEMBER 25, 2025



Table with columns: REV., DATE, DESCRIPTION, DRAWN, CHECK. Includes copyright information for TFMoran, Inc.

ABUTTERS

- 028-004-0; 028-005-0; 028-009-0; 028-011-0; 028-012-0; 028-014-0; 710-2; 710-7; 710-1A; 710-7F; 710-5; 710-8
028-010-0; 028-10L-4A; 866-7; 866-12; 866-13; 866-14; 866-16; 866-16A; CITY OF MANCHESTER
C/O MANCHESTER AIRPORT
1 AIRPORT ROAD, SUITE 300
MANCHESTER, NH 03103

See Sheets 2 through 5 for Detailed Site Information, Topography, Utilities, etc. at 40 Scale

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY AND PLAT WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000).
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Michael R Dahlberg
LICENSED LAND SURVEYOR
DATE: 12-02-2025

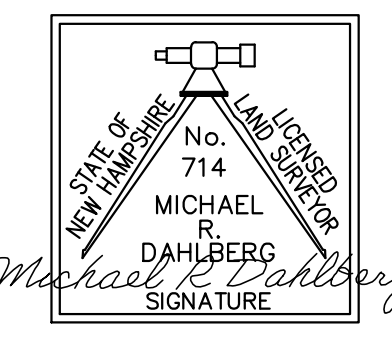
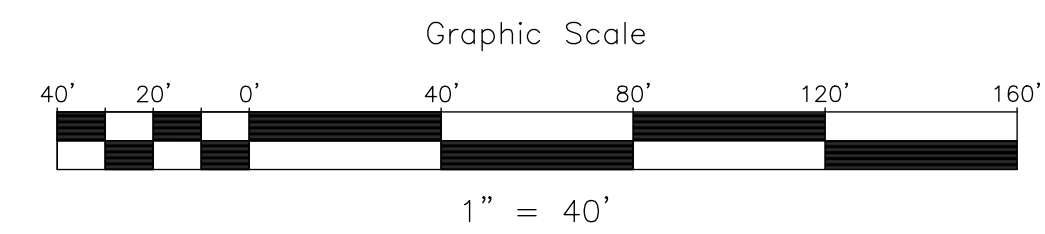
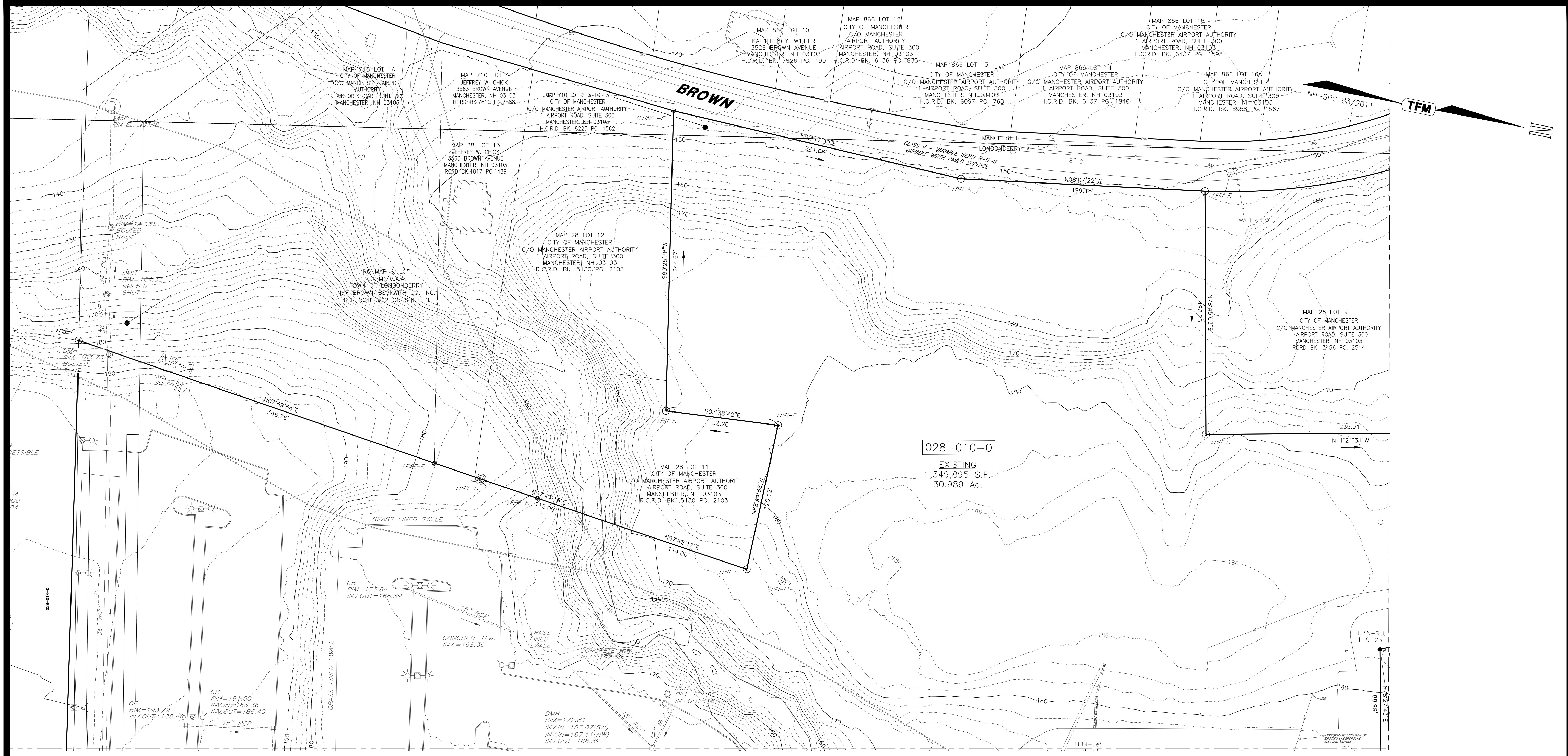


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WETLAND SCIENTIST CERTIFICATION:

JURISDICTIONAL WETLANDS SHOWN (WHERE INDICATED AS NON-RECORD) ON THIS PLAN WERE DELINEATED DURING SEPTEMBER OF 2025, BY CHRISTOPHER K. DANFORTH CWS #077. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING "FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES" A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, NRCS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USACE NATIONAL WETLAND PLANT LIST, NWPL 2016 VERSION 3.3 [HTTP://WETLAND_PLANTS.USACE.ARMY.MIL](http://wetland_plants.usace.army.mil).

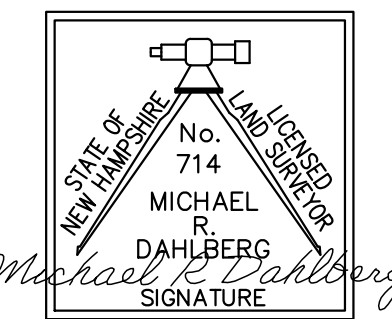
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Michael R Dahlberg
LICENSED LAND SURVEYOR

12-02-25
DATE



LEGEND

- | | | | |
|---------------------------|-------|------------------|---|
| VERTICAL GRANITE CURB | ===== | WATER GATE | ⊠ |
| VERTICAL CONCRETE CURB | ===== | UTILITY POLE | ⊠ |
| EDGE OF PAVEMENT | ===== | GAS VALVE | ⊠ |
| SIGN | ⊠ | LIGHT POLE | ⊠ |
| GUY ANCHOR | ⊠ | HYDRANT | ⊠ |
| SEWER LINE | ----- | ELECTRIC PULLBOX | ⊠ |
| SEWER FORCE MAIN | ----- | CONCRETE SURFACE | ⊠ |
| WATER LINE | ----- | DECIDUOUS TREE | ⊠ |
| DRAIN LINE | ----- | CONIFEROUS TREE | ⊠ |
| GAS LINE | ----- | BOUND | ⊠ |
| OVERHEAD UTILITIES | ----- | DRILL HOLE | ⊠ |
| U.G. ELEC., TEL., & CABLE | ----- | IRON PIN | ⊠ |
| SEWER MANHOLE | ⊠ | DRAIN MANHOLE | ⊠ |
| CATCH BASIN | ⊠ | | |



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REV.	DATE	DESCRIPTION	DRAWN	CHECK

TAX MAP 28 LOTS 010-0 & 014-0

TOPOGRAPHIC EXISTING CONDITIONS PLAN

EXECUTIVE HEALTH & SPORTS CENTER

1 HIGHLANDER WAY, LONDONDERRY, NH

OWNER: **CITY OF MANCHESTER** APPLICANT: **BENTON FAMILY TRUST**

1 AIRPORT ROAD, SUITE 300, MANCHESTER, NH 03103 1 HIGHLANDER WAY, LONDONDERRY, NH 03053

PREPARED FOR
EXECUTIVE HEALTH & SPORTS CENTER
1 HIGHLANDER WAY, LONDONDERRY, NH 03053

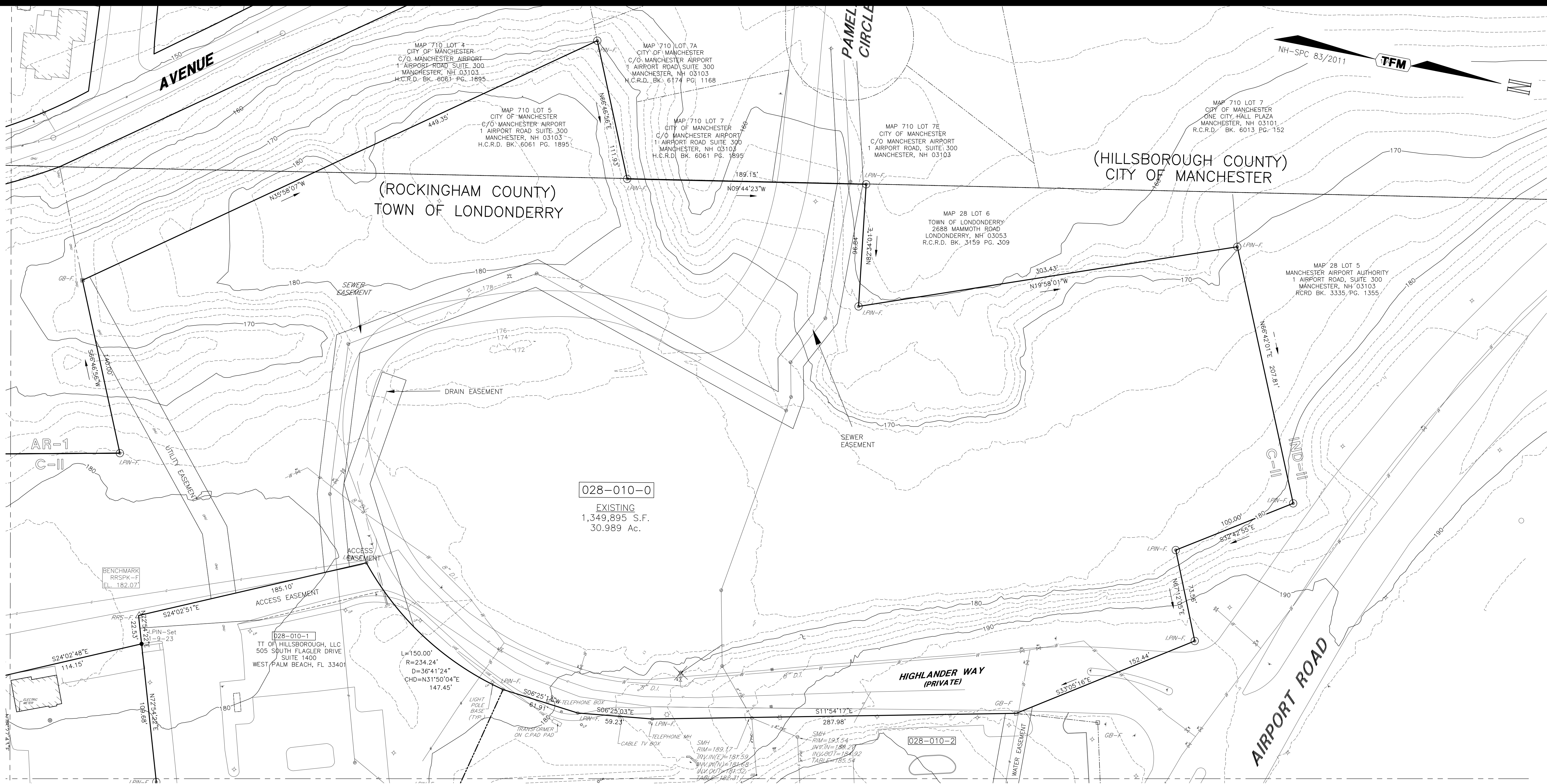
SCALE: 1" = 40' **NOVEMBER 26, 2025**

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	CK	MRD	CADFILE			

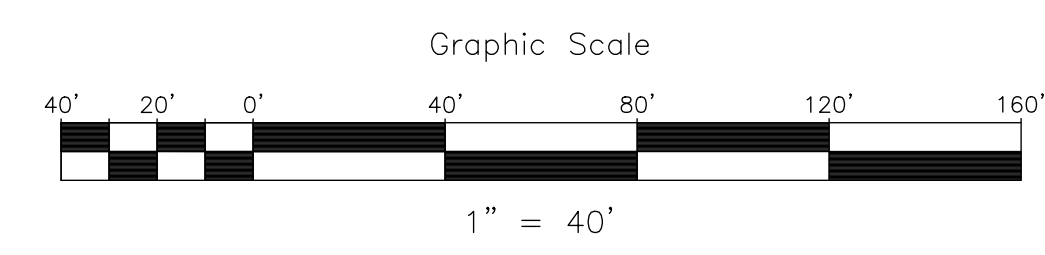
Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

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 www.tfmoran.com

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028-010-0
EXISTING
1,349,895 S.F.
30.989 Ac.



LEGEND

VERTICAL GRANITE CURB		WATER GATE	
VERTICAL CONCRETE CURB		UTILITY POLE	
EDGE OF PAVEMENT		GAS VALVE	
SIGN		LIGHT POLE	
GUY ANCHOR		HYDRANT	
SEWER LINE		ELECTRIC PULLBOX	
SEWER FORCE MAIN		CONCRETE SURFACE	
WATER LINE		DECIDUOUS TREE	
DRAIN LINE		CONIFEROUS TREE	
GAS LINE		BOUND	
OVERHEAD UTILITIES		DRILL HOLE	
U.G. ELEC., TEL., & CABLE		IRON PIN	
SEWER MANHOLE		DRAIN MANHOLE	
CATCH BASIN			

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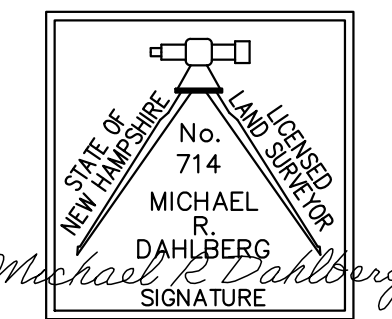
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Michael R Dahlberg
LICENSED LAND SURVEYOR
12-02-25
DATE



CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION "IT'S THE LAW"

811 Dig Safe
MA-01E-NH-RI-VT

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TAX MAP 28 LOTS 010-0 & 014-0

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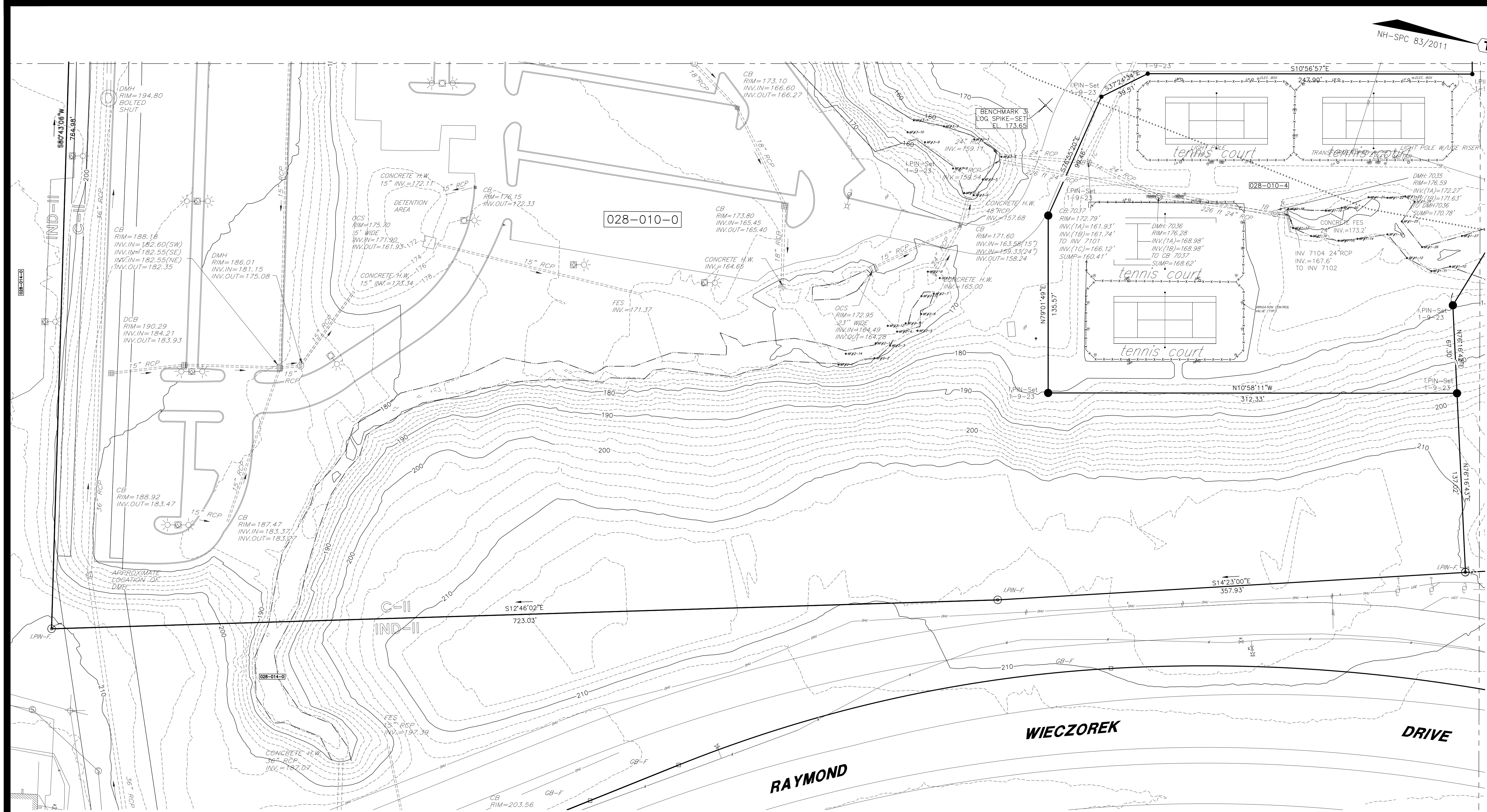
SCALE: 1" = 40' NOVEMBER 26, 2025

TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists

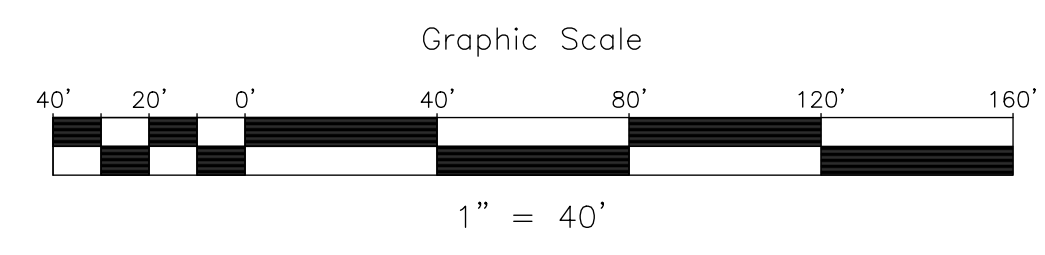
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Phone (603) 472-4488
Fax (603) 472-9747
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17562.06	DR MRD	FB	-
	CK MRD	CRADFILE	17562-06 EXC

SHEET 3 OF 5



- LEGEND**
- VERTICAL GRANITE CURB
 - VERTICAL CONCRETE CURB
 - EDGE OF PAVEMENT
 - SIGN
 - GUY ANCHOR
 - SEWER LINE
 - SEWER FORCE MAIN
 - WATER LINE
 - DRAIN LINE
 - GAS LINE
 - OVERHEAD UTILITIES
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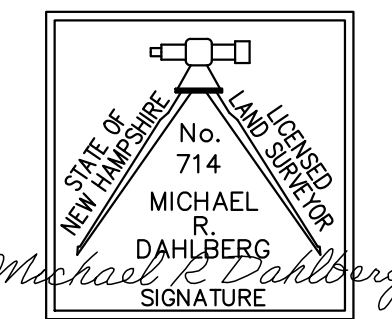
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Michael R Dahlberg
LICENSED LAND SURVEYOR

12-02-25
DATE



TAX MAP 28 LOTS 010-0 & 014-0

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1 HIGHLANDER WAY, LONDONDERRY, NH

OWNER: CITY OF MANCHESTER APPLICANT: BENTON FAMILY TRUST

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PREPARED FOR
EXECUTIVE HEALTH & SPORTS CENTER
1 HIGHLANDER WAY, LONDONDERRY, NH 03053

SCALE: 1" = 40' NOVEMBER 26, 2025

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION "IT'S THE LAW"

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MA-ONE-NH-RI-VT

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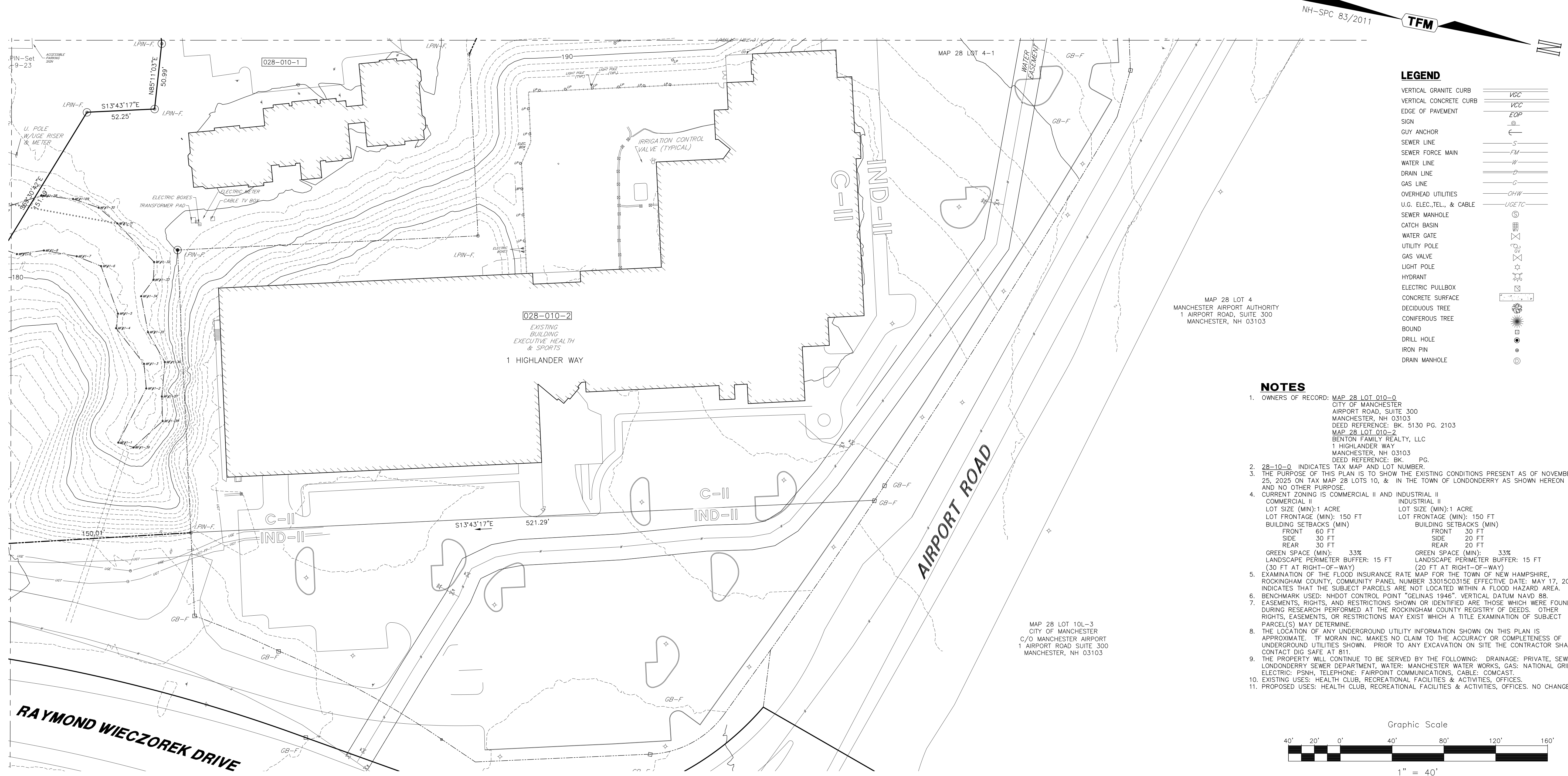
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17562.06 DR MRD FB CK MRD CAD/FB 17562-06 EXC SHEET 4 OF 5

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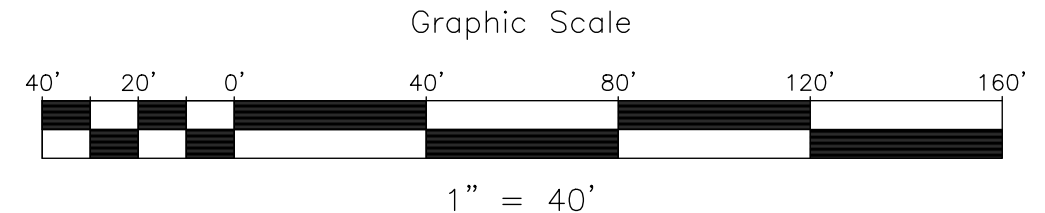


LEGEND

VERTICAL GRANITE CURB	VGC
VERTICAL CONCRETE CURB	VCC
EDGE OF PAVEMENT	EOP
SIGN	S
GUY ANCHOR	GA
SEWER LINE	S
SEWER FORCE MAIN	FM
WATER LINE	W
DRAIN LINE	D
GAS LINE	G
OVERHEAD UTILITIES	OHW
U.G. ELEC., TEL., & CABLE	UGETC
SEWER MANHOLE	SMH
CATCH BASIN	CB
WATER GATE	WG
UTILITY POLE	UP
GAS VALVE	GV
LIGHT POLE	LP
HYDRANT	H
ELECTRIC PULLBOX	EPB
CONCRETE SURFACE	CS
DECIDUOUS TREE	DT
CONIFEROUS TREE	CT
BOUND	B
DRILL HOLE	DH
IRON PIN	IP
DRAIN MANHOLE	DMH

- NOTES**
- OWNERS OF RECORD: MAP 28 LOT 010-0 CITY OF MANCHESTER AIRPORT ROAD, SUITE 300 MANCHESTER, NH 03103 DEED REFERENCE: BK. 5130 PG. 2103 MAP 28 LOT 010-2 BENTON FAMILY REALTY, LLC 1 HIGHLANDER WAY MANCHESTER, NH 03103 DEED REFERENCE: BK. PG.
 - 28-10-0 INDICATES TAX MAP AND LOT NUMBER.
 - THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS PRESENT AS OF NOVEMBER 25, 2025 ON TAX MAP 28 LOTS 10, & IN THE TOWN OF LONDONDERRY AS SHOWN HEREON AND NO OTHER PURPOSE.
 - CURRENT ZONING IS COMMERCIAL II AND INDUSTRIAL II

COMMERCIAL II	INDUSTRIAL II
LOT SIZE (MIN): 1 ACRE	LOT SIZE (MIN): 1 ACRE
LOT FRONTAGE (MIN): 150 FT	LOT FRONTAGE (MIN): 150 FT
BUILDING SETBACKS (MIN)	BUILDING SETBACKS (MIN)
FRONT 60 FT	FRONT 30 FT
SIDE 30 FT	SIDE 20 FT
REAR 30 FT	REAR 20 FT
GREEN SPACE (MIN): 33%	GREEN SPACE (MIN): 33%
LANDSCAPE PERIMETER BUFFER: 15 FT	LANDSCAPE PERIMETER BUFFER: 15 FT
(30 FT AT RIGHT-OF-WAY)	(20 FT AT RIGHT-OF-WAY)
 - EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF NEW HAMPSHIRE, ROCKINGHAM COUNTY, COMMUNITY PANEL NUMBER 3301500315E EFFECTIVE DATE: MAY 17, 2005, INDICATES THAT THE SUBJECT PARCELS ARE NOT LOCATED WITHIN A FLOOD HAZARD AREA.
 - BENCHMARK USED: NHDOT CONTROL POINT "GELINAS 1946", VERTICAL DATUM NAVD 88.
 - EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) MAY DETERMINE.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFM MORAN INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
 - THE PROPERTY WILL CONTINUE TO BE SERVED BY THE FOLLOWING: DRAINAGE: PRIVATE, SEWER: LONDONDERRY SEWER DEPARTMENT, WATER: MANCHESTER WATER WORKS, GAS: NATIONAL GRID, ELECTRIC: PSNH, TELEPHONE: FAIRPOINT COMMUNICATIONS, CABLE: COMCAST.
 - EXISTING USES: HEALTH CLUB, RECREATIONAL FACILITIES & ACTIVITIES, OFFICES.
 - PROPOSED USES: HEALTH CLUB, RECREATIONAL FACILITIES & ACTIVITIES, OFFICES. NO CHANGE.



WETLAND SCIENTIST CERTIFICATION.

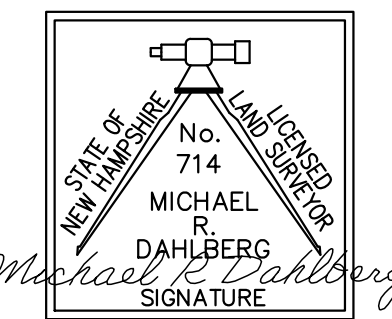
JURISDICTIONAL WETLANDS SHOWN (WHERE INDICATED AS NON-RECORD) ON THIS PLAN WERE DELINEATED DURING SEPTEMBER OF 2025, BY CHRISTOPHER K. DANFORTH CWS #077. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPUS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING "FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES" A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, NRCS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USAGE NATIONAL WETLAND PLANT LIST, NWPL 2016 VERSION 3.3 HTTP://WETLAND_PLANTS.USACE.ARMY.MIL.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000).

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. (RSA 676:18-III)

Michael R Dahlberg 12-02-25
 LICENSED LAND SURVEYOR DATE



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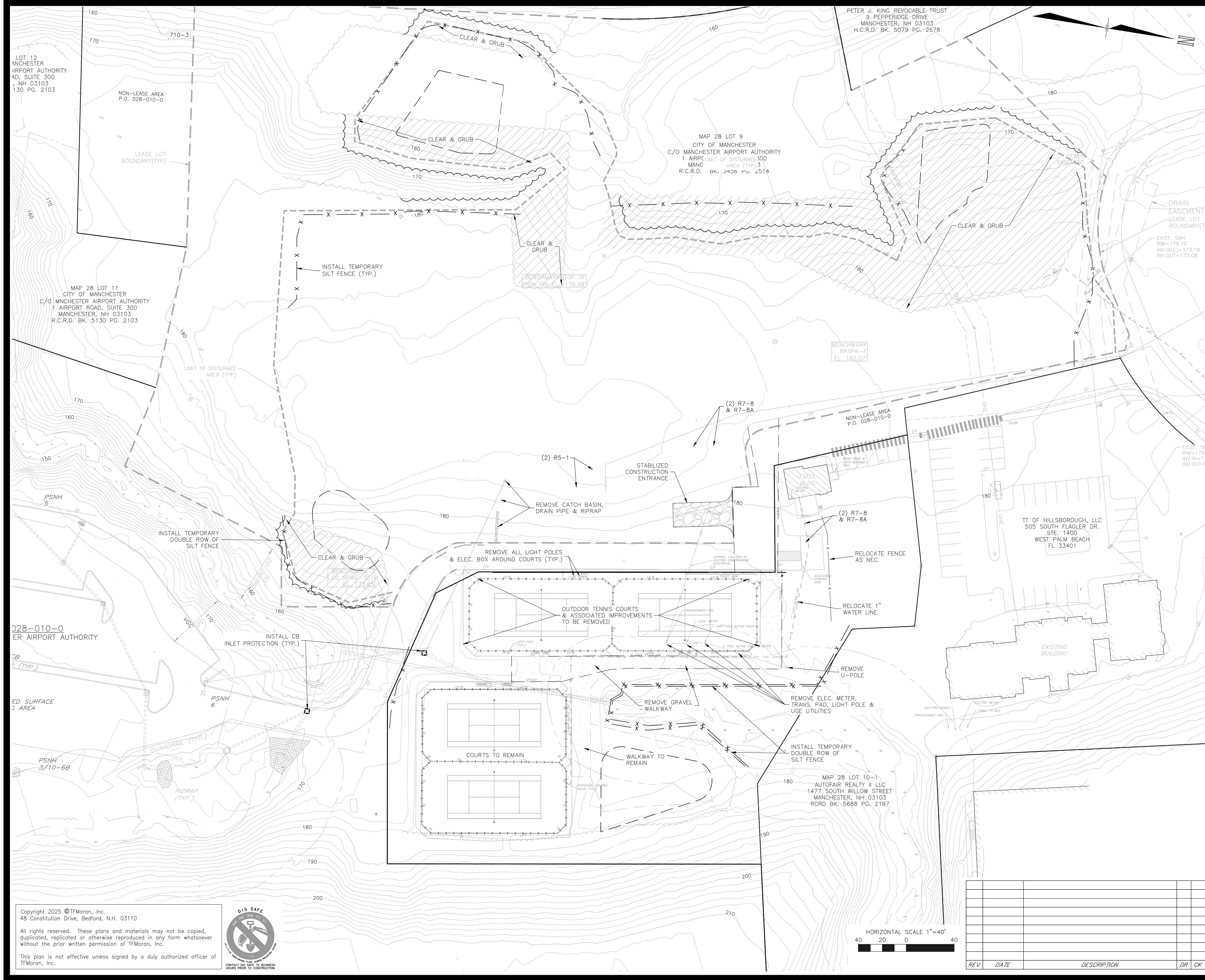


TAX MAP 28 LOTS 010-0 & 014-0
TOPOGRAPHIC EXISTING CONDITIONS PLAN
EXECUTIVE HEALTH & SPORTS CENTER
1 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER APPLICANT
CITY OF MANCHESTER BENTON FAMILY TRUST
 1 AIRPORT ROAD, SUITE 300, MANCHESTER, NH 1 HIGHLANDER WAY, LONDONDERRY, NH 03053
 PREPARED FOR
EXECUTIVE HEALTH & SPORTS CENTER
 1 HIGHLANDER WAY, LONDONDERRY, NH 03053
SCALE: 1" = 40' NOVEMBER 26, 2025

17562.06	DR MRD	FB	-	
	CK MRD	CADFILE	17562-06 EXC	SHEET 5 OF 5

Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

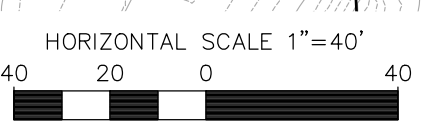
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 Phone (603) 472-4488
 Fax (603) 472-9747
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- ### NOTES
1. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
 2. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
 3. STUMPS SHALL NOT BE BURIED ON SITE; STUMPS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
 4. THE LOCATION OF UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TEFORAN INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-344-7233.
 5. EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
 6. CONSTRUCTION DEBRIS AND ANY INVASIVE SPECIES SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
 7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELV WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF THEIR INTENTION AT LEAST 48 HOURS IN ADVANCE.

TAX MAP 28 LOTS 9, 10, & 10-4
SITE PREPARATION & DEMOLITION PLAN
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 300, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025

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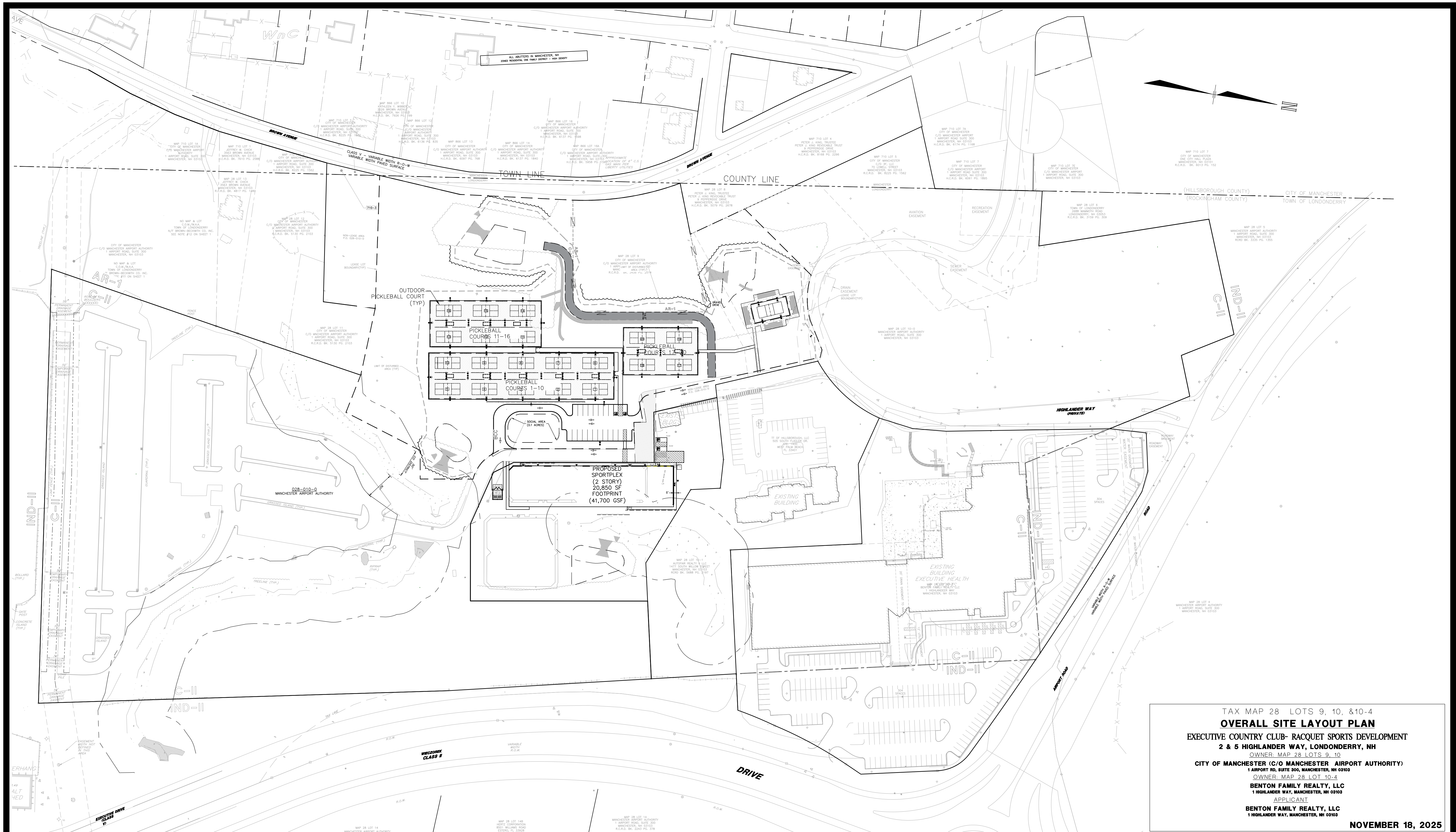


REV	DATE	DESCRIPTION	DR	CK

Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

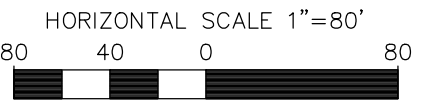
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Fax (603) 472-9747
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FILE: 17562.06	DR: JSH	CK: RED	CADFILE: 17562-06 SITE	C-3
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TAX MAP 28 LOTS 9, 10, & 10-4
OVERALL SITE LAYOUT PLAN
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
 CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 300, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025

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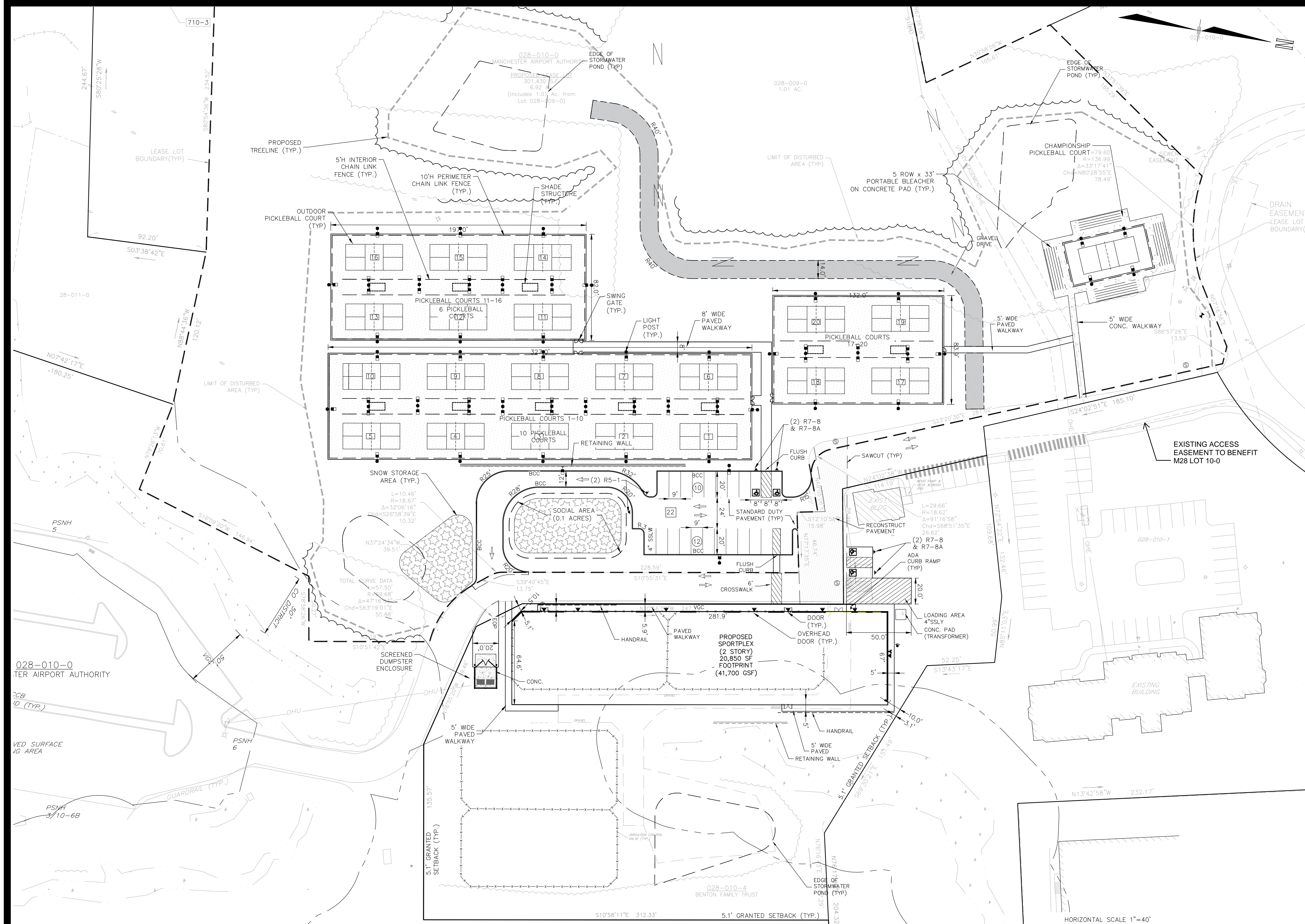


REV	DATE	DESCRIPTION	DR	CK

TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

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 Fax (603) 472-9747
 www.tfmoran.com

17562.06 DR JSH CADFILE 17562-06 SITE C-4



- ### NOTES
- THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED EXPANSION TO THE EXISTING EXECUTIVE HEALTH & SPORTS CENTER WITH ASSOCIATED SITE IMPROVEMENTS.
 - CURRENT ZONING IS COMMERCIAL II

PROVIDED LOT 10	PROVIDED LOT 10-4
LOT SIZE (MIN): 24.67 AC.	2.2 AC
LOT FRONTAGE (MIN): 150 FT	440.2'
BUILDING SETBACKS (MIN)	
FRONT	60 FT
SIDE	30 FT
REAR	30 FT
MAX. BUILDING HEIGHT:	
MAX. BUILDING COVERAGE:	
GREEN SPACE (MIN): 33%	
LANDSCAPE PERIMETER: 15 FT (30 FT AT RIGHT-OF-WAY)	
 - EXISTING PARKING (PER LONDONDERRY ZONING):

EXISTING TENNIS COURTS: 1 SPACE/3 USERS = 8 COURTS X 4 USERS/3 SPACES/USER = 32 SPACES
EXISTING HEALTH CLUB: 4 SPACES/1,000 SF=(43,000 SF X 4 SPACES/1,000 SF)=172 SPACES
EXISTING MEDICAL OFFICE: 4.5 SPACES/1,000 SF=(7,000 SF X 4.5 SPACES/1,000 SF)= 32 SPACES
PROPOSED OUTDOOR SPORTS COURT: 3 SPACES/COURT = 3 SPACES X 21 COURTS = 63 SPACES
PROPOSED MEMBERSHIP CLUB: 4 SPACES/1,000 SF = (12,000 SF X 4 SPACES/1,000 SF) = 48 SPACES
 - THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:

DRAINAGE	PRIVATE
SEWER	TOWN OF LONDONDERRY
WATER	MANCHESTER WATER WORKS
GAS	LIBERTY UTILITIES
ELECTRIC	EVSOURCE
TELEPHONE	CONSOLIDATED COMMUNICATIONS
CABLE	COMCAST
 - IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH N.H.D.E.S. REGULATIONS. IF SNOW IS STORED WITHIN PARKING AREA KEEP CATCH BASINS CLEAR.
 - THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS AND STANDARDS.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
 - WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF HIS INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
 - THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
 - LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE CITY/TOWN ZONING ORDINANCE AND SITE PLAN REGULATIONS.
 - SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY SHEET. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
 - ALL WORK IS TO CONFORM TO TOWN OF LONDONDERRY DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.
 - IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
 - IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
 - THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
 - TFMORAN INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
 - WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF LONDONDERRY CONSTRUCTION STANDARDS AND DETAILS (LATEST ADDITION). THESE CONSTRUCTION STANDARDS SHALL TAKE PRECEDENCE IN THE EVENT OF CONFLICTS BETWEEN PLANS, DETAILS OR OTHER DRAWINGS.
 - IN ACCORDANCE WITH SECTION 6.01 OF THE LONDONDERRY SITE PLAN REGULATIONS AND RSA 676:13, ALL IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, AND INSPECTED AND APPROVED BY THE TOWN OF LONDONDERRY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - TRASH COLLECTION WILL BE PRIVATE.
 - IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.

TAX MAP 28 LOTS 9, 10, & 10-4

SITE LAYOUT PLAN

EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10

CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 300, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4

BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT

BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103

NOVEMBER 18, 2025

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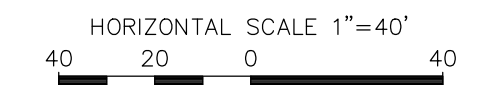
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APPROVED BY THE LONDONDERRY NH PLANNING BOARD FOR PHASE _____
 ON DATE: _____
 CERTIFIED BY: _____

OWNER'S SIGNATURE _____ DATE _____
 BETNON FAMILY TRUST/EXECUTIVE HEALTH & SPORTS CENTER
 CITY OF MANCHESTER _____ DATE _____

- ### NOTES (CONTINUED)
- IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
 - ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF LONDONDERRY SITE PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
 - IN ACCORDANCE WITH SECTION 6.01 OF THE LONDONDERRY SITE PLAN REGULATIONS AND RSA 676:12, ALL OFF-SITE IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, INSPECTED AND APPROVED BY THE TOWN OF LONDONDERRY (AND/OR THE NHDOT, IF APPLICABLE) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - THE APPROVED SITE PLANS SHALL BE ON FILE AT THE TOWN OF LONDONDERRY PLANNING DEPARTMENT.

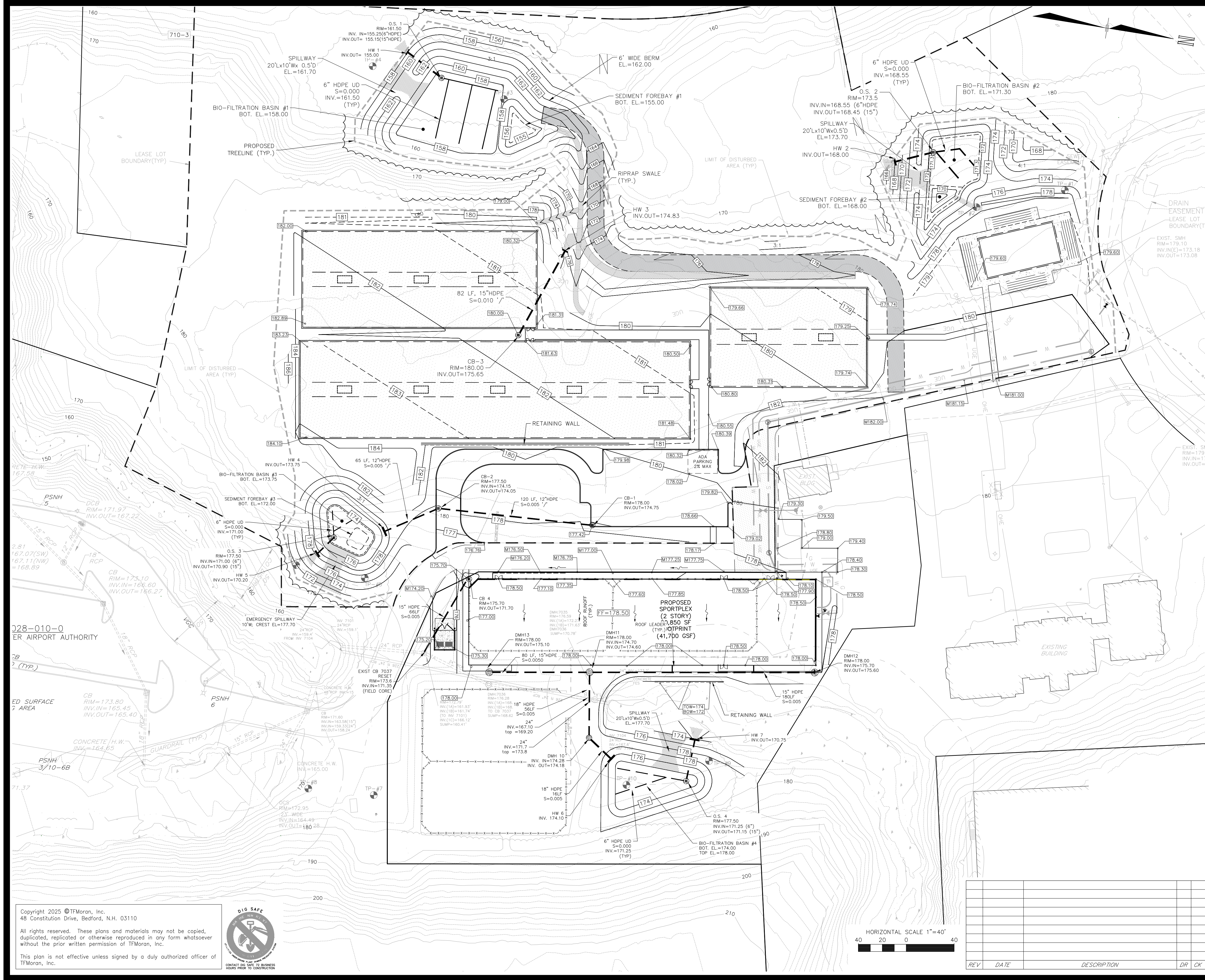


REV	DATE	DESCRIPTION	DR	CK

17562.06 DR JSH CADFILE 17562-06 SITE C-5

TFMORAN Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists

48 Constitution Drive, Bedford, NH 03110, Phone (603) 472-4488, Fax (603) 472-9747, www.tfmoran.com



- ### NOTES
- ALL WORK SHALL CONFORM TO THE TOWN OF LONDONDERRY CONSTRUCTION STANDARDS, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL SURROUNDING CONDITIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
 - THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
 - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL CONFORM TO TOWN OF LONDONDERRY TYPICAL DETAILS FOR SITE & ROADWAY INFRASTRUCTURE AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
 - STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
 - ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
 - ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
 - ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
 - IN ACCORDANCE WITH RSA 430:53 AND Agr 3800, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
 - THE SITE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT. THE CONTRACTOR SHALL ALSO OBTAIN A LONDONDERRY STORMWATER PERMIT.
 - THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN eNOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
 - COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
 - COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
 - COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
 - LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
 - THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
 - VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
 - IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
 - IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
 - THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
 - TFMORAN INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
 - AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT HE HAS OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS.
 - THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY. THE CONTRACTOR SHALL BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.

TAX MAP 28 LOTS 9, 10, & 10-4
GRADING & DRAINAGE PLAN
 EXECUTIVE COUNTRY CLUB-RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
 CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 900, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025

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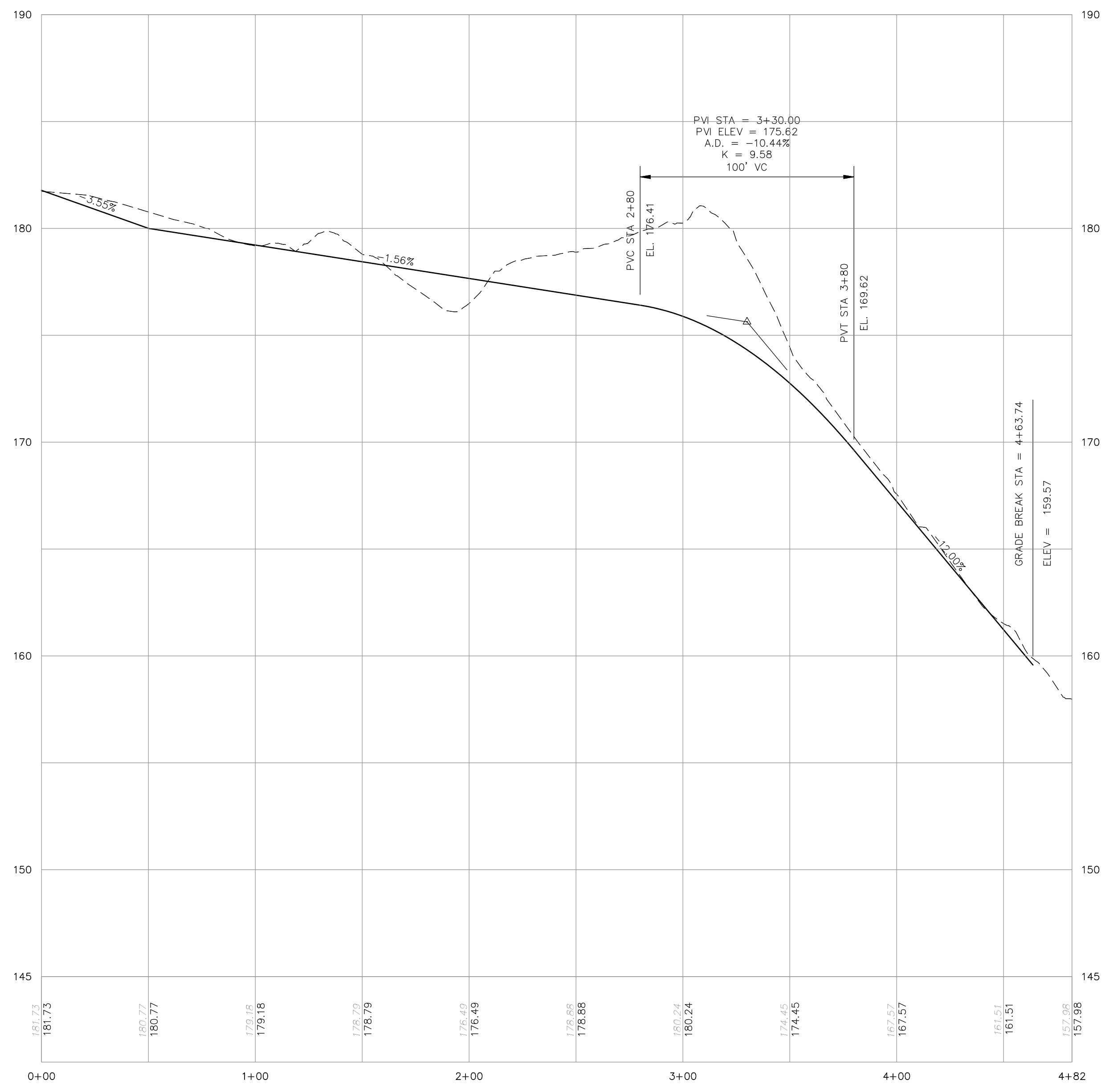
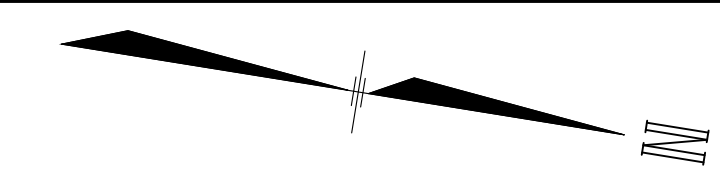


HORIZONTAL SCALE 1"=40'
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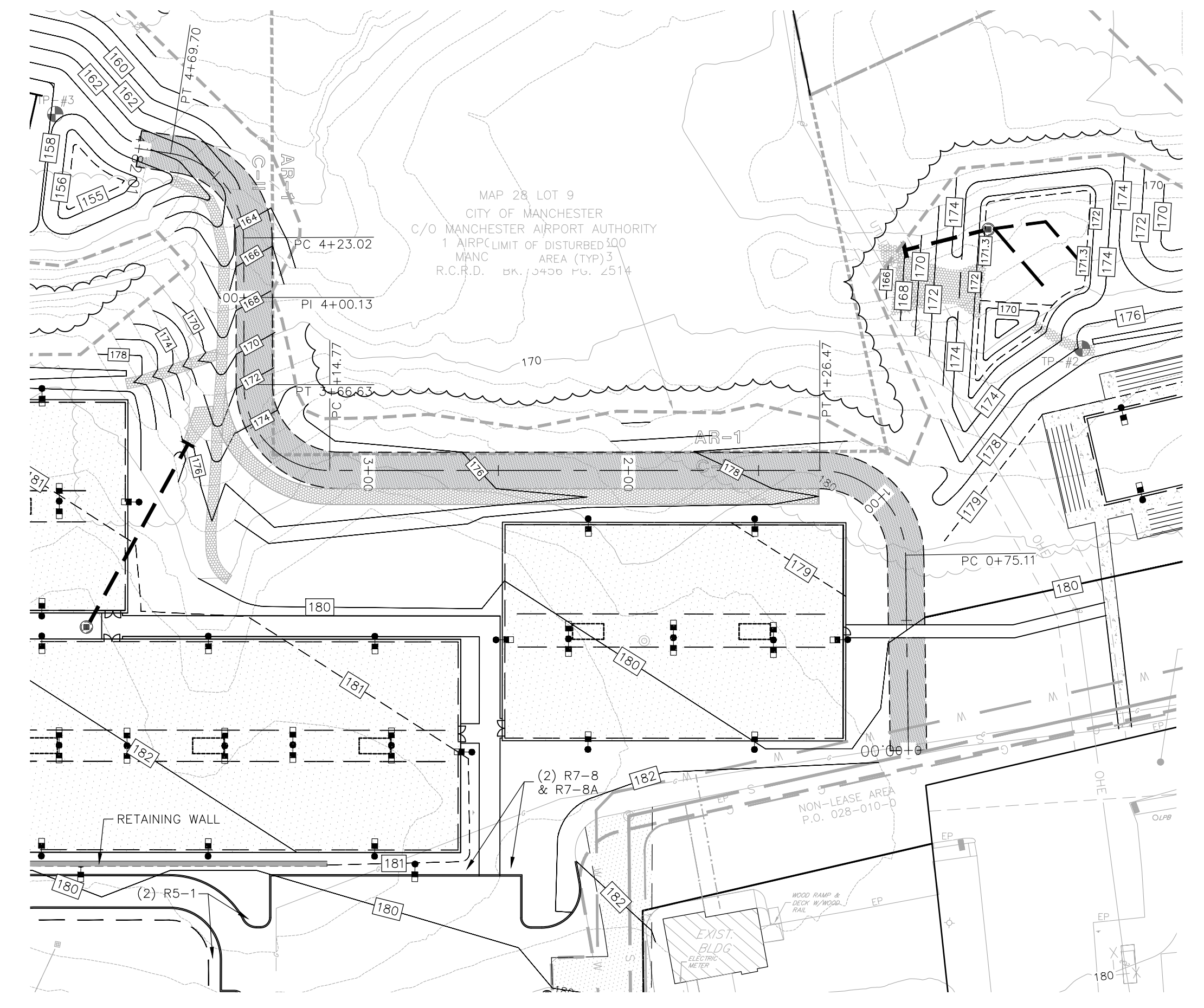
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FILE: 17562.06 DR: JSH CK: RED CADFILE: 17562-06 SITE: C-6

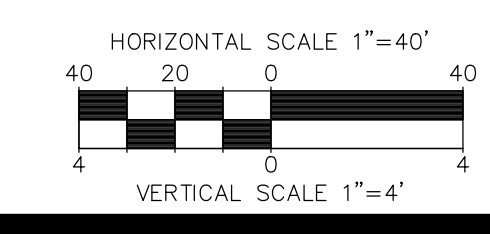


ALTERNATIVE (1111)



TAX MAP 28 LOTS 9, 10, & 10-4
DRIVE PROFILE
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
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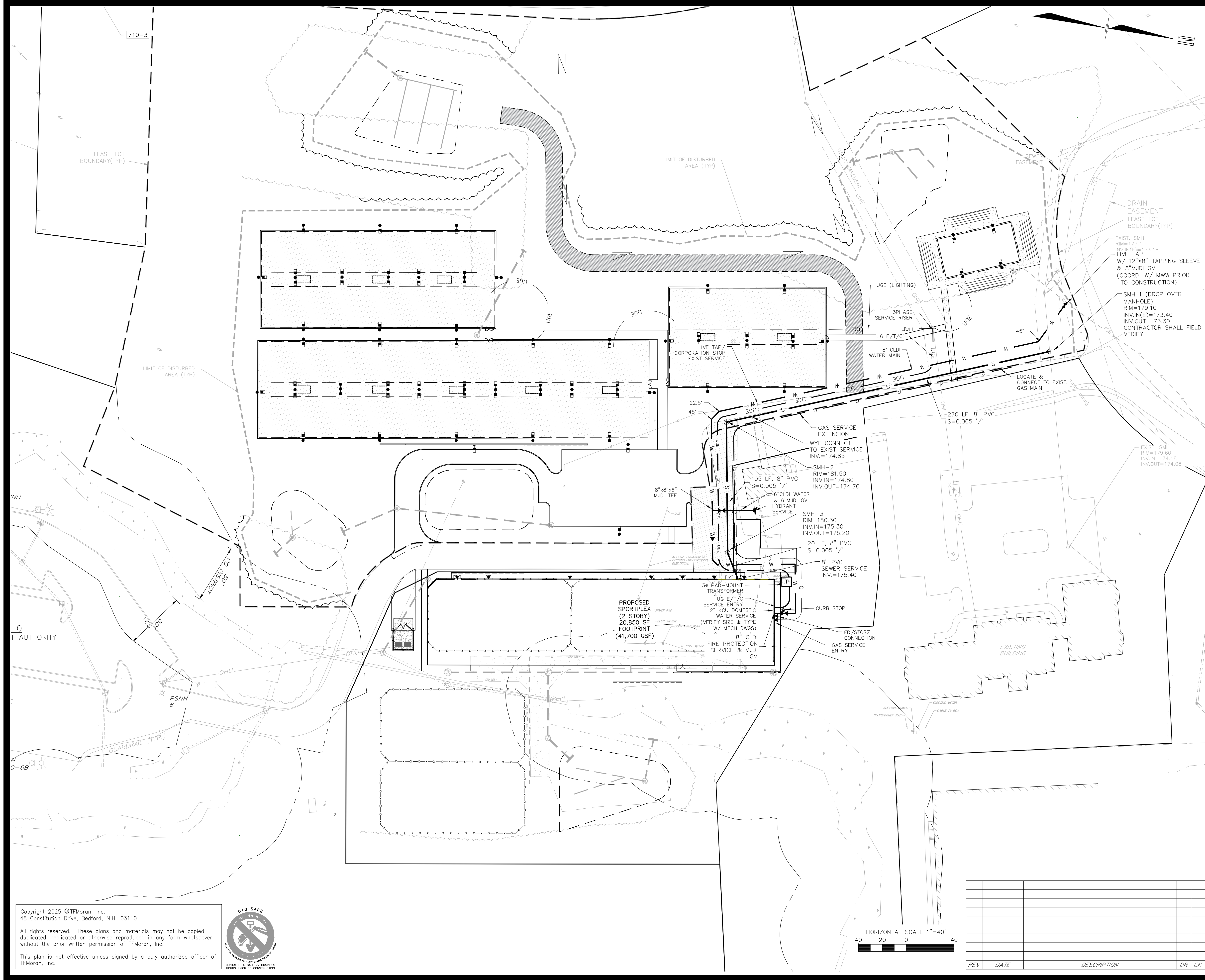


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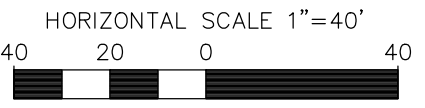


NOTES

- ALL WORK SHALL CONFORM TO THE TOWN OF LONDONDERRY CONSTRUCTION STANDARDS, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL SURROUNDING CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
- ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
- ON-SITE WATER DISTRIBUTION SHALL BE TO MANCHESTER WATER WORKS CONSTRUCTION STANDARDS. WATER MAINS SHALL HAVE A MINIMUM OF 5.5 FEET COVER. WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10 FEET MINIMUM. THRUST BLOCKS SHALL BE USED AT ALL BENDS IN THE WATER MAINS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
- VERIFY UTILITY CONNECTIONS TO BUILDING WITH ARCHITECTURAL DRAWINGS.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
- UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
- THE CONNECTION(S) OF THE PROPOSED SEWER TO THE EXISTING SEWER SHALL BE INSPECTED BY AUTHORIZED TOWN OF LONDONDERRY DEPARTMENT OF ENGINEERING & ENVIRONMENTAL SERVICES PERSONNEL BEFORE ANY BACKFILLING. INSPECTION HOURS ARE BETWEEN 9:00 AM AND 4:30 PM, MONDAY THRU FRIDAY, WITH A MINIMUM NOTICE OF 2 BUSINESS DAYS.
- PROPOSED PVC SEWER PIPE SHALL BE PRESSURE TESTED BY AN APPROVED THIRD-PARTY TESTING FIRM WITH TOWN OF LONDONDERRY DEPARTMENT OF ENGINEERING & ENVIRONMENTAL SERVICES PERSONNEL, OR AUTHORIZED REPRESENTATIVE, PRESENT ON SITE AS A WITNESS.
- ALL SEWER CONSTRUCTION AND USE SHALL CONFORM TO THE NHDES ENV-WQ 700 STANDARDS, THE TOWN OF LONDONDERRY TYPICAL DETAILS FOR SITE & ROADWAY INFRASTRUCTURE AND THE TOWN OF LONDONDERRY SEWER USE ORDINANCE.

TAX MAP 28 LOTS 9, 10, & 10-4
UTILITY PLAN
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
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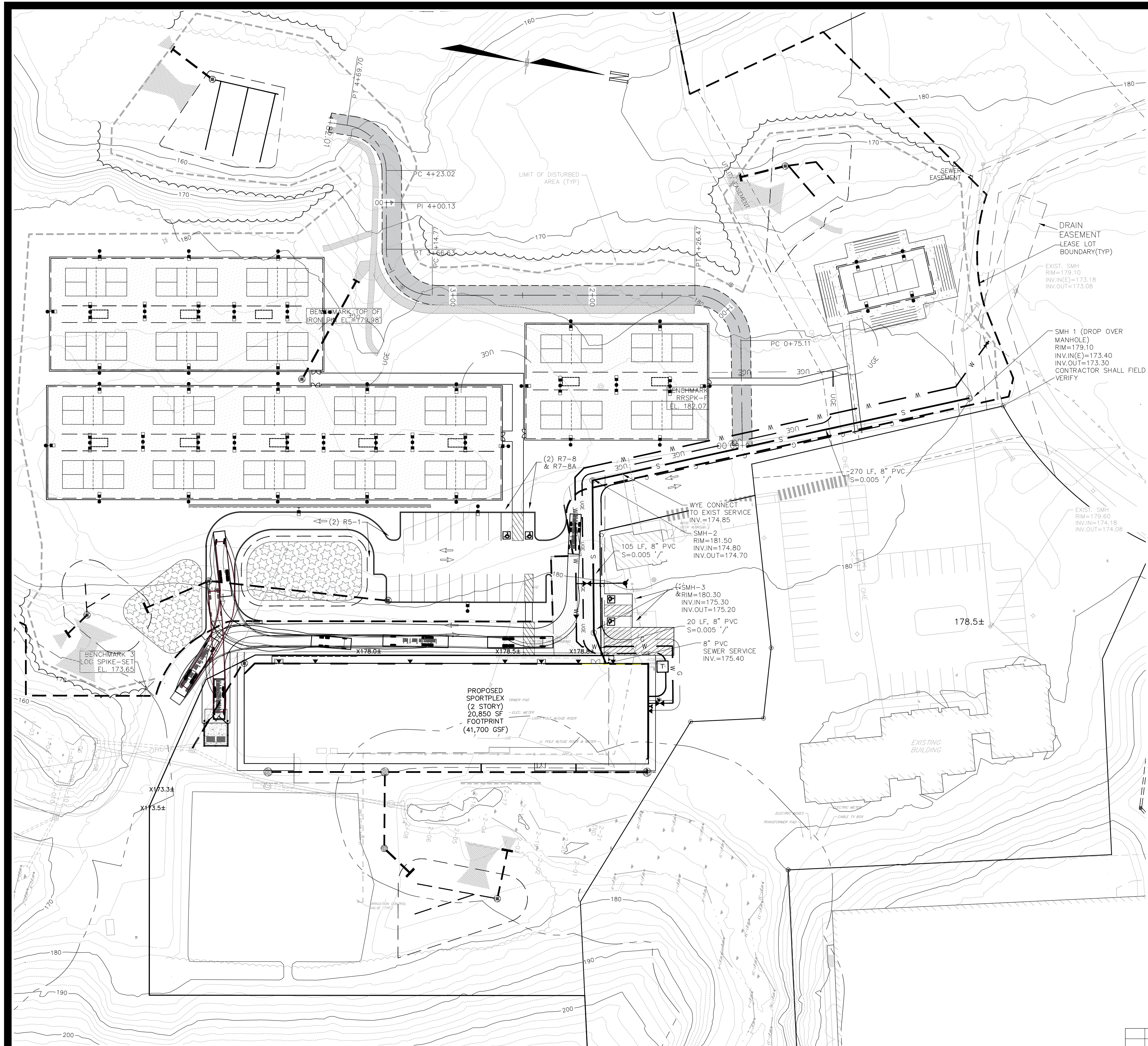


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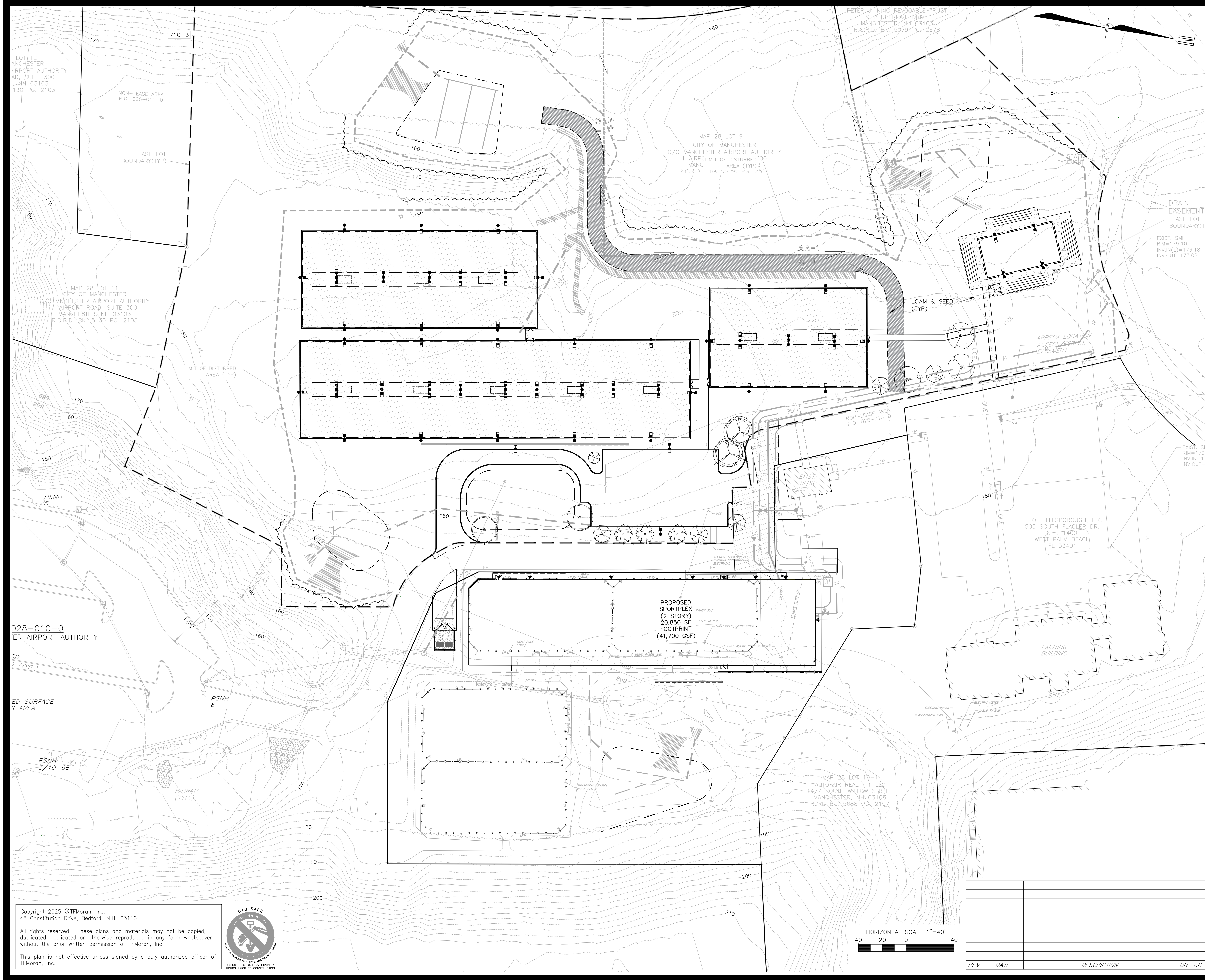
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 CK RED CADFILE 17562-06 SITE C-8



TAX MAP 28 LOTS 9, 10, & 10-4
SEWER PLAN & PROFILE
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
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LANDSCAPE LEGEND

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
	3	ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE	2 1/2" TO 3" CAL.	B&B
	2	BETULA NIGRA 'DURA HEAT' DURA HEAT RIVER BIRCH	12' TO 14' CLUMP	B&B
	5	CRATAEGUS CRUSGALLI L. 'CRUSADER' CRUSADER THORNLESS HAWTHORN	2 1/2" TO 3" CAL.	B&B
	2	QUERCUS RUBRA RED OAK	2 1/2" TO 3" CAL.	B&B
	3	ULMUS AMERICANA 'PRINCETON' PRINCETON AMERICAN ELM	2 1/2" TO 3" CAL.	B&B
	2	SYRINGA VULGARIS COMMON PURPLE LILAC	3 GAL.	CONT.

LANDSCAPE REQUIREMENTS

GREEN SPACE REQUIREMENT:
 20' GREEN SPACE BUFFER ALONG ROW.
 15' GREEN SPACE BUFFER ALONG SIDE AND REAR LOT LINES.

INTERIOR PARKING LANDSCAPE AREA REQUIREMENTS:
 (3.10g1. OF SITE PLAN REGS)
FRONT PARKING LOT: 10% LANDSCAPE AREA REQUIRED.
 REQUIRED: FRONT PARKING LOT: 1,795 SF
 PROVIDED: 6,437 SF
SIDE PARKING LOT: 8% LANDSCAPE AREA
 REQUIRED: SIDE PARKING LOT: N/A
 PROVIDED: N/A
REAR PARKING LOT: 5% LANDSCAPE AREA
 REQUIRED: SIDE PARKING LOT: N/A
 PROVIDED: N/A

INTERNAL PARKING LOT LANDSCAPING:
 (3.10g3. OF SITE PLAN REGS)
 1 TREE/15 PARKING SPACES (31 SPACES/15) = 2 TREES
 TOTAL TREES REQUIRED = 2
 TOTAL TREES PROVIDED = 3

PARKING LOT PERIMETER LANDSCAPING:
 (3.10g5. OF SITE PLAN REGS)
 1 SHADE TREE/20' OF PARKING PERIMETER (AS AMENDED) [ANSI Z60.1-1996]
 TOTAL TREES REQUIRED = 21
 * TREES PROVIDED = 9 TREES

LANDSCAPE NOTES

- (SEE DETAILS FOR ADDITIONAL NOTES)
- GENERAL**
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES, REGULATIONS, LAWS, AND ORDINANCES HAVING JURISDICTION OVER THIS PROJECT SITE.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND NOTIFY OWNER'S REPRESENTATIVE OF CONFLICTS.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON PLANS BEFORE PRICING THE WORK. ANY DIFFERENCE IN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION. LANDSCAPE QUANTITIES SHOWN ON THE PLAN SHALL SUPERCEDE QUANTITIES LISTED IN LANDSCAPE LEGEND.
 - THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO STARTING WORK AND VERIFY THAT THE PLANS IN THE CONTRACTOR'S POSSESSION ARE THE MOST CURRENT PLANS AVAILABLE AND ARE THE APPROVED PLAN SET FOR USE IN CONSTRUCTION.
 - ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) [FORMERLY THE AMERICAN ASSOCIATION OF NURSERMEN] IN THE AMERICAN STANDARD FOR NURSERY STOCK (AS AMENDED) [ANSI Z60.1-1996].
 - ALL PLANTS SHALL BE FIRST CLASS AND SHALL BE REPRESENTATIVE OF THEIR NORMAL SPECIES AND/OR VARIETIES. ALL PLANTS MUST HAVE GOOD, HEALTHY, WELL-FORMED UPPER GROWTH AND A LARGE, FIBROUS, COMPACT ROOT SYSTEM.
 - ALL PLANTS SHALL BE FREE FROM DISEASE AND INSECT PESTS AND SHALL COMPLY WITH ALL APPLICABLE STATE AND FEDERAL LAWS PERTAINING TO PLANT DISEASES AND INFESTATIONS.
 - ALL TREES SHALL BE BALLED AND BURLAPPED (B & B) UNLESS OTHERWISE NOTED OR APPROVED BY LANDSCAPE ARCHITECT.
 - IF APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
 - ALL INVASIVE PLANT SPECIES FROM THE "NEW HAMPSHIRE PROHIBITED INVASIVE PLANT SPECIES LIST", TO BE REMOVED SHALL BE DONE SO IN ACCORDANCE WITH THE "INVASIVE SPECIES ACT, HB 1258-FN."
- GUARANTEE**
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE WORK FOR A PERIOD OF ONE YEAR, BEGINNING AT THE START OF THE MAINTENANCE PERIOD.

TAX MAP 28 LOTS 9, 10, & 10-4

LANDSCAPE PLAN

EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10

CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 300, MANCHESTER, NH 03103
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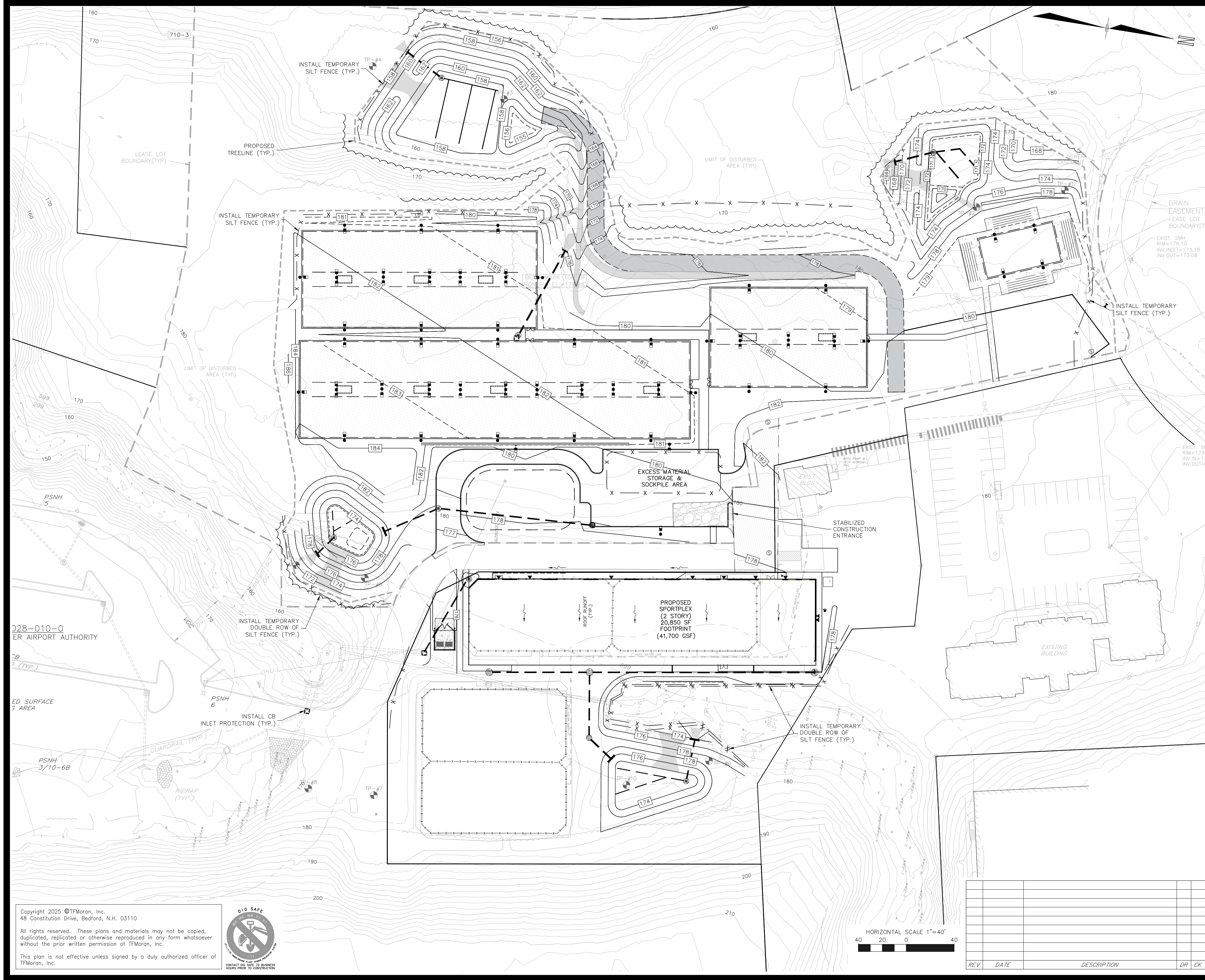
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- ### NOTES
- SEE NOTES ON SHEET C-2, EROSION CONTROL NOTES ON SHEET C-11, EROSION CONTROL DETAILS ON SHEET C-13, AND THE APPROVED SWPPP, AS APPLICABLE.
 - INSTALL SILT BARRIER ALONG THE PERIMETER OF THE AREA TO BE DISTURBED AS FIRST ORDER OF WORK.
 - PROVIDE INLET PROTECTION BARRIERS AROUND ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED. INLET PROTECTION BARRIERS SHALL BE IN PLACE AT ALL CATCH BASINS PRIOR TO THE DISTURBANCE OF SOIL.
 - DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IT SHALL BE ACCOMPLISHED BY THE UNIFORM APPLICATION OF CALCIUM CHLORIDE AT THE RATE OF 1-1/2 POUNDS PER SQUARE YARD BY MEANS OF A LIME SPREADER OR OTHER APPROVED METHOD. WATER MAY ALSO BE USED FOR DUST CONTROL, AND APPLIED BY SPRINKLING WITH WATER TRUCK DISTRIBUTORS, AS REQUIRED.
 - THE SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION IF THE DISTURBANCE EXCEEDS ONE ACRE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN NOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE FOR, OR ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
 - SILT PROTECTION MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS CONTAINED IN THIS PLAN SET.
 - CONSTRUCT JUTE MATTING ON ALL SLOPES STEEPER THAN 3:1, DISTURBED AREAS SLOPING TOWARDS WETLANDS AND ALL LOCATIONS SHOWN ON PLAN.
 - INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN STORM OF 0.10" OR GREATER. REPAIR/MODIFY SILT BARRIER AS NECESSARY TO MAXIMIZE FILTER EFFICIENCY. REMOVE SEDIMENT WHEN SEDIMENT IS 1/3 THE STRUCTURE HEIGHT.
 - PROVIDE SILT BARRIERS AT THE BASE OF CUT AND FILL SLOPES UNTIL COMPLETION OF THE PROJECT OR UNTIL VEGETATION BECOMES ESTABLISHED ON SLOPES. EROSION PROTECTION BELOW FILL SLOPES SHALL BE PLACED IMMEDIATELY AFTER CLEARING, PRIOR TO EMBANKMENT CONSTRUCTION.
 - ALL DISTURBED AREAS SHALL BE REVEGETATED AS QUICKLY AS POSSIBLE. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
 - ALL WORK AREAS TO BE STABILIZED AT THE END OF EACH WORK DAY AND PRIOR TO ANY PREDICTED SIGNIFICANT RAIN EVENT.
 - AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS, WHICH MEET THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2, ARE INSTALLED IN AREAS TO BE PAVED
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
 - ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
 - THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.
 - THE TOWN SHOULD RESERVE THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION.
 - IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
 - TURTLES MAY BE ATTRACTED

TAX MAP 28 LOTS 9, 10, & 10-4
EROISION CONTROL PLAN
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
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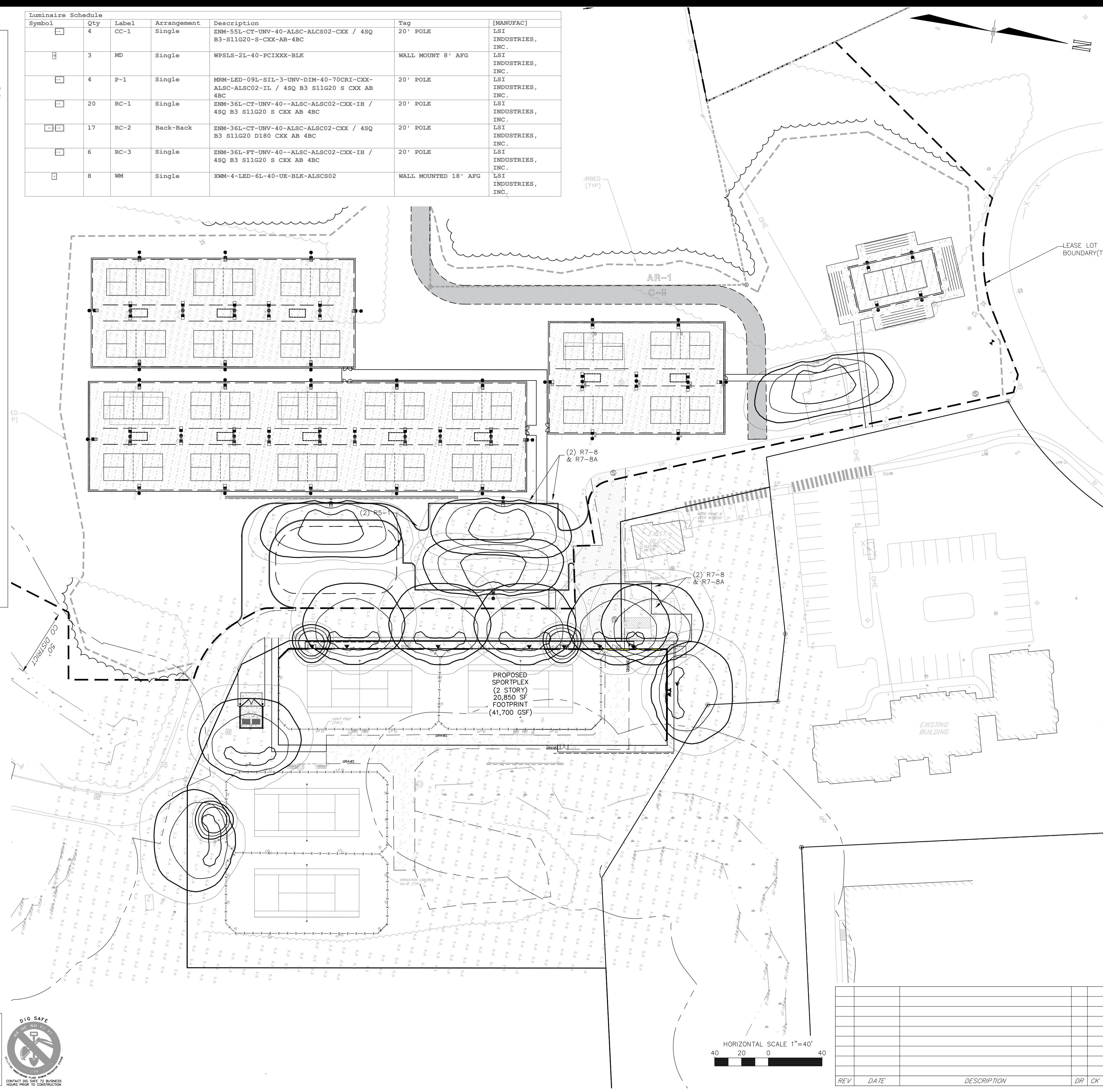
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LIGHTING CALCULATIONS

PARKING SPACES AT COMPETITION COURT Illuminance (Fc) Average = 2.28 Maximum = 3.2 Minimum = 0.6 Avg/Min Ratio = 3.80 Max/Min Ratio = 5.50	LARGE PARKING LOT Illuminance (Fc) Average = 2.59 Maximum = 4.5 Minimum = 1.0 Avg/Min Ratio = 2.59 Max/Min Ratio = 4.50
COMPETITION COURT Illuminance (Fc) Average = 64.38 Maximum = 69.5 Minimum = 55.6 Avg/Min Ratio = 1.16 Max/Min Ratio = 1.25	
TYPICAL COURT FOUR COURT AREA Illuminance (Fc) Average = 40.93 Maximum = 51.8 Minimum = 23.3 Avg/Min Ratio = 1.62 Max/Min Ratio = 2.05	
TYPICAL END COURT_1 TEN COURT AREA Illuminance (Fc) Average = 42.04 Maximum = 52.1 Minimum = 23.9 Avg/Min Ratio = 1.76 Max/Min Ratio = 2.18	
TYPICAL INNER COURT TEN COURT AREA Illuminance (Fc) Average = 43.34 Maximum = 53.6 Minimum = 29.6 Avg/Min Ratio = 1.46 Max/Min Ratio = 1.81	
TYPICAL CENTER COURT SIX COURT AREA Illuminance (Fc) Average = 41.92 Maximum = 53.7 Minimum = 28.0 Avg/Min Ratio = 1.50 Max/Min Ratio = 1.92	TYPICAL END COURT SIX COURT AREA Illuminance (Fc) Average = 41.38 Maximum = 51.6 Minimum = 30.0 Avg/Min Ratio = 1.38 Max/Min Ratio = 1.72

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Description	Tag	[MANUFAC]
☐	4	CC-1	Single	ZNM-55L-CT-UNV-40-ALSC-ALCS02-CXX / 4SQ B3-S11G20-S-CXX-AB-4BC	20' POLE	LSI INDUSTRIES, INC.
☐	3	MD	Single	WPSLS-2L-40-PCIXXX-BLK	WALL MOUNT 8' AFG	LSI INDUSTRIES, INC.
☐	4	P-1	Single	MRM-LED-09L-SIL-3-UNV-DIM-40-70CRI-CXX-ALSC-ALSC02-IL / 4SQ B3 S11G20 S CXX AB 4BC	20' POLE	LSI INDUSTRIES, INC.
☐	20	RC-1	Single	ZNM-36L-CT-UNV-40--ALSC-ALSC02-CXX-IH / 4SQ B3 S11G20 S CXX AB 4BC	20' POLE	LSI INDUSTRIES, INC.
☐☐	17	RC-2	Back-Back	ZNM-36L-CT-UNV-40-ALSC-ALSC02-CXX / 4SQ B3 S11G20 D180 CXX AB 4BC	20' POLE	LSI INDUSTRIES, INC.
☐	6	RC-3	Single	ZNM-36L-FT-UNV-40--ALSC-ALSC02-CXX-IH / 4SQ B3 S11G20 S CXX AB 4BC	20' POLE	LSI INDUSTRIES, INC.
☐	8	WM	Single	XWM-4-LED-6L-40-DE-BLK-ALSCS02	WALL MOUNTED 18' AFG	LSI INDUSTRIES, INC.



NOTES

- LIGHTING PLAN AND CALCULATIONS PREPARED BY EXPOSURE LIGHTING.
- 

LSI - MIRADA MEDIUM (MRM)
POLE MOUNTED 20' ABOVE F.G. NOT TO SCALE
- 

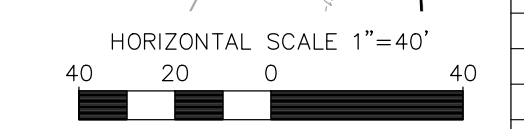
LSI - ZONE MEDIUM (ZNM)
POLE MOUNTED 20' ABOVE F.G. NOT TO SCALE
- 

LSI - STEEL POLES
SQUARE STRAIGHT POLE NOT TO SCALE
- 

LSI - SLIM WALL PACK (WPSLS)
WALL MOUNTED 8' ABOVE F.G. NOT TO SCALE
- 


LSI - MIRADA MEDIUM WALL SCENCE (XWM)
WALL MOUNTED 18' ABOVE F.G. NOT TO SCALE

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REV	DATE	DESCRIPTION	DR	CK

TAX MAP 28 LOTS 9, 10, &10-4
LIGHTING PLAN
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
 CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 900, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

48 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
 www.tfmoran.com

17562.06 DR JSH
 CK RED CADFILE

17562-06 SITE

C-13

CONSTRUCTION SEQUENCE NOTES

- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- CUT AND CLEAR TREES WITHIN AREA OF DISTURBANCE UNLESS OTHERWISE NOTED.
- CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES PRIOR TO ANY EARTH MOVING OPERATION.
- DEMOLISH EXISTING STRUCTURES.
- ROUGH GRADE SITE OR PHASED WORK AREA. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING. ALL DISTURBED AREAS SHALL BE STABILIZED NO LATER THAN 72 HOURS AFTER CONSTRUCTION ACTIVITY CEASES. IF EARTHWORK TEMPORARILY CEASES ON A PORTION OF OR THE ENTIRE SITE, AND WILL NOT RESUME WITHIN 21 DAYS, THE AREA SHALL BE STABILIZED.
AN AREA SHALL BE CONSIDERED STABILIZED IF:
A) BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
B) A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C) A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED, OR
D) EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- CONSTRUCT CULVERTS, DETENTION BASINS AND TREATMENT SWALES. PLACE HEADWALLS, RIP-RAP AND OTHER DRAINAGE FACILITIES ACCORDING TO PLAN. THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES, AND PONDS/BASINS PRIOR TO DIRECTING FLOW TO THEM.
- INSTALL ALL UNDERGROUND UTILITIES.
- CONSTRUCT BUILDINGS.
- CONSTRUCT PARKING AND FINISH GRADE SITE ACCORDING TO PLAN. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL MEASURES PERIODICALLY AND IMMEDIATELY AFTER STORM EVENTS.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE ALL AREAS ARE STABILIZED WITH A SUITABLE STAND OF GRASS, PAVEMENT OR COMPACTED GRAVELS.
* REFER TO THE STORM WATER MANAGEMENT PLAN FOR EROSION CONTROL MEASURES AND SPECIFIC INFORMATION.

GENERAL NOTES

- ALL IN PAVEMENT MANHOLES SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
- WHERE DEPTH OF COVER IS LESS THAN 3 FEET CLASS V REINFORCED CONCRETE PIPE SHALL BE USED.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE NHDOS STANDARDS. THESE DETAILS SERVE AS A GUIDE ONLY.
- REFER TO THE TOWN STANDARD DETAILS, LATEST REVISION, FOR ADDITIONAL INFORMATION AND CRITERIA.
- THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES, AND PONDS PRIOR TO DIRECTING FLOW TO THEM.
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.

WINTER CONSTRUCTION

IN ADDITION TO THE OTHER NOTES CONTAINED ON THIS PLAN, THE FOLLOWING MUST BE IMPLEMENTED:

- WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED AS SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- AN AREA WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIER.
- TEMPORARY MULCH MUST BE APPLIED WITHIN 7 DAYS OF SOIL EXPOSURE OR PRIOR TO ANY STORM EVENT, BUT AFTER EVERY WORKDAY IN AREAS WITHIN 100 FEET FROM A PROTECTED NATURAL RESOURCE.
- AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE MUST BE PERMANENTLY MULCHED THE SAME DAY.
- IN THE EVENT OF A SNOWFALL GREATER THAN 1 INCH (FRESH OR CUMULATIVE), THE SNOW SHALL BE REMOVED FROM THE AREAS DUE TO BE SEEDED AND MULCHED.
- LOAM SHALL BE FREE OF FROZEN CLUMPS BEFORE IT IS APPLIED.
- A DITCH THAT WILL BE CONSTRUCTED DURING THE WINTER MUST BE STABILIZED WITH RIPRAP.

OVERWINTER STABILIZATION

- PERMANENT STABILIZATION CONSISTS OF AT LEAST 85% VEGETATION, PAVEMENT/GRAVEL BASE OR RIPRAP.
- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTINGS, ELSEWHERE, THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
- DO NOT EXPOSE SLOPES OR LEAVE SLOPES EXPOSED OVER THE WINTER OR FOR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS FULLY PROTECTED WITH MULCH.
- APPLY HAY MULCH AT TWICE THE STANDARD RATE (150 LBS. PER 1,000 SF). THE MULCH MUST BE THICK ENOUGH SUCH THAT THE GROUND SURFACE WILL NOT BE VISIBLE AND MUST BE ANCHORED.
- USE MULCH AND MULCH NETTING OR AN EROSION CONTROL MULCH BLANKET OR MIX FOR ALL SLOPES GREATER THAN 8% OR OTHER AREAS EXPOSED TO DIRECT WIND.
- INSTALL AN EROSION CONTROL BLANKET IN ALL DRAINAGE WAYS (BOTTOM AND SIDES) WITH A SLOPE GREATER THAN 3%.
- SEE THE VEGETATION MEASURES FOR MORE INFORMATION ON SEEDING DATES AND TYPES.

EROSION CONTROL NOTES

- DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED:
- INSTALLATION OF SILTATION FENCES AND OTHER EROSION CONTROL MEASURES SHALL BE COMPLETED PRIOR TO THE START OF SITE WORK IN ANY GIVEN AREA. PREFABRICATED SILTATION FENCES SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
 - SILTATION FENCES AND OTHER EROSION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL SLOPES HAVE A VEGETATIVE COVER OF GREATER THAN 85%. EROSION CONTROL MEASURES SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EVERY RAINFALL.
 - EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
 - THE AREA OF LAND EXPOSED AND THE TIME OF EXPOSURE SHALL BE MINIMIZED. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
 - ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF 4" OF LOAM. ACCEPTABLE SEED MIXES ARE AS FOLLOWS:

TYPICAL LAWN MIX (MIN. 200 LBS/ACRE):
 33% CREEPING RED FESCUE (MIN. 66 LBS/ACRE)
 42% PERENNIAL RYEGRASS (MIN. 84 LBS/ACRE)
 21% KENTUCKY BLUEGRASS (MIN. 42 LBS/ACRE)
 4% REDTOP (MIN. 8 LBS/ACRE)

TEMPORARY LAWN MIX (MIN. 47 LBS/ACRE):
 100% ANNUAL RYE

WILDFLOWER SLOPE (NHDOT TYPE 45) MIX 3:1 OR GREATER SLOPES (MIN. 160 LBS/ACRE):

38% CREEPING RED FESCUE (MIN. 60 LBS/ACRE)
 32% PERENNIAL RYEGRASS (MIN. 51 LBS/ACRE)
 5% REDTOP (MIN. 8 LBS/ACRE)
 5% ALSIKE CLOVER (MIN. 8 LBS/ACRE)
 5% BIRDSFOOT TREFLOIL (MIN. 8 LBS/ACRE)
 3% LANCE-LEAF COREOPSIS (MIN. 3 LBS/ACRE)
 3% OXEYE DAISY (MIN. 3 LBS/ACRE)
 3% BUTTERFLY WEED (MIN. 3 LBS/ACRE)
 3% BLACKKEYED SUSAN (MIN. 3 LBS/ACRE)
 3% WILD LUPINE (MIN. 3 LBS/ACRE)

GENERAL SLOPE (NHDOT TYPE 44) MIX 3:1 OR GREATER SLOPES (MIN. 160 LBS/ACRE):

44% CREEPING RED FESCUE (MIN. 70 LBS/ACRE)
 38% PERENNIAL RYEGRASS (MIN. 60 LBS/ACRE)
 6% REDTOP (MIN. 10 LBS/ACRE)
 6% ALSIKE CLOVER (MIN. 10 LBS/ACRE)
 6% BIRDSFOOT TREFLOIL (MIN. 10 LBS/ACRE)

- PLACING LOAM ON SITE
 - ALL SUBGRADE ELEVATIONS SHOULD BE UNIFORMLY GRADED TO RECEIVE LOAM AND SHALL BE INSPECTED AND APPROVED BY THE GENERAL CONTRACTOR PRIOR TO PLACEMENT OF LOAM.
 - PLACE LOAM TO FORM A MINIMUM DEPTH OF 1" WHEN ROLLED, UNLESS OTHERWISE INDICATED.
 - ALL DEPRESSIONS EXPOSED DURING THE ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM.
- SEED BED PREPARATION
 - AFTER FINISH GRADING AND JUST BEFORE SEEDING, THE AREAS TO BE SEEDDED SHALL BE LOOSENEED TO PROVIDE A ROUGH, FIRM BUT FINELY PULVERIZED SEEDBED. THE INTENT IS A TEXTURE CAPABLE OF RETAINING WATER, SEED AND FERTILIZER WHILE REMAINING STABLE AND ALLOWING SEED TIME TO GERMINATE. SEED SHALL BE APPLIED TO THE CONDITIONED SEEDBED NOT MORE THAN 48 HOURS AFTER THE SEEDBED HAS BEEN PREPARED.
- LIME AND FERTILIZER SHALL BE INCORPORATED INTO THE SOIL PRIOR TO OR AT THE TIME OF AT THE TIME OF SEEDING. A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS. PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. SEEDING PRACTICES SHALL COMPLY WITH LOCAL USDA SOIL CONSERVATION SERVICES RECOMMENDATIONS.
- HAY MULCH OR JUTE MATTING SHALL BE USED WHERE INDICATED ON THE PLANS. A MINIMUM OF 1.5 TONS OF MULCH PER ACRE SHALL BE APPLIED. MULCH SHALL BE ANCHORED IN PLACE WHERE NECESSARY. JUTE MATTING SHALL BE LAID IN THE DIRECTION OF RUNOFF FLOW AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 15 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING WINTER MONTHS.
- WATER SHALL BE USED FOR DUST CONTROL IN APPROPRIATE AREAS.

STOCKPILE NOTES

- LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CONCENTRATED FLOWS OF STORMWATER, DRAINAGE COURSES AND INLETS.
- PROTECT ALL STOCKPILES FROM STORMWATER RUN-ON USING TEMPORARY PERIMETER MEASURES SUCH AS DIVERSIONS, BERMS, SANDBAGS OR OTHER APPROVED PRACTICES.
- STOCKPILES SHOULD BE SURROUNDED BY SEDIMENT BARRIERS, SUCH AS SILT FENCE OR SILT SOCK, TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.
- IMPLEMENT WIND EROSION CONTROL PRACTICES AS APPROPRIATE ON ALL STOCKPILED MATERIAL.
- PLACE BAGGED MATERIALS ON PALLETS AND UNDER COVER.
- INACTIVE STOCKPILES
 - INACTIVE SOIL STOCKPILES SHOULD BE COVERED WITH ANCHORED TARPS OR PROTECTED WITH SOIL STABILIZATION MEASURES (TEMPORARY SEED AND MULCH OR OTHER TEMPORARY PRACTICE) AND TEMPORARY PERIMETER SEDIMENT BARRIERS AT ALL TIMES.
 - INACTIVE STOCKPILES OF CONCRETE RUBBLE, ASPHALT CONCRETE RUBBLE, AGGREGATE MATERIALS AND OTHER SIMILAR MATERIALS SHOULD BE PROTECTED WITH TEMPORARY SEDIMENT PERIMETER BARRIERS AT ALL TIMES. IF THE MATERIALS ARE A SOURCE OF DUST, THEY SHOULD ALSO BE COVERED.
- ACTIVE STOCKPILES
 - ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY LINEAR SEDIMENT BARRIERS PRIOR TO THE ONSET OF PRECIPITATION. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY. WHEN A STORM EVENT IS PREDICTED, STOCKPILES SHOULD BE PROTECTED WITH AN ANCHORED PROTECTIVE COVERING.

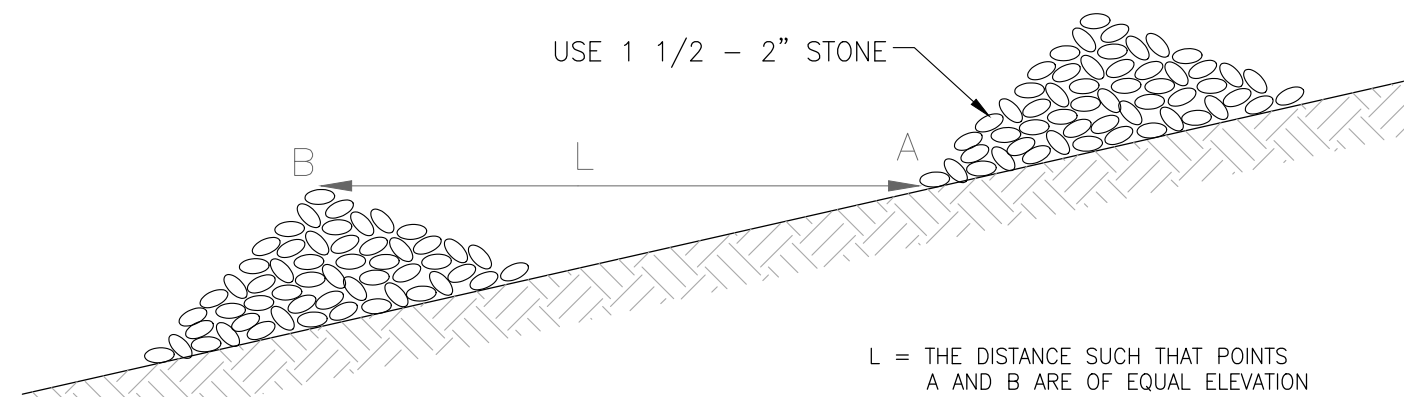
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STONE CHECK DAM



NOT TO SCALE

INSTALLATION

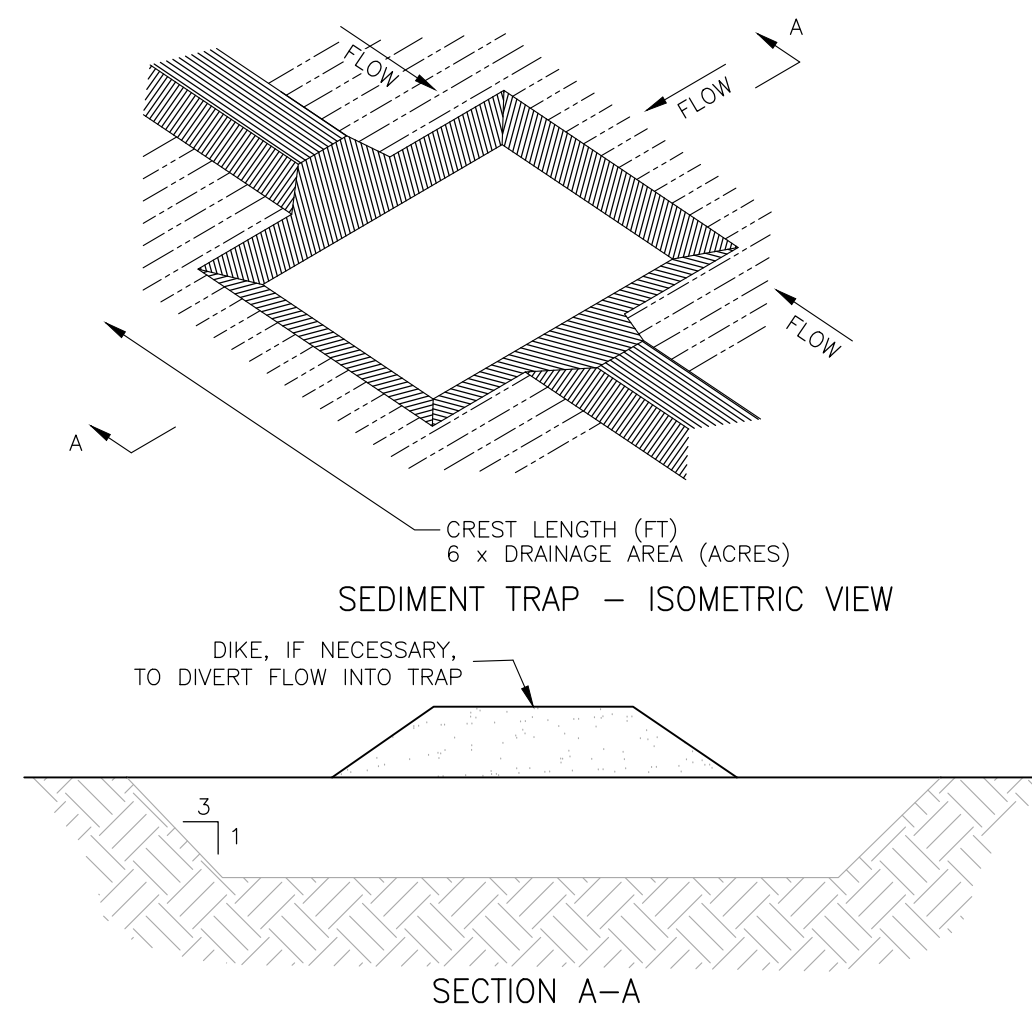
INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS: PLACE ABSORBENT PILLLOW IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY BAG® II SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

MAINTENANCE

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY BAG® II. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS; REPLACE ABSORBENT WHEN NEAR SATURATION.

DANDY BAG® II

NOT TO SCALE

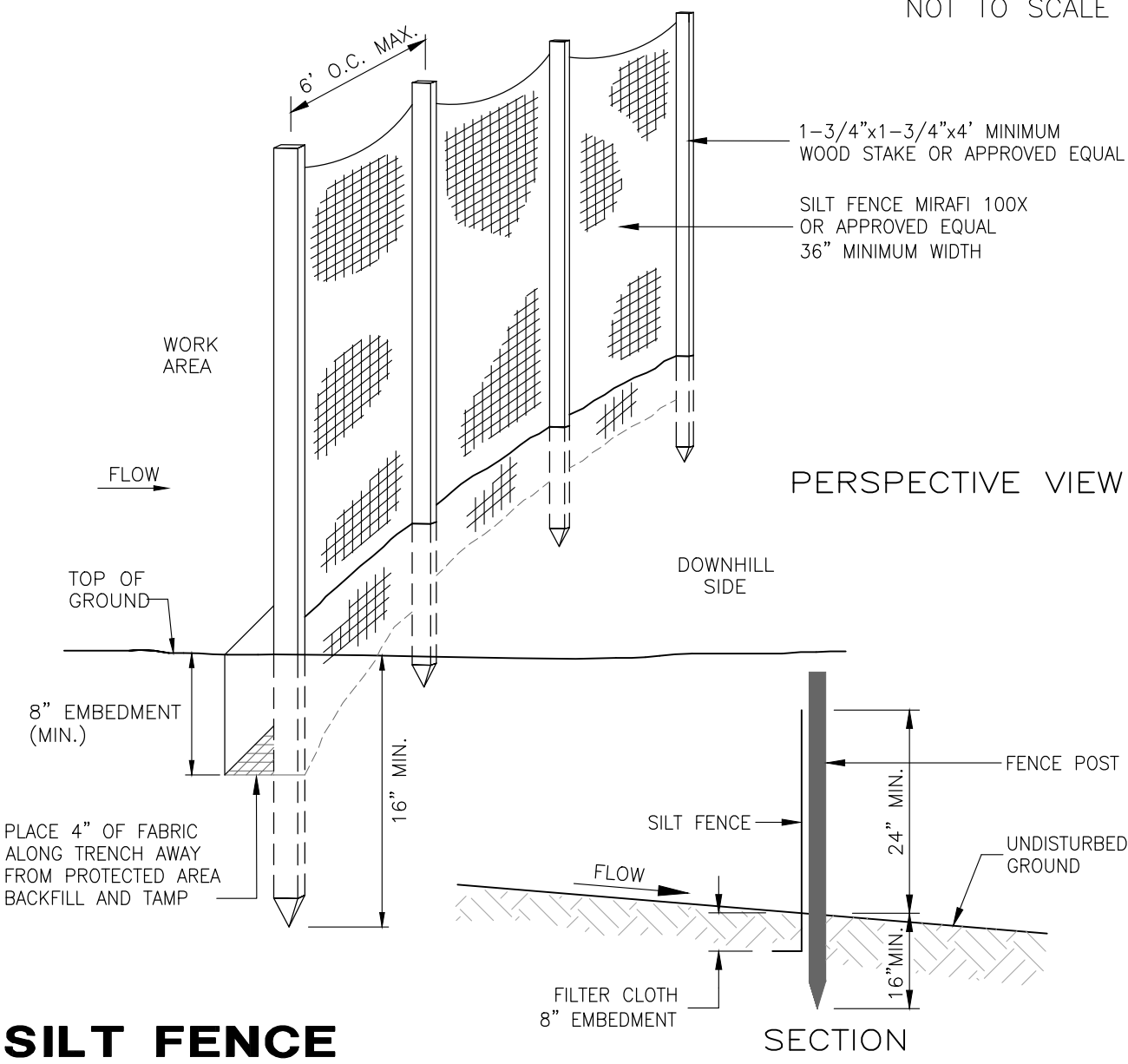


NOTES

- SEDIMENT TRAP TO BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL BASINS/PONDS ARE STABILIZED. IF IT IS DETERMINED THAT CONSTRUCTION OF A SEDIMENT TRAP IS WARRANTED, CONSULT WITH ENGINEER TO DETERMINE APPROPRIATE NUMBER AND DIMENSIONS.

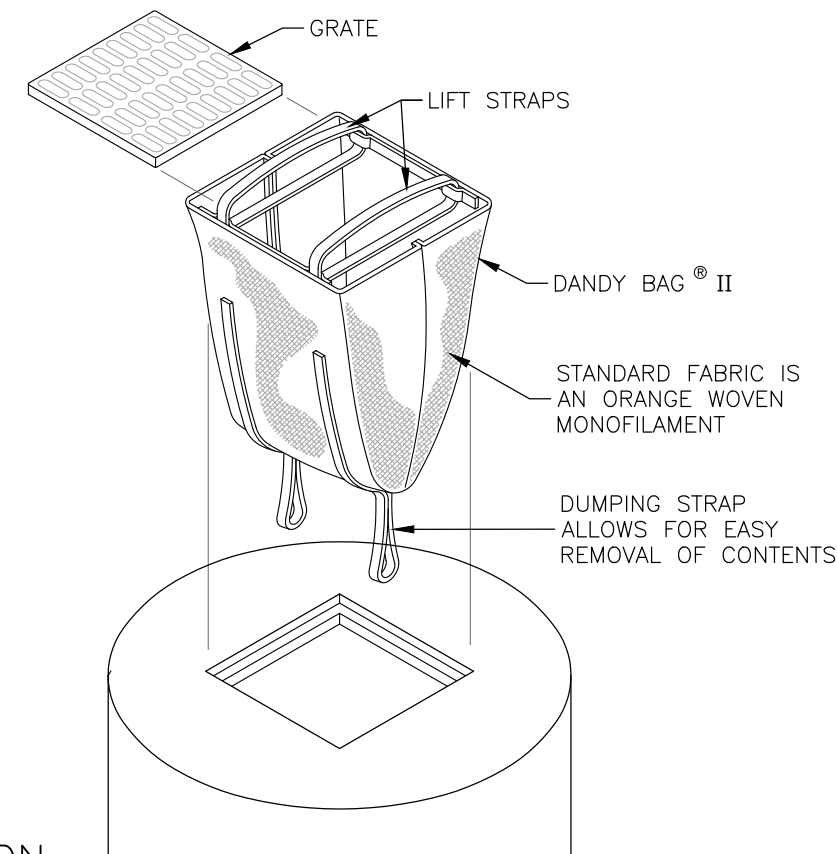
SEDIMENT TRAP

NOT TO SCALE



SILT FENCE

NOT TO SCALE



INSTALLATION

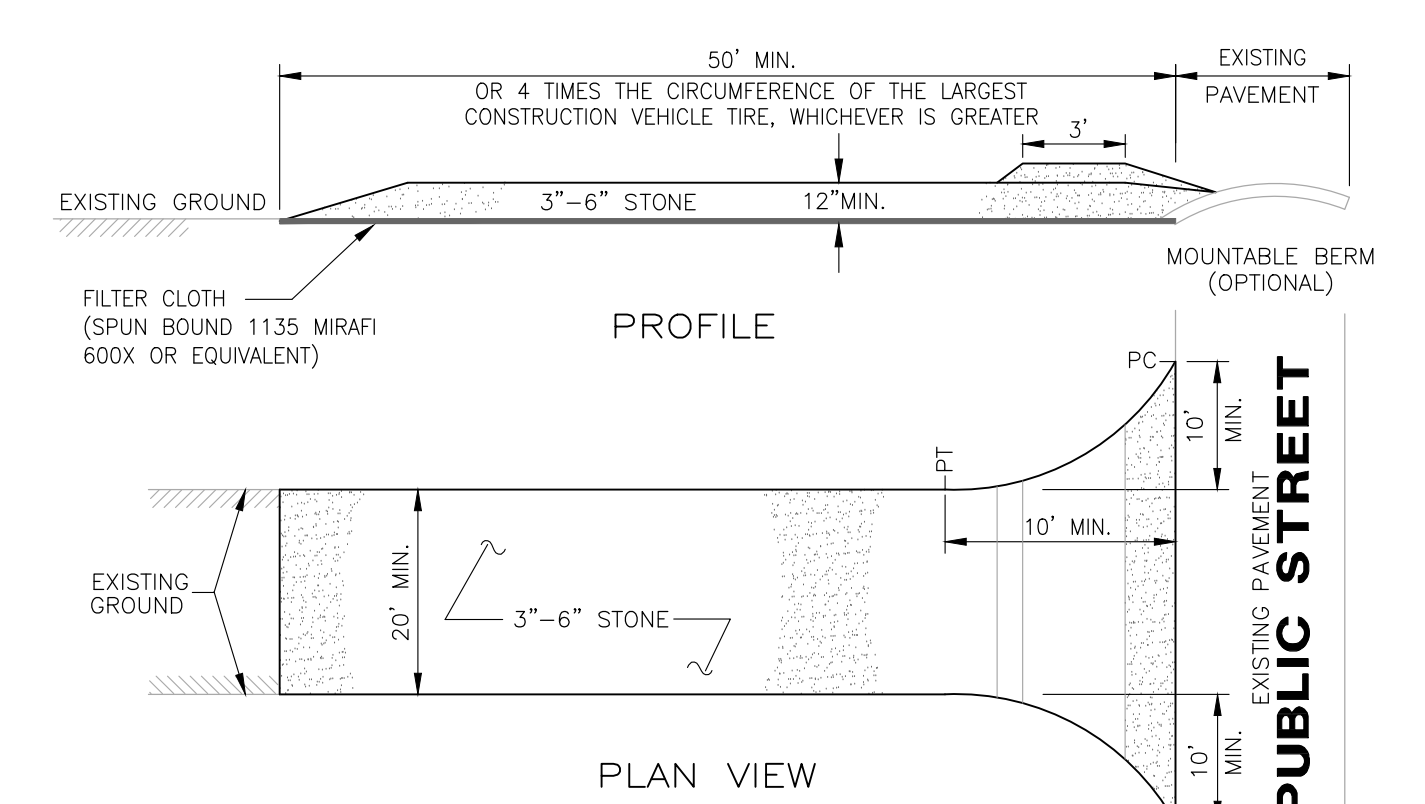
INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS: PLACE ABSORBENT PILLLOW IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY BAG® II SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

MAINTENANCE

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY BAG® II. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS; REPLACE ABSORBENT WHEN NEAR SATURATION.

DANDY BAG® II

NOT TO SCALE



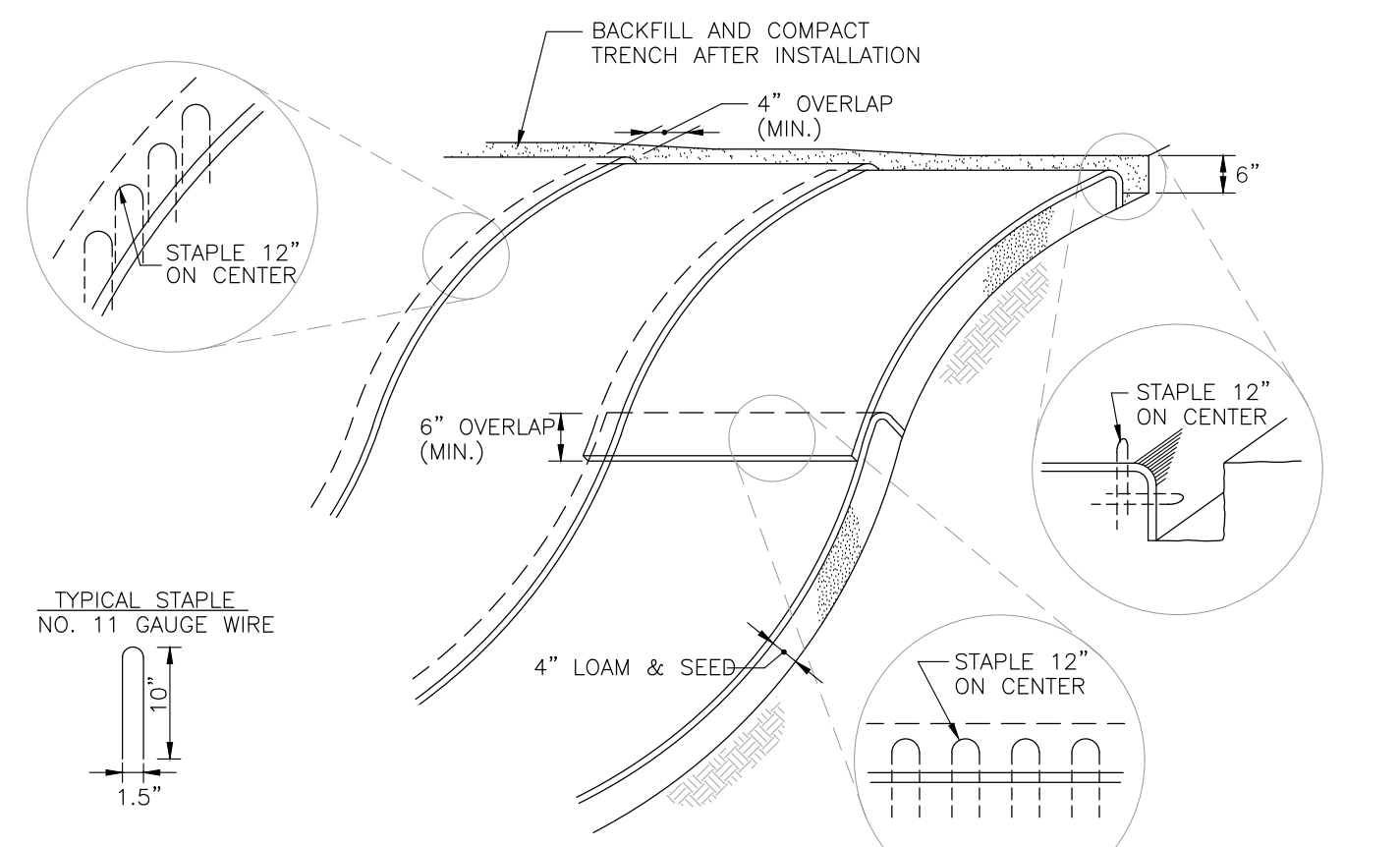
NOTES

- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
- WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

USDA - SCS STABILIZED CONSTRUCTION ENTRANCE

SEE PLAN FOR PROPOSED LOCATION

NOT TO SCALE



NOTES

- BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH. BACKFILL AND COMPACT TRENCH AFTER STAPLING.
- ROLL THE BLANKET DOWN THE SWALE IN THE DIRECTION OF THE WATER FLOW.
- THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
- WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE BLANKET END OVER END WITH 6 INCH (MIN.) OVERLAP AND ANCHOR DOWN SLOPE BLANKET IN A 6 INCH DEEP TRENCH.
- BLANKET SHALL BE NORTH AMERICAN GREEN SC-150 OR APPROVED EQUAL.

BLANKET SLOPE PROTECTION

FOR EROSION CONTROL

NOT TO SCALE

TAX MAP 28 LOTS 9, 10, &10-4

DETAILS SHEET

EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10

CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 900, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10

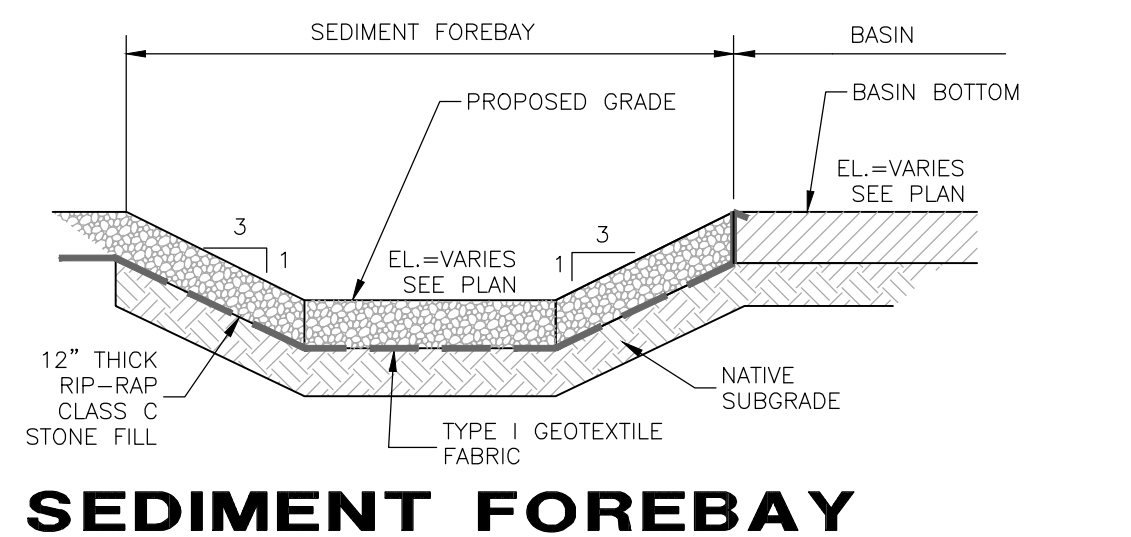
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103

APPLICANT
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103

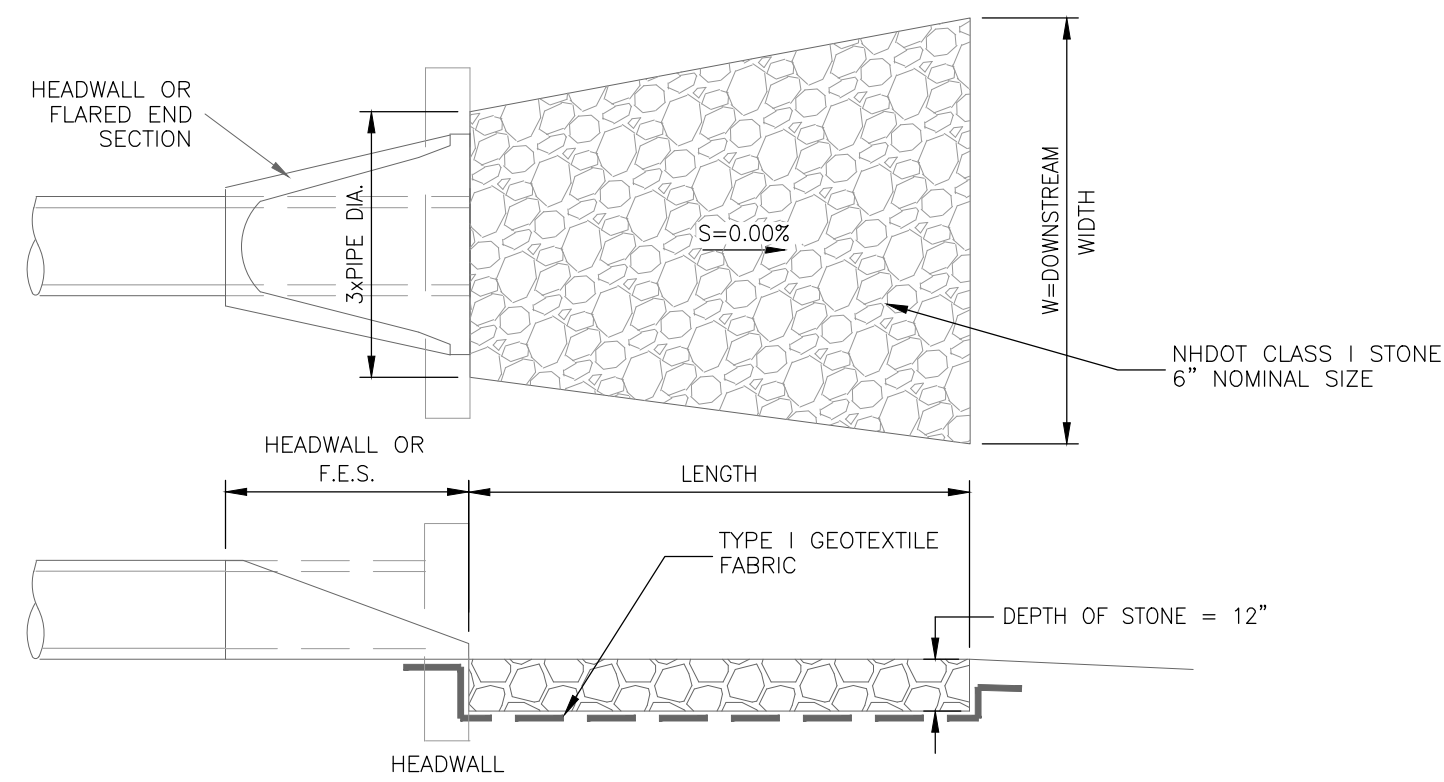
NOVEMBER 18, 2025

	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com	
			F I 17562.06

REV	DATE	DESCRIPTION	DR	CK



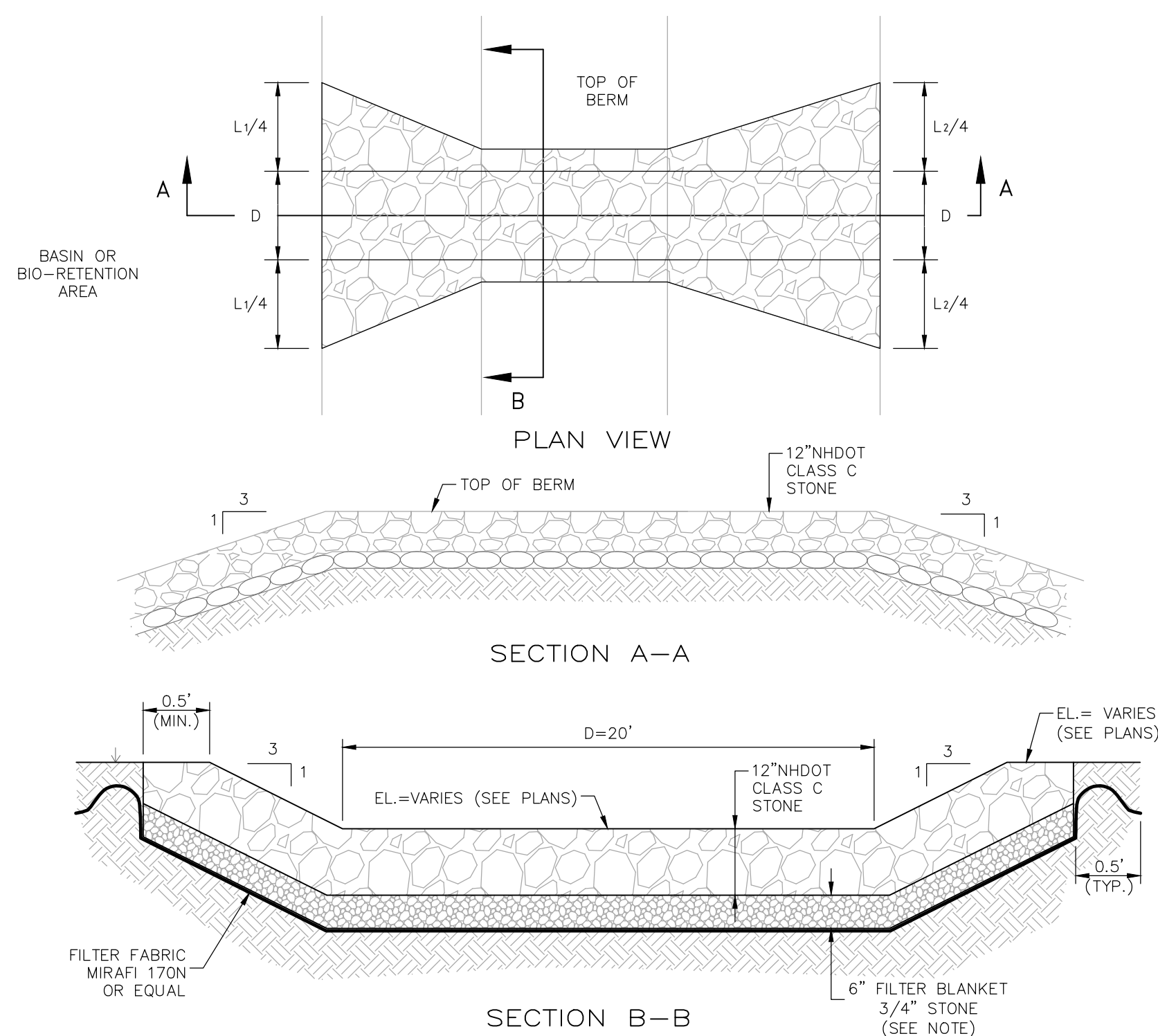
SEDIMENT FOREBAY
NOT TO SCALE



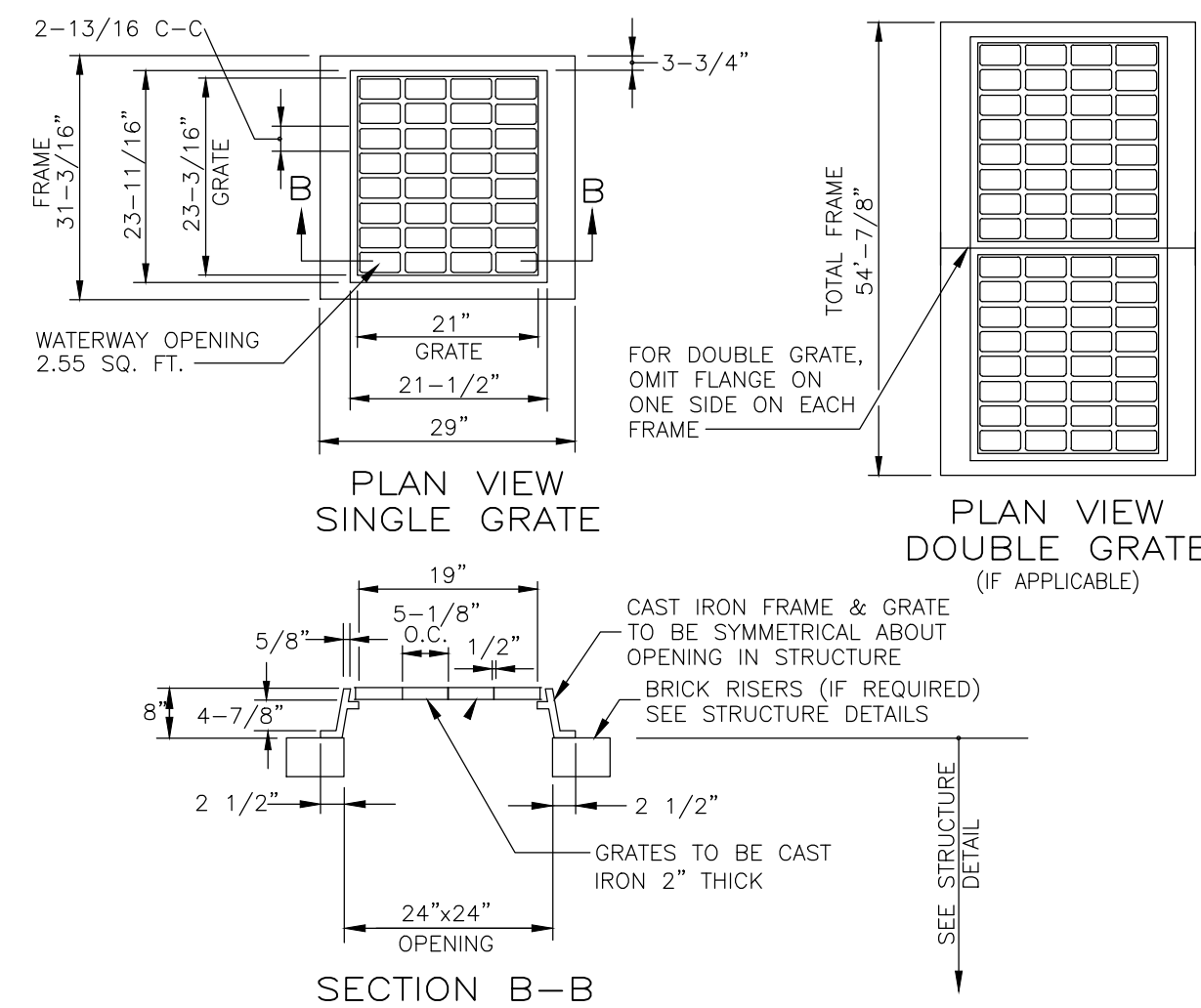
OUTLET	Do (ft.)	Q25 (cfs)	Tw (ft.)	LENGTH (ft.)	WIDTH up (ft.)	WIDTH dn (ft.)	d50 (in.)*
HW-2	1.25	2.0	0.8	13.0	3.8	9.0	0.6
HW-1	1.00	1.6	0.7	11.8	3.0	7.7	0.7

Notes:
 1 Use NHDOT Class C Stone
 2 Depth of Stone to be 12" min. or 1.5 times d50 - which ever is larger
 3 Design storm: 25-year storm

OUTLET APRON
NOT TO SCALE

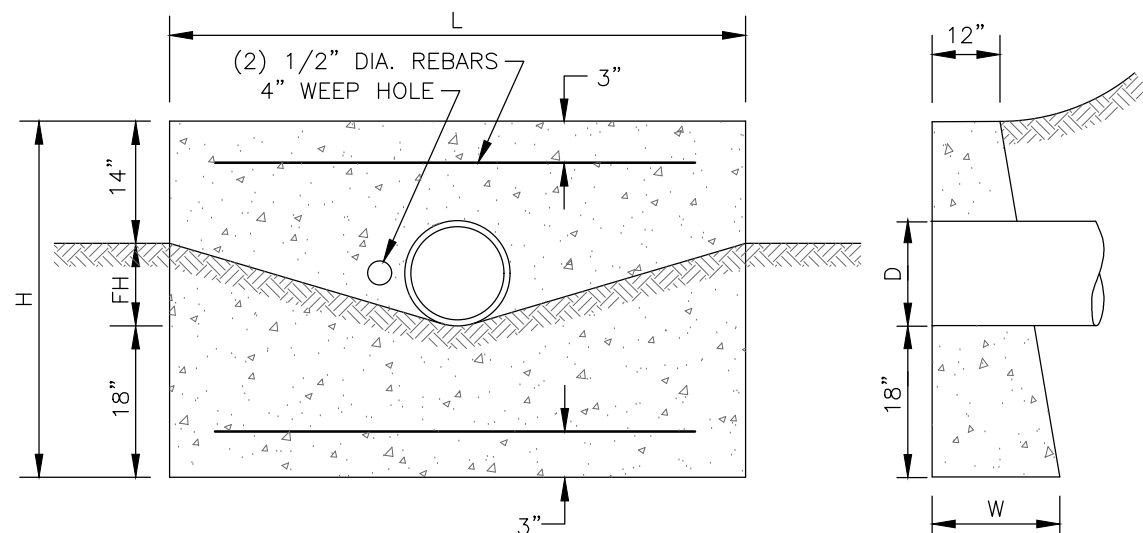


RIPRAP EMERGENCY SPILLWAY
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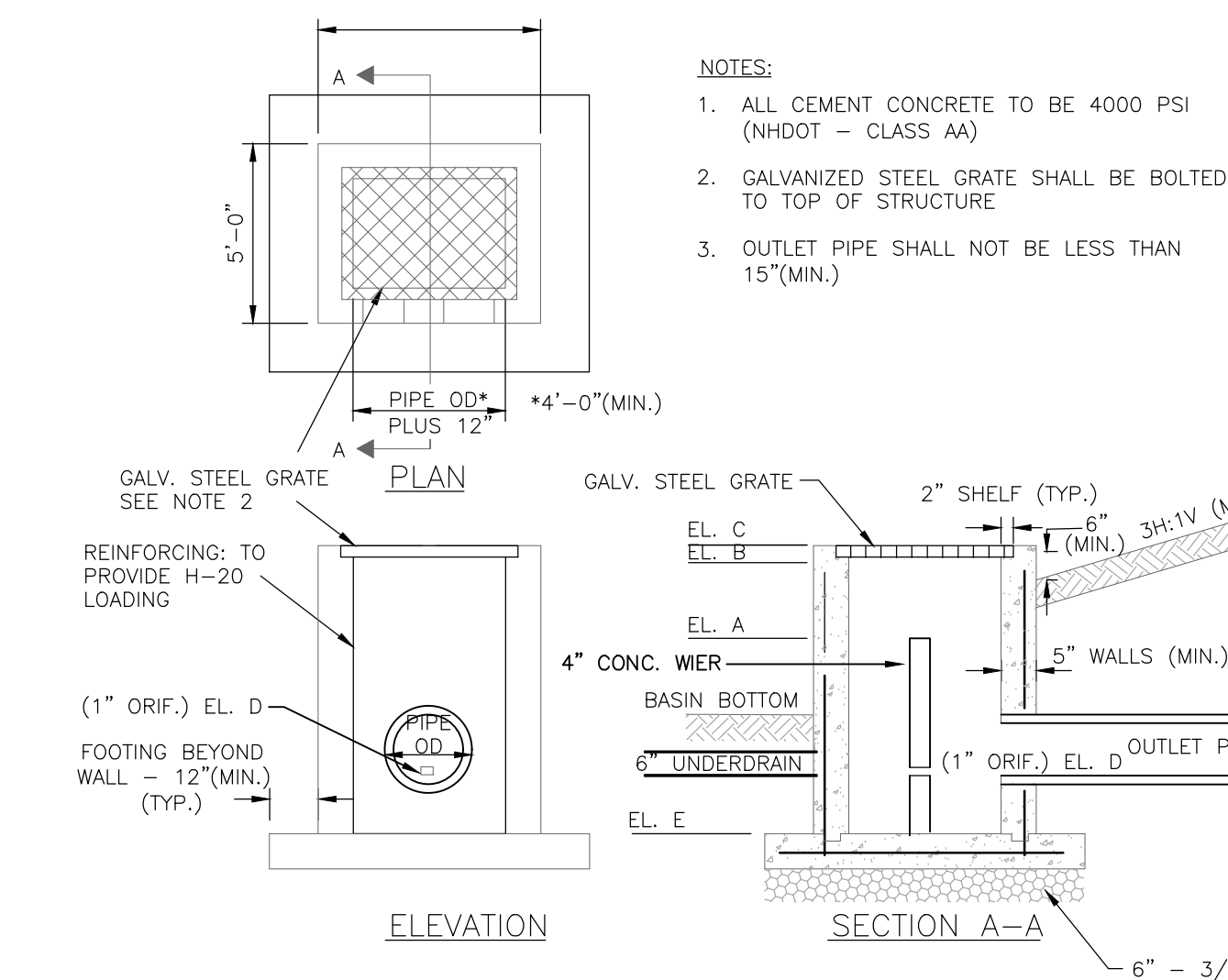


FRAME AND GRATE
NHDOT TYPE B ALT 1 NOT TO SCALE

NOMINAL PIPE SIZE D	LENGTH OF BARS L	H	FH	W
12	3'-2"	3'-6"	3'-6"	0'-10" 1'-10.5"
15	4'-2"	4'-6"	3'-9"	1'-1
18	5'-2"	5'-6"	4'-0"	1'-4
24	7'-2"	7'-6"	4'-6"	1'-10
30	9'-2"	9'-6"	5'-0"	2'-4
36	11'-2"	11'-6"	5'-6"	2'-10
42	13'-2"	13'-6"	6'-0"	3'-4
48	15'-2"	15'-6"	6'-6"	3'-10

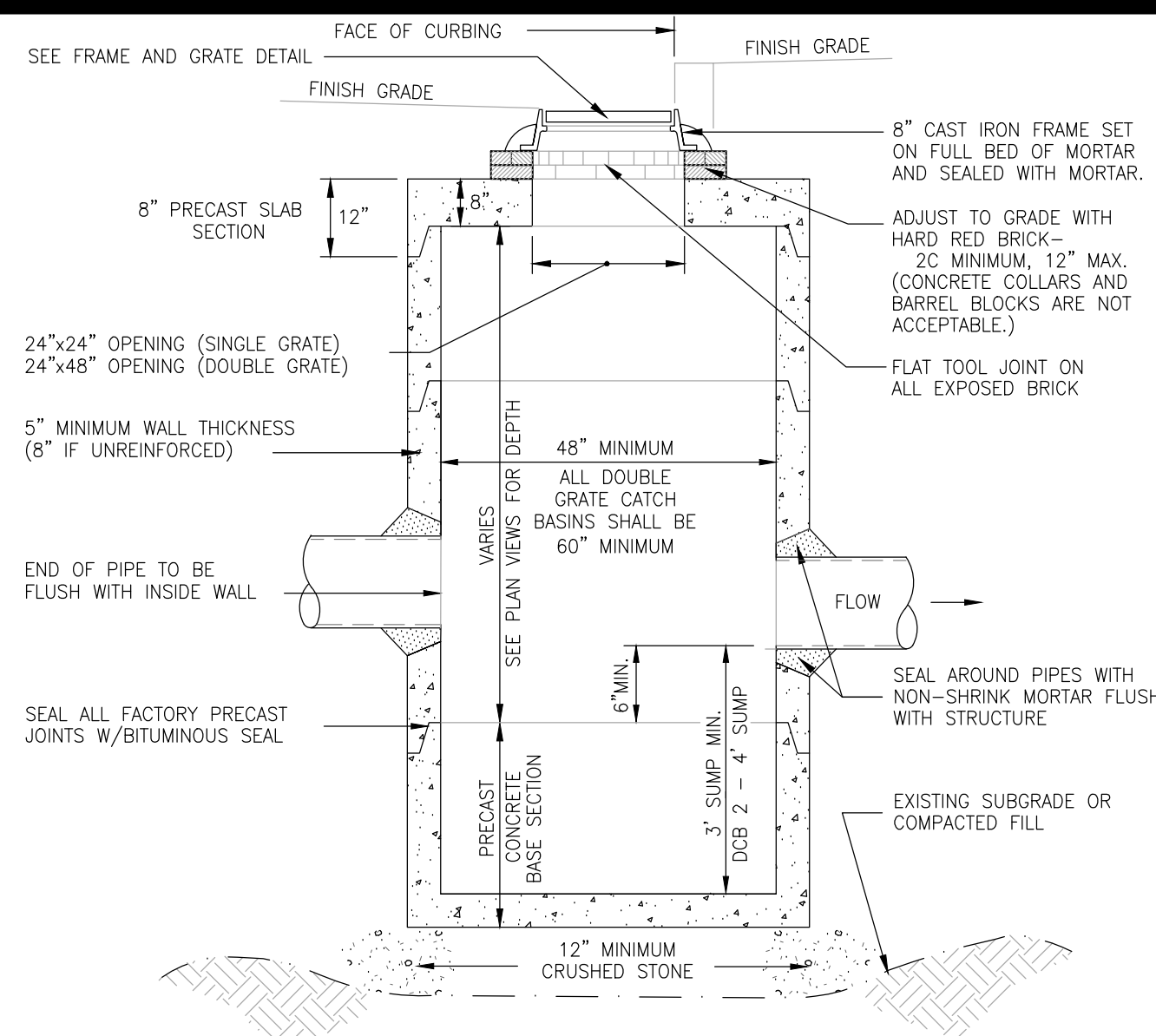


CONCRETE HEADWALL
SINGLE PIPE SYSTEM NOT TO SCALE

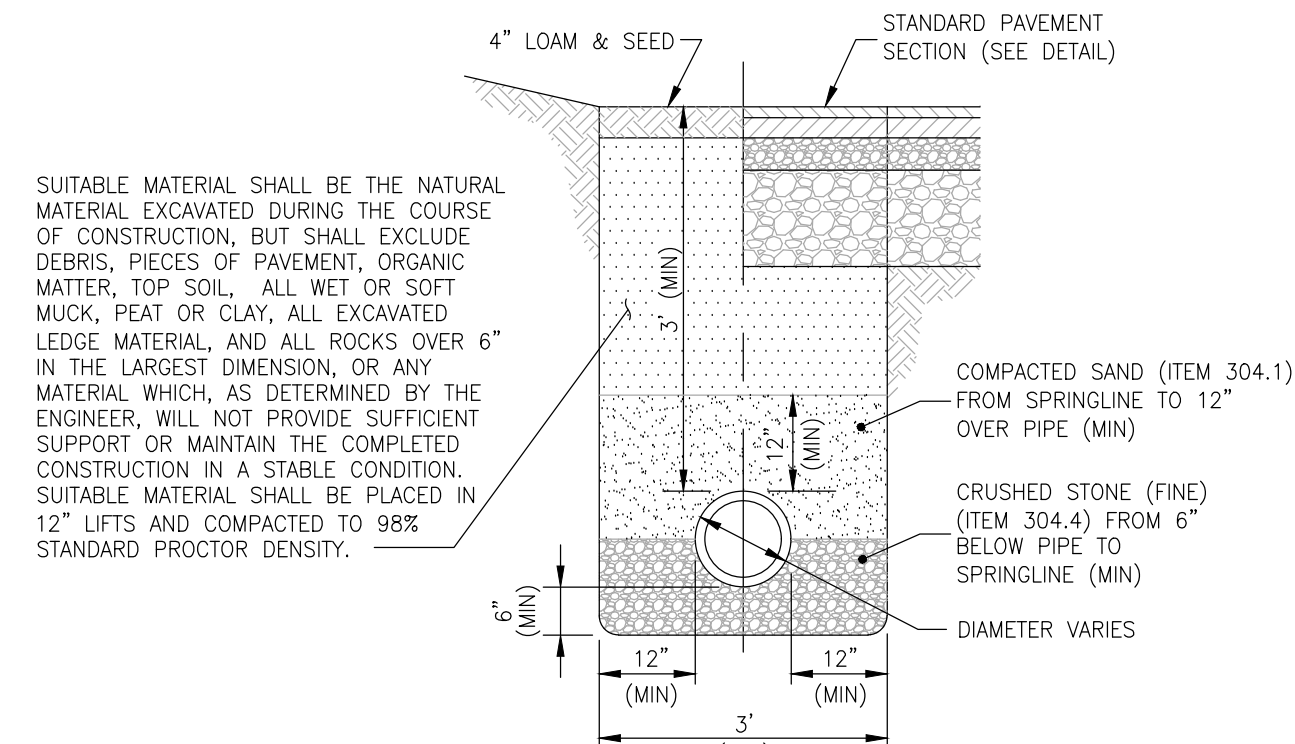


LOCATION	ELEVA	ELEVB	ELEVC	ELEVD	ELEVE	ELEV F
OS1	160	161.5	161.5	155.15	154	162
OS2	172.3	173.3	173.3	168.45	167.3	173.5
OS3	176.5	177.5	177.5	170.9	169.75	178
OS4	-	-	177.5	171.15	170	178

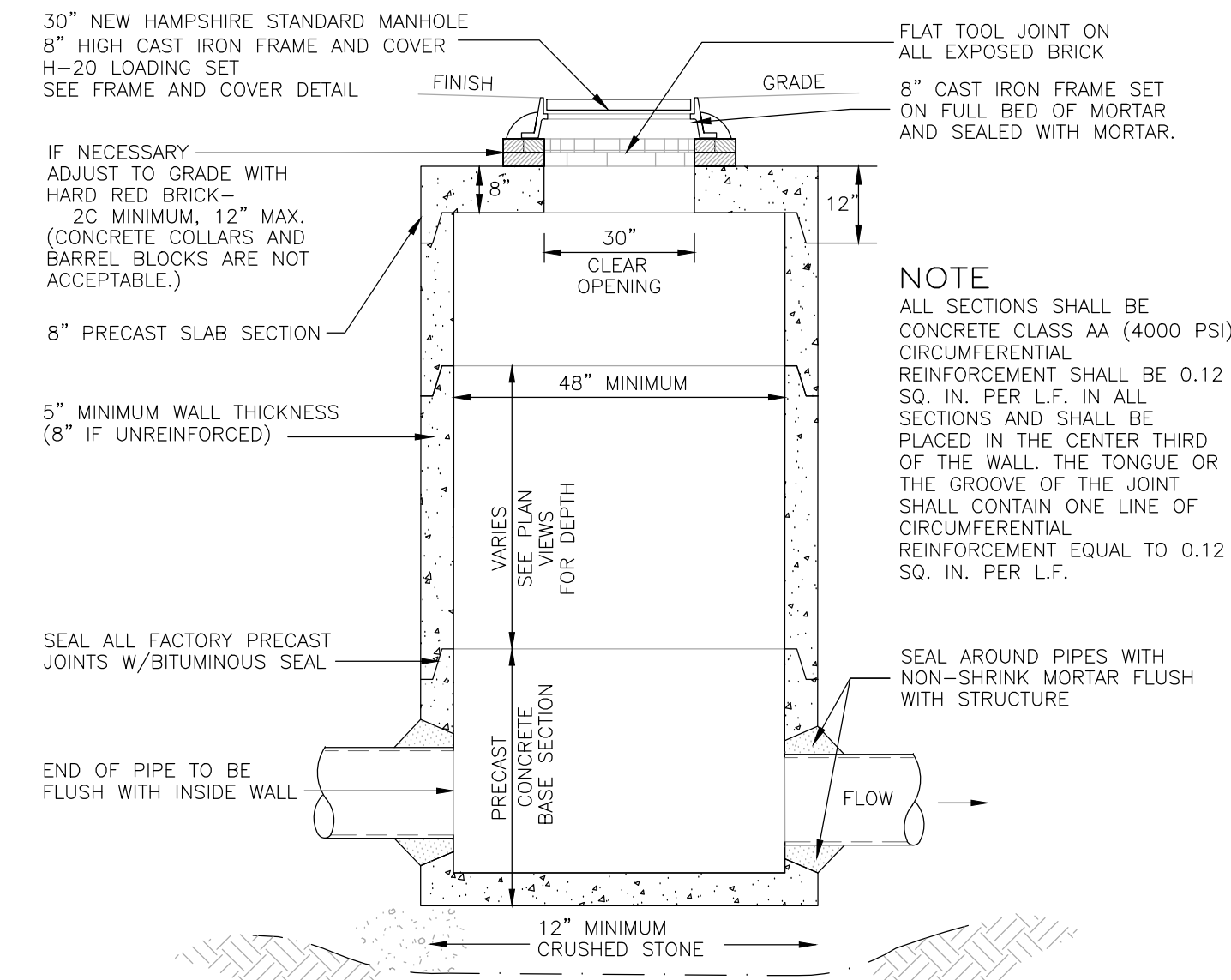
OUTLET STRUCTURE AT DETENTION BASIN
NOT TO SCALE



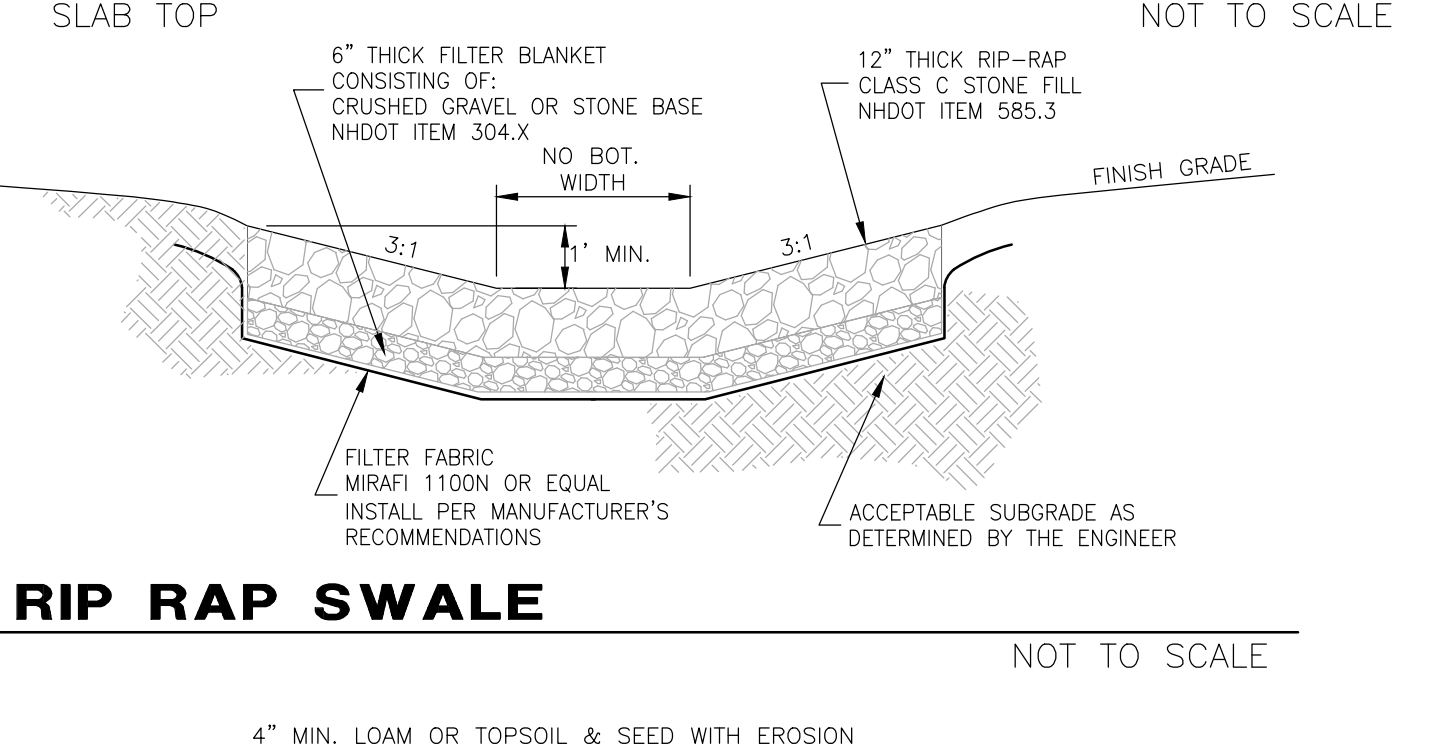
CATCH BASIN
SLAB TOP NOT TO SCALE



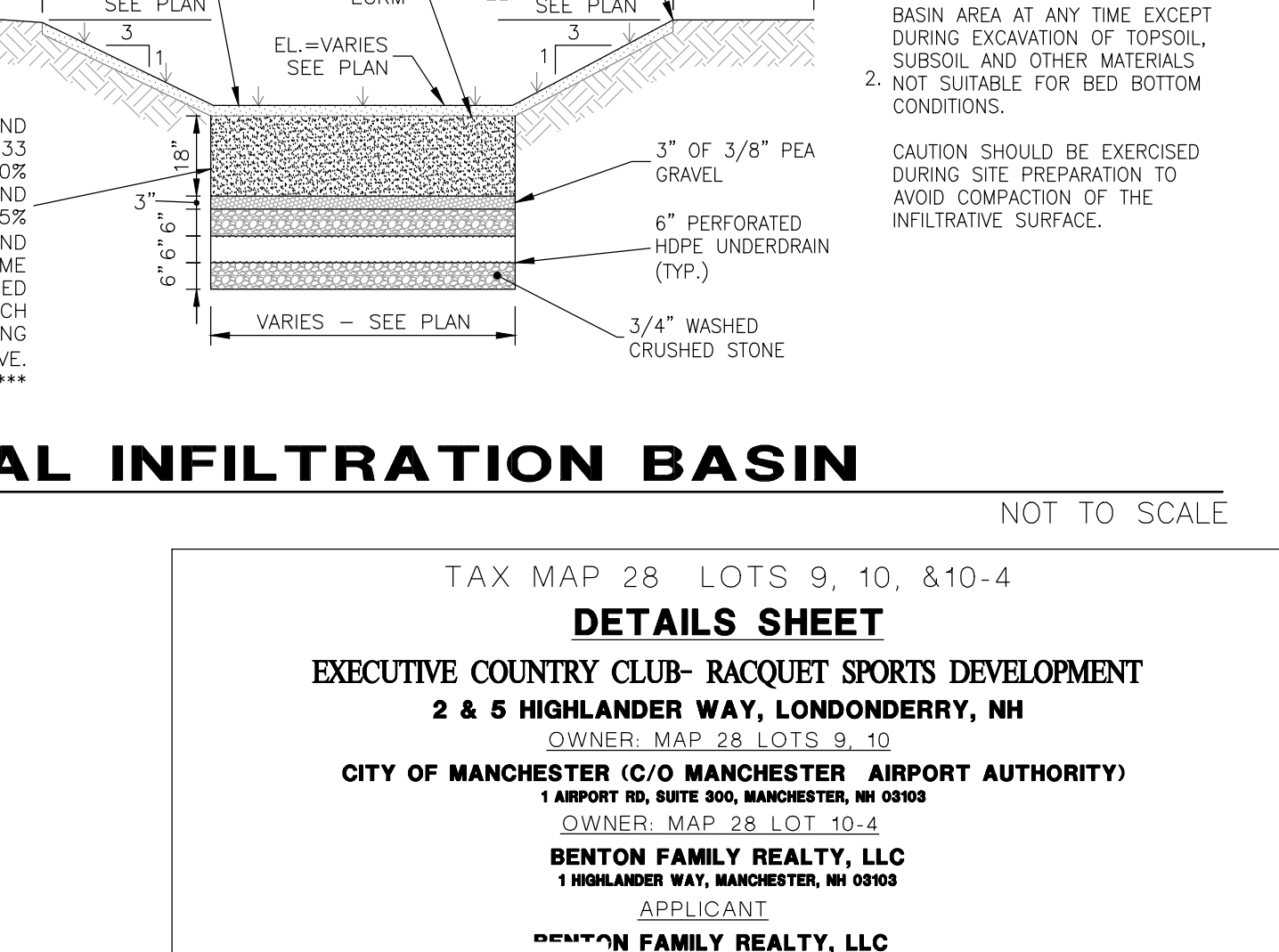
STORM DRAIN TRENCH
NOT TO SCALE



DRAIN MANHOLE
SLAB TOP NOT TO SCALE



RIP RAP SWALE
NOT TO SCALE



TYPICAL INFILTRATION BASIN
NOT TO SCALE

TAX MAP 28 LOTS 9, 10, & 10-4
DETAILS SHEET
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
 CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD. SUITE 300, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
 BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
 BENTON FAMILY REALTY, LLC
 100 W. WASHINGTON ST., MANCHESTER, NH 03103
 NOVEMBER 18, 2025

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REV	DATE	DESCRIPTION	DR	CK

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GENERAL NOTES

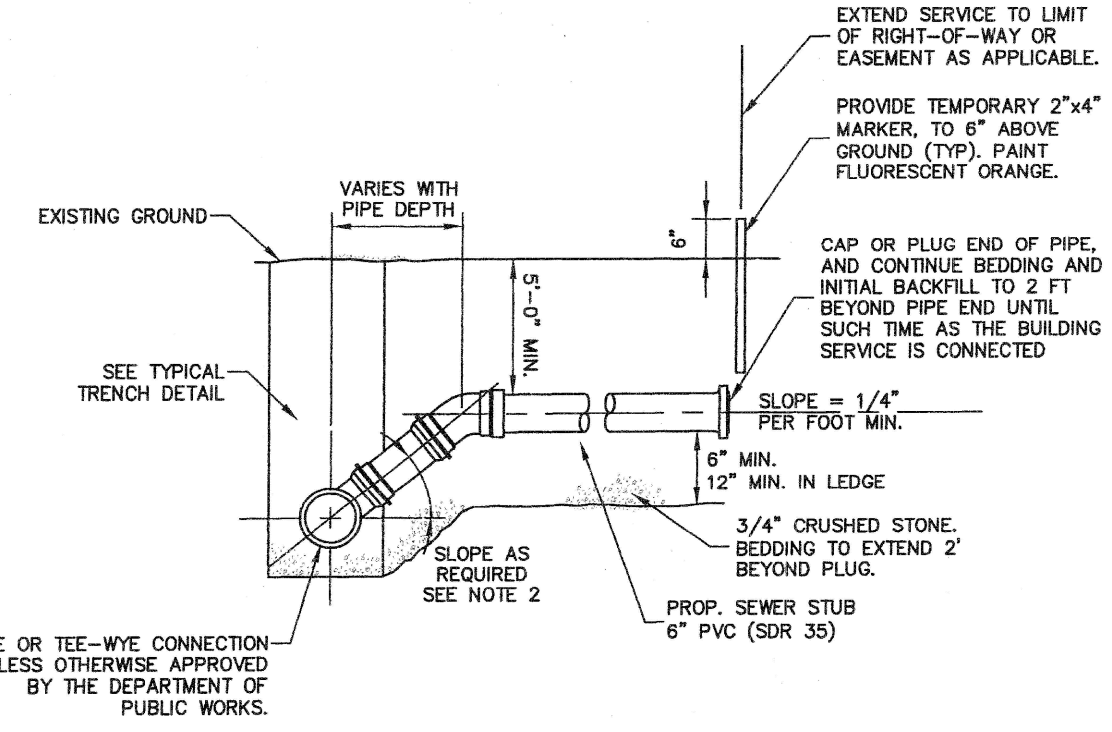
- MINIMUM SIZE PIPE FOR SEWER SERVICE SHALL BE SIX (6) INCHES.
- PIPE AND JOINT MATERIALS:
 - PLASTIC SEWER PIPE
 - PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:

ASTM STANDARDS	GENERIC PIPE MATERIAL	SIZES APPROVED
D3034	*PVC (SOLID WALL)	8" THROUGH 15" (SDR 35)
F679	PVC (SOLID WALL)	18" THROUGH 27" (T-1 & T-2)
F789	PVC (SOLID WALL)	4" THROUGH 18" (T-1 TO T-3)
F794	PVC (RIBBED WALL)	8" THROUGH 36"
D2680	*ABS (COMPOSITES WALL)	8" THROUGH 15"

*PVC: POLY VINYL CHLORIDE
*ABS: ACRYLONITRILE-BUTADIENE-STYRENE
 - JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.
ABS TRUSS PIPE AND FITTINGS SHALL CONFORM TO ASTM D-2680, POLYMER COMPOUNDING SHALL BE TO ASTM D-1788 (CLASS 322).
JOINTS FOR ABS TRUSS PIPE SHALL BE CHEMICAL WELDED COUPLINGS TYPE SC IN ACCORDANCE WITH ASTM D-2680, FORMING A CHEMICAL WELDED JOINT.
- DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
- JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER-TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
- SEWER SERVICE INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 6 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN NOTE 10. BEDDING AND RE-FILL FOR DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES.
THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4" INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH.
6) TESTING: THE COMPLETED SEWER SERVICE SHALL BE SUBJECTED TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS: (PRIOR TO BACKFILLING)
 - AN OBSERVATION TEE SHALL BE INSTALLED AS SHOWN AND WHEN READY FOR TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE TEE. AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.
LEAKAGE OBSERVED DURING TESTING SHALL BE IN ANY ONE OF THE ABOVE ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG-UP IF NECESSARY AND RE-LAID SO AS TO ASSURE WATER TIGHTNESS.
 - ILLEGAL CONNECTIONS: NOTHING BUT SANITARY WASTE FLOW FROM TOILETS, SINKS, LAUNDRY ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR OTHER SIMILAR CONNECTIONS CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.
 - WATER SERVICE SHALL NOT BE LAID IN SAME TRENCH AS SEWER SERVICE.
 - BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33-67.

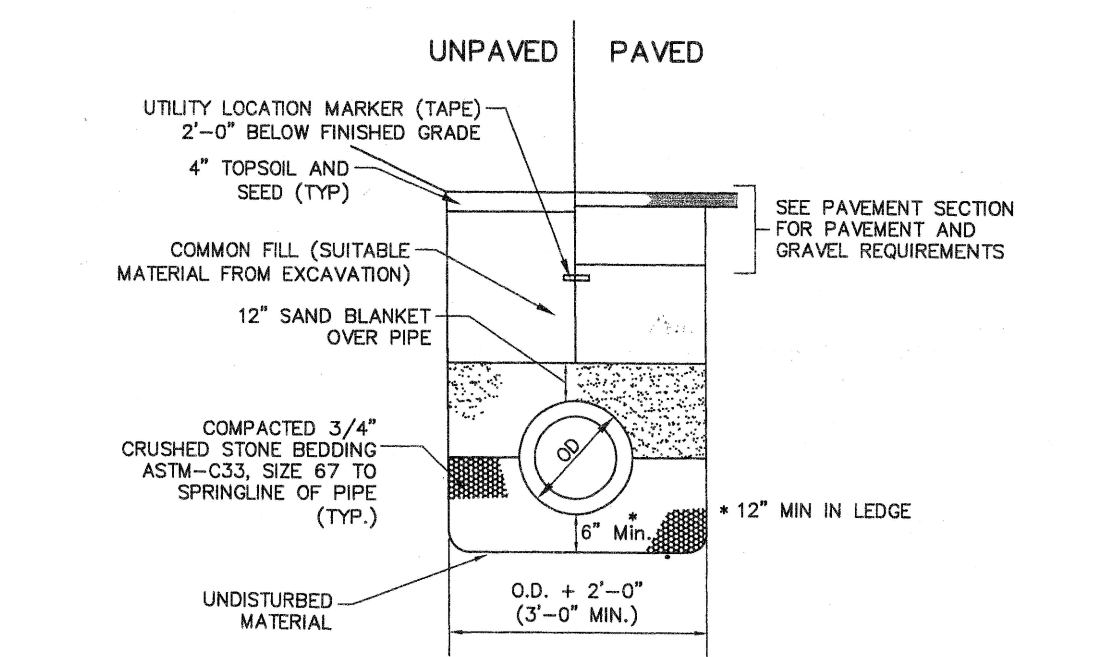
100% PASSING	1 INCH SCREEN
90%-100% PASSING	3/4 INCH SCREEN
20%-55% PASSING	3/8 INCH SCREEN
0%-10% PASSING	#4 SIEVE
0%-5% PASSING	#8 SIEVE

 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1 1/2 INCH SHALL BE USED.
- LOCATION: THE LOCATION OF THE TEE OR WYE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE TEE OR WYE AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPEFINDER.
- CHIMNEYS: IF VERTICAL DROP INTO SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE SEWER CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.



SEWER SERVICE CONNECTION

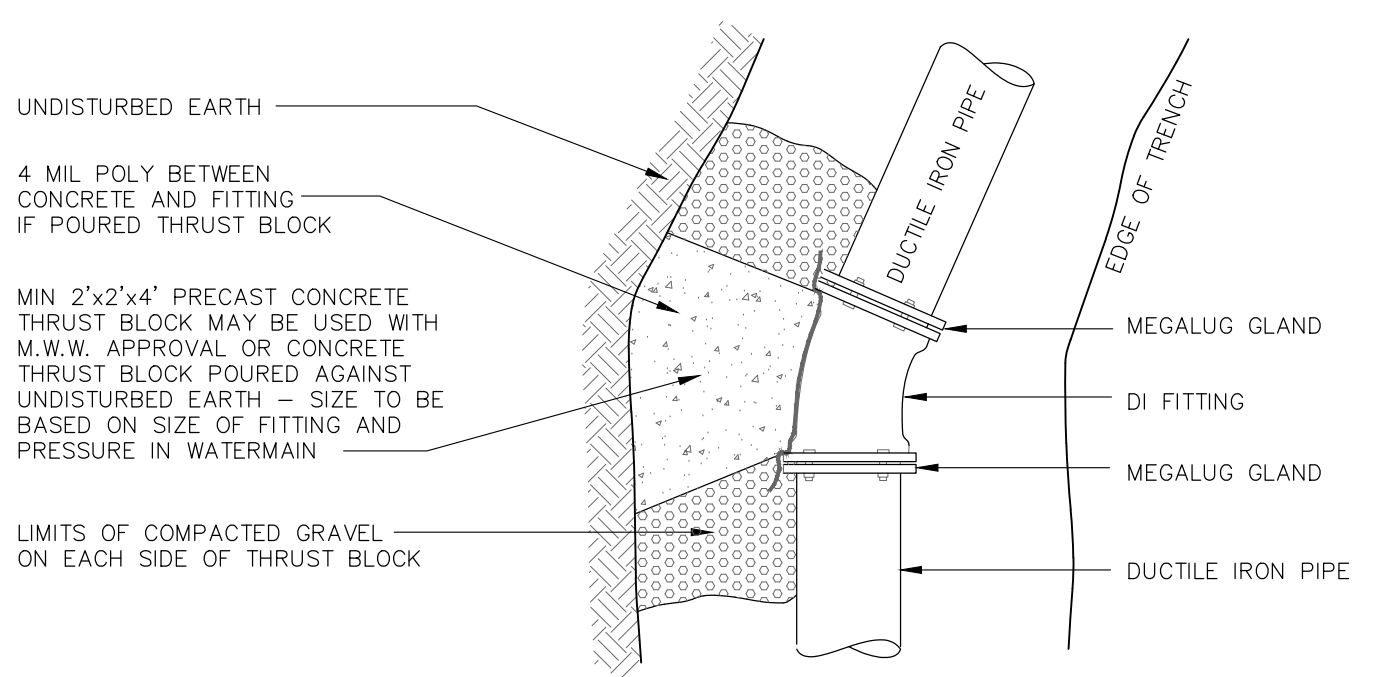
NOT TO SCALE



TYPICAL SEWER PIPE TRENCH

NOT TO SCALE

PIPE SIZE	TABLE OF DIMENSIONS									
	90° BEND WIDTH	90° BEND HGT.	45° BEND WIDTH	45° BEND HGT.	22 1/2° BEND WIDTH	22 1/2° BEND HGT.	11 1/4° BEND WIDTH	11 1/4° BEND HGT.	TEE & PLUG WIDTH	TEE & PLUG HGT.
6"	33"	21"	18"	21"	12"	18"	9"	12"	21"	24"
8"	45"	27"	24"	27"	18"	21"	12"	15"	27"	33"
10"	60"	36"	36"	36"	24"	30"	18"	21"	36"	42"
12"	66"	39"	36"	42"	24"	30"	18"	21"	39"	45"
14"	72"	45"	42"	48"	27"	36"	18"	27"	45"	54"



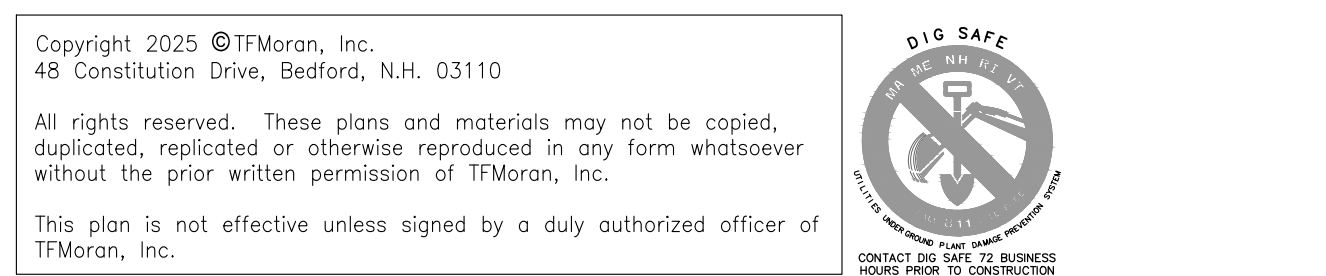
NOTE
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO M.W.W. TECHNICAL SPECIFICATIONS.
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.

THRUST BLOCKING BEHIND FITTINGS INSTALLATION

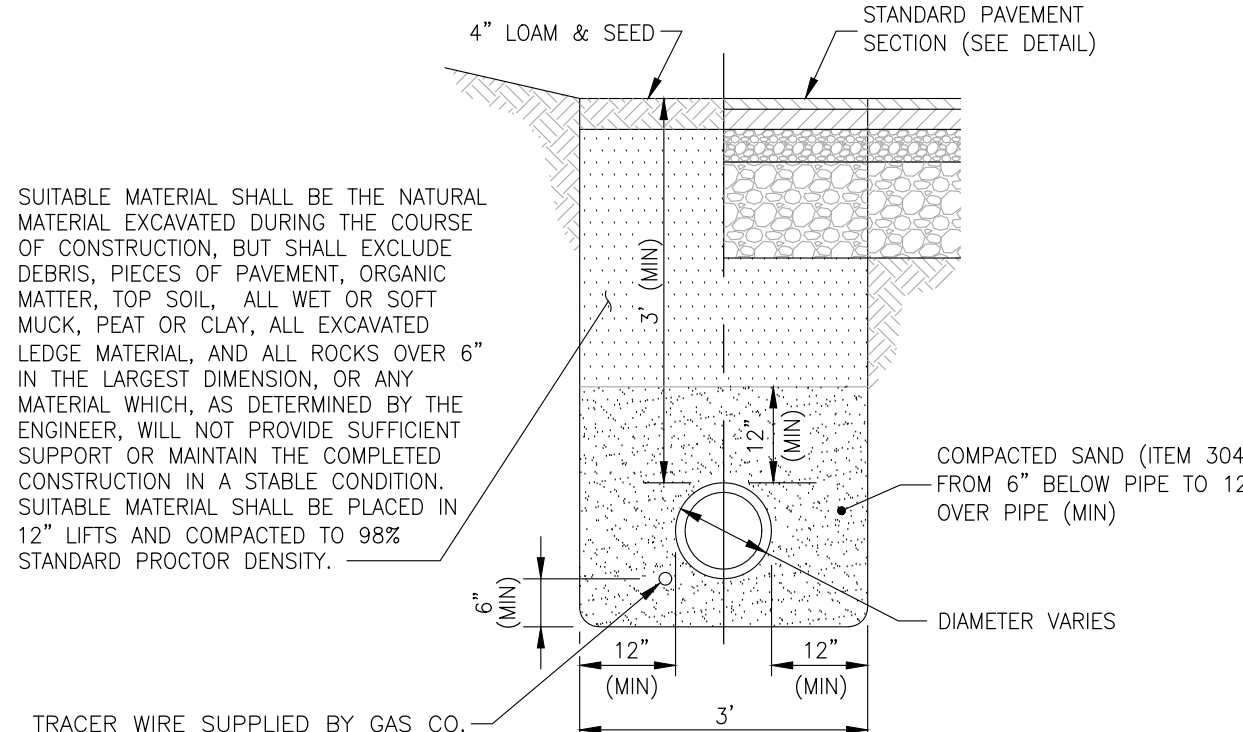
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SEWER CLEAN OUT

NOT TO SCALE

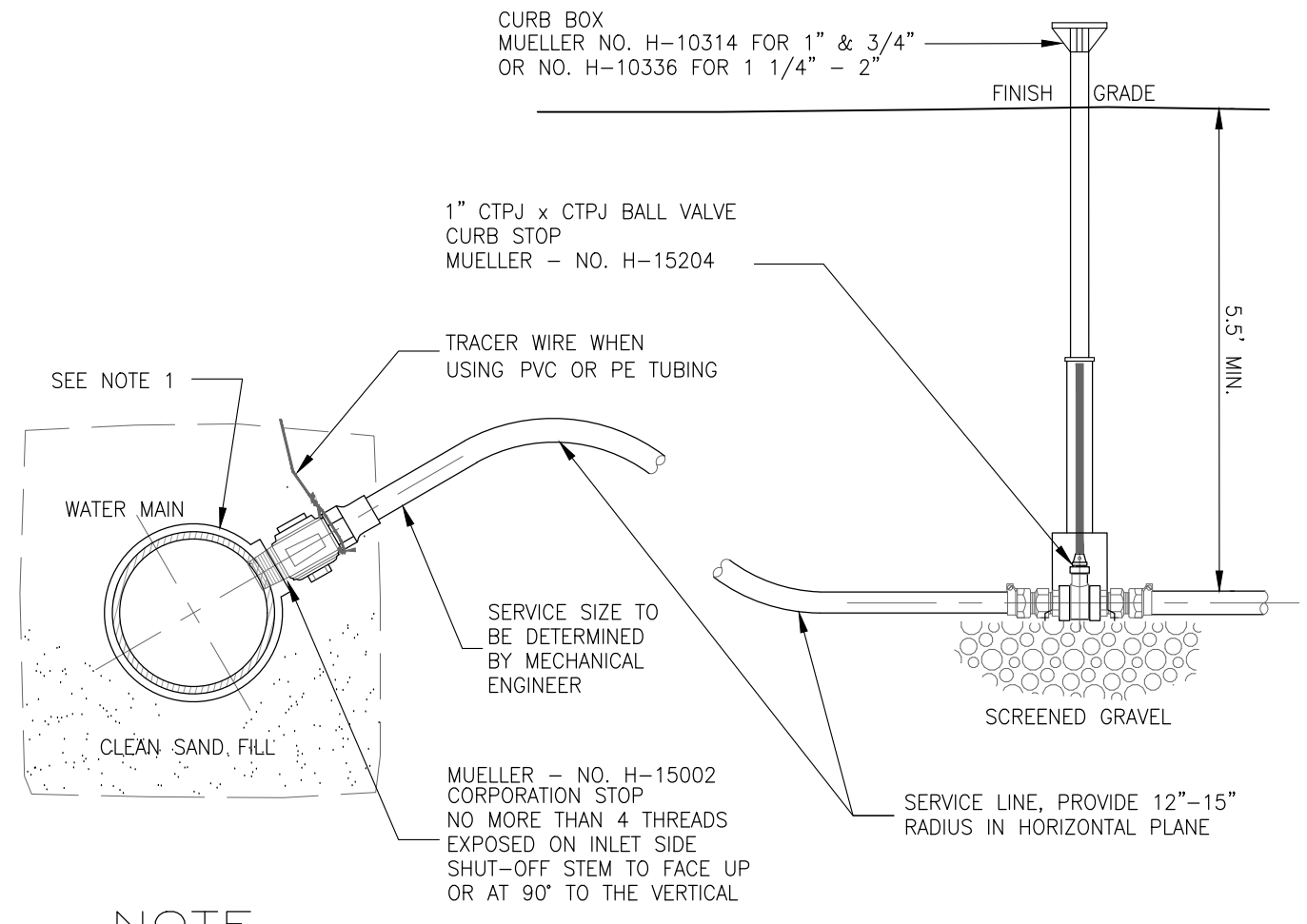


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GAS MAIN TRENCH

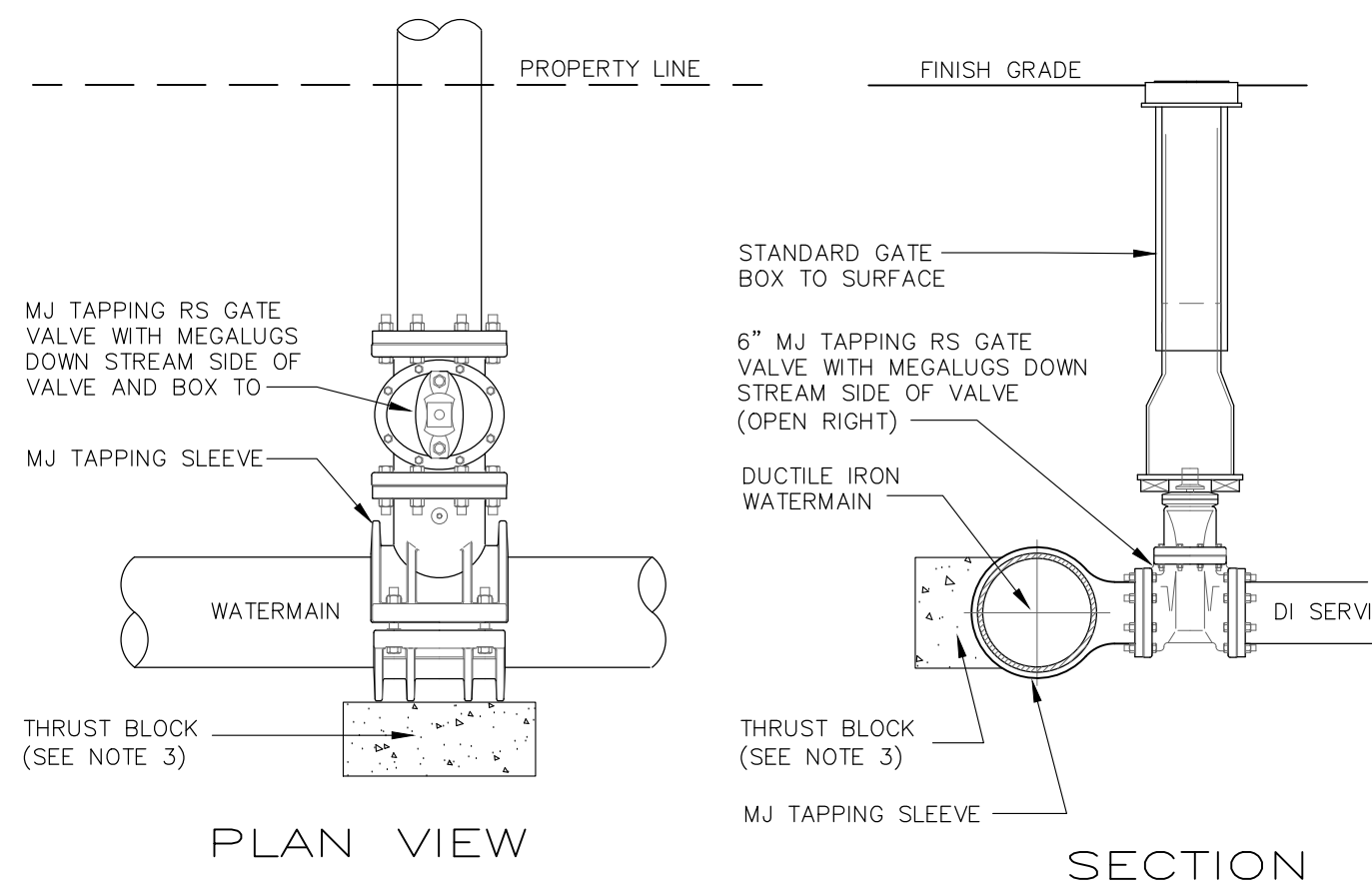
NOT TO SCALE



NOTE
1. IF WATERMAIN IS PVC OR TRANSITE, A DOUBLE STAINLESS STEEL STRAP TAPPING SADDLE MUST BE USED TO CONNECT THE CORPORATION TO THE WATERMAIN.

DOMESTIC SERVICE CONNECTION

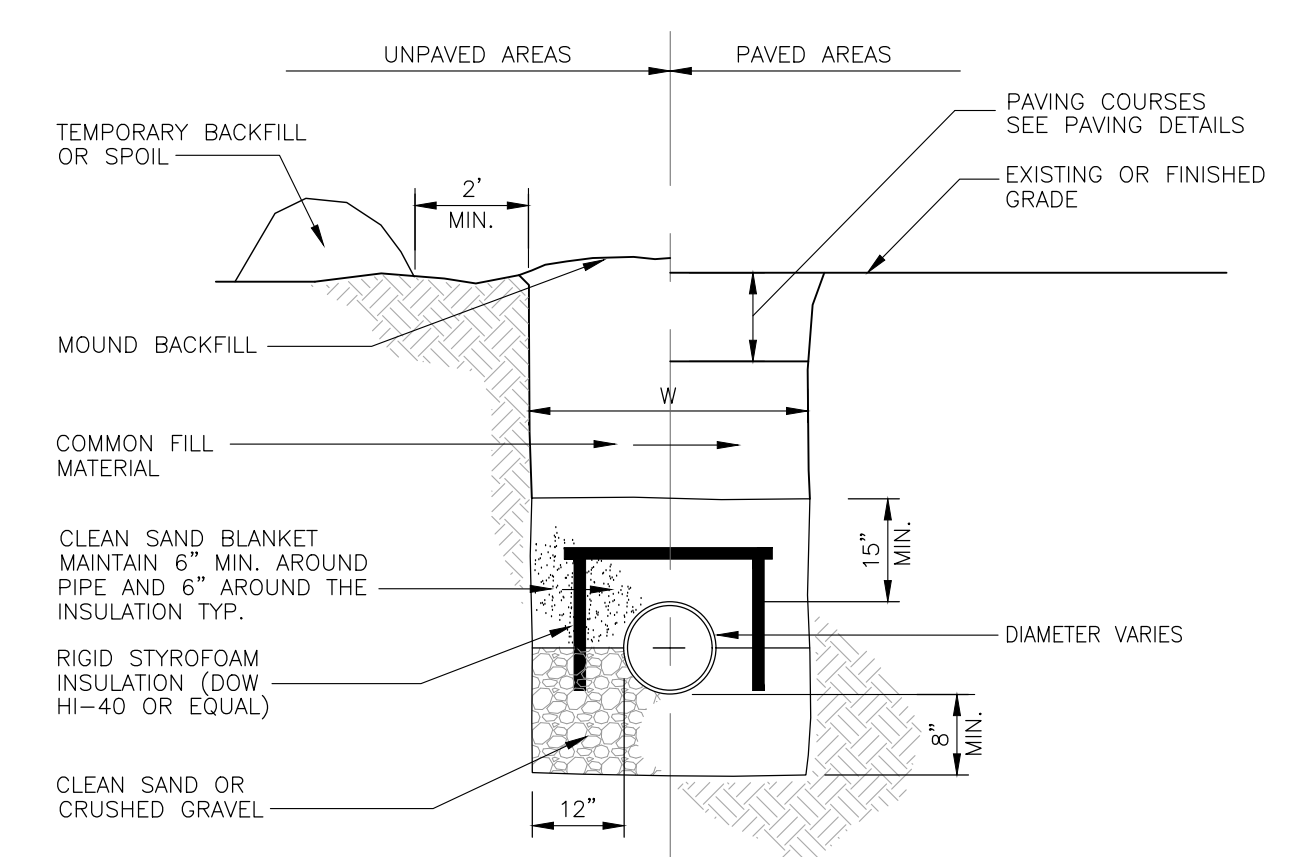
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NOTE
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO M.W.W. TECHNICAL SPECIFICATIONS.
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 5' FROM TOP OF PIPE TO FINISH GRADE.
3. MIN 2'x2'x4\"/>

WET TAP TEE INSTALLATION

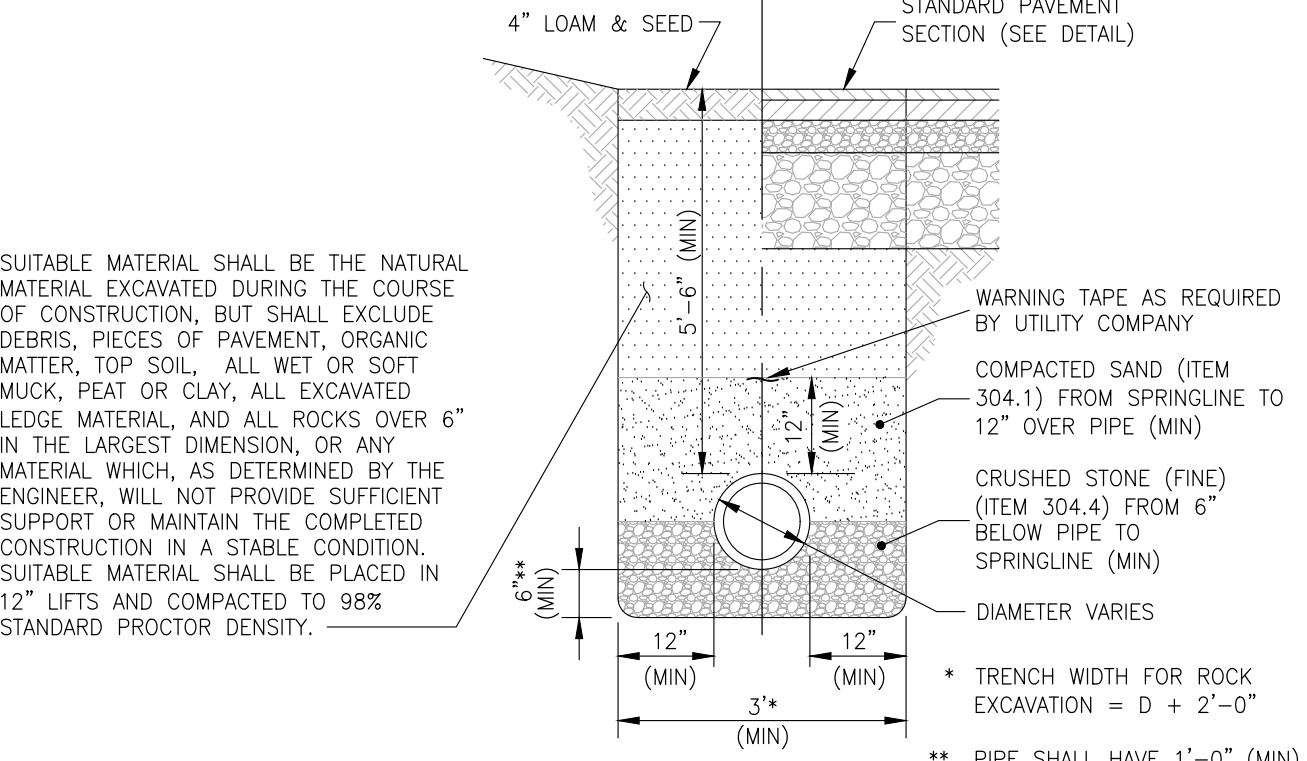
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NOTE:
W=MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.

PIPE INSULATION

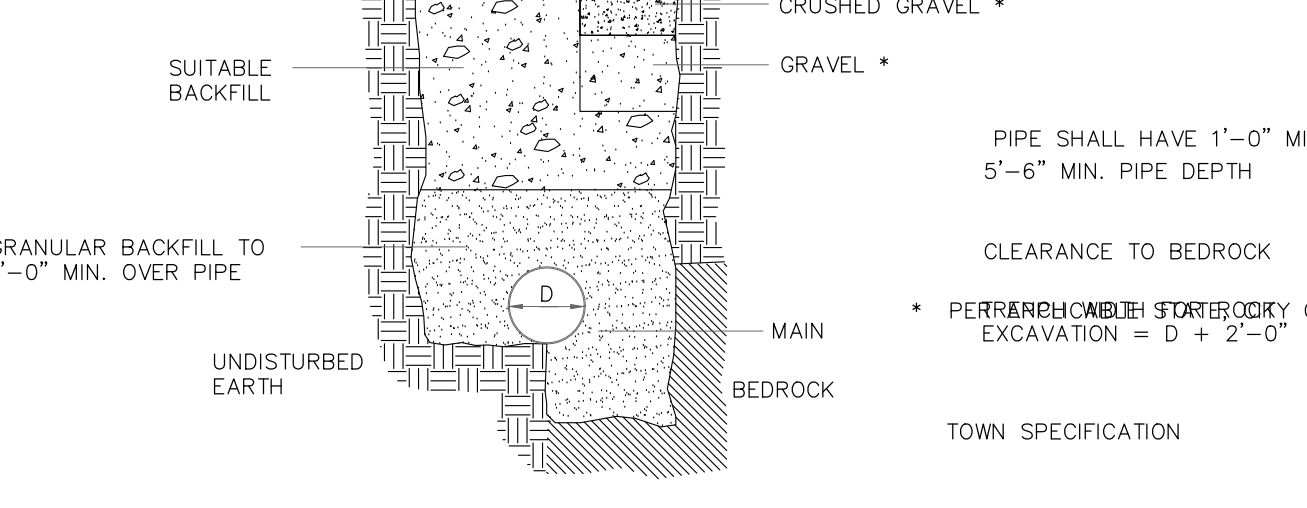
NOT TO SCALE



NOTE:
* TRENCH WIDTH FOR ROCK EXCAVATION = D + 2'-0"
** PIPE SHALL HAVE 1'-0" (MIN) CLEARANCE TO BEDROCK

WATER MAIN TRENCH

NOT TO SCALE



WATER SERVICE TRENCH

NOT TO SCALE

TAX MAP 28 LOTS 9, 10, & 10-4
DETAILS SHEET
EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
OWNER: MAP 28 LOTS 9, 10
CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
1 AIRPORT RD, SUITE 900, MANCHESTER, NH 03103
OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
1 HIGHLANDER WAY, MANCHESTER, NH 03103
APPLICANT:
BENTON FAMILY REALTY, LLC
100 W. WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025

Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

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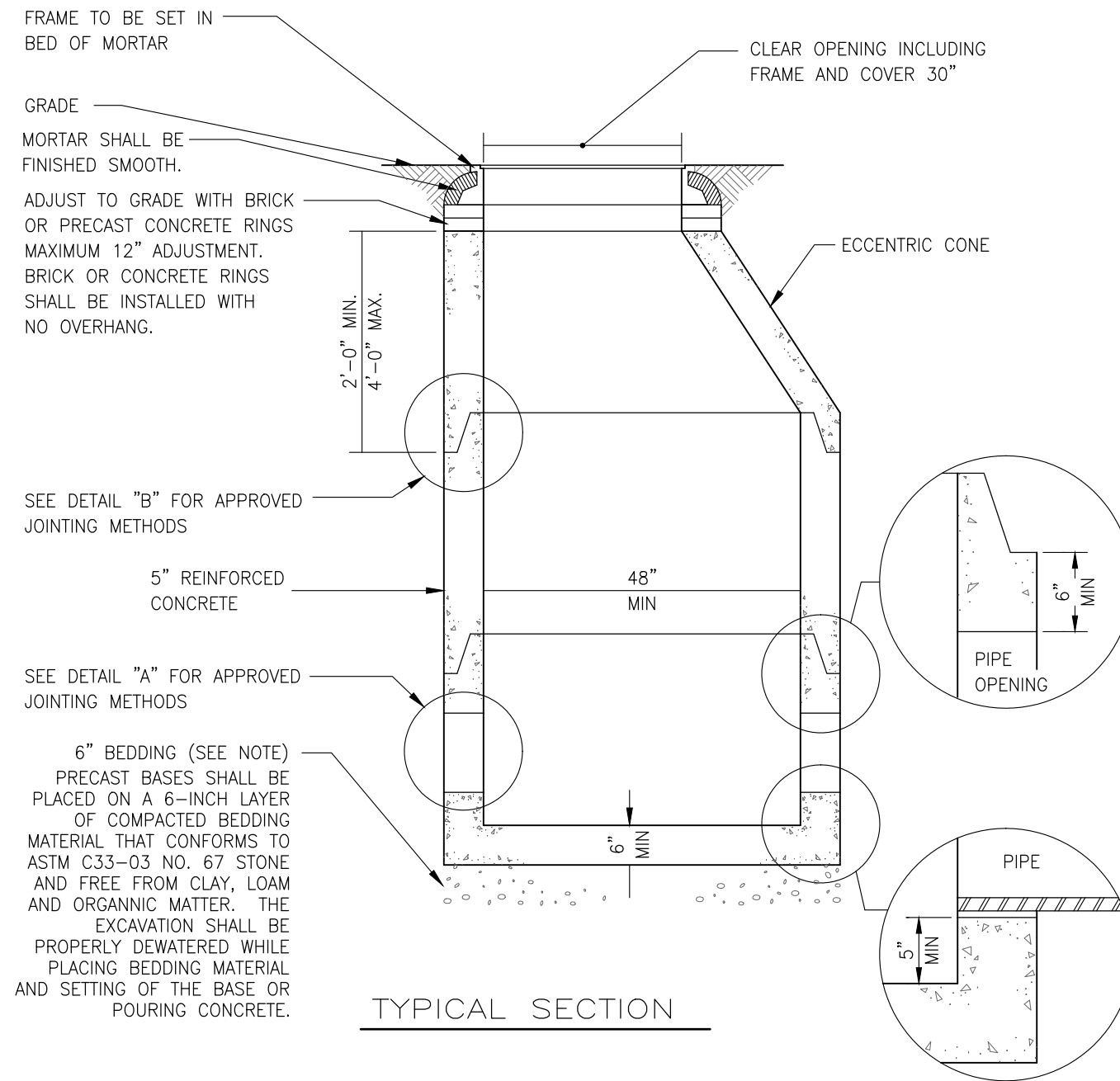
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17562.06 DR JSH CADFILE 17562-06 COVER-DETAILS C-17

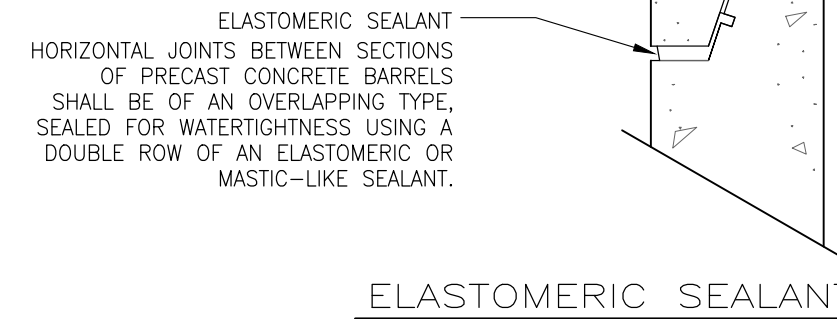
REV	DATE	DESCRIPTION	DR	CK

GENERAL NOTES

- IT IS THE INTENTION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES SHALL BE AN ASSEMBLY OF PRECAST SECTIONS, WITH STEEL REINFORCEMENT, WITH ADEQUATE JOINTING, OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH REINFORCEMENT. IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H=20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE, CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
- BARRELS, CONE SECTIONS AND CONCRETE GRADE RINGS SHALL BE PRECAST REINFORCED CONCRETE AND SHALL CONFORM ENV-WQ 704.12 & 704.13.
- PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478-06.
- BASE SECTIONS SHALL BE OF MONOLITHIC CONSTRUCTION TO A POINT AT LEAST 6 INCHES ABOVE THE CROWN OF THE INCOMING PIPE.
- MANHOLE CONE SECTIONS SHALL BE ECCENTRIC IN SHAPE.
- ALL PRECAST SECTIONS AND BASES SHALL HAVE THE DATE OF MANUFACTURE AND THE NAME OR TRADEMARK OF THE MANUFACTURER IMPRESSED OR INDELIBLY MARKED ON THE INSIDE WALL.
- ALL PRECAST SECTIONS AND BASES SHALL BE COATED ON THE EXTERIOR WITH A BITUMINOUS DAMP-PROOFING COATING.
- SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H=20 LOADS.
- HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF AN OVERLAPPING TYPE, SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW OF AN ELASTOMERIC OR MASTIC-LIKE SEALANT. APPROVED ELASTOMERIC SEALANTS ARE:
 - SIKAFLEX-12-SL
 - SONNEBORN BUILDING PRODUCTS-SONOLASTIC SL-1
- THE MINIMUM INTERNAL DIAMETER OF MANHOLES SHALL BE 48 INCHES. FOR SEWERS LARGER THAN 24-INCH DIAMETER, MANHOLE DIAMETERS SHALL BE INCREASED SO AS TO PROVIDE AT LEAST 12-INCHES OF SHELF ON EACH SIDE OF THE SEWER.
- LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE TO ENV-WQ 704.17.
 - ALL MANHOLES SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST IN ACCORDANCE WITH THE ASTM C1244 STANDARD IN EFFECT WHEN THE TESTING IS PERFORMED.
 - THE MANHOLE VACUUM TEST SHALL CONFORM TO THE FOLLOWING:
 - THE INITIAL VACUUM GAUGE TEST PRESSURE SHALL BE 10 INCHES Hg.
 - THE MINIMUM ACCEPTABLE TEST HOLD TIME FOR 1-INCH Hg PRESSURE DROP TO 9 INCHES SHALL BE:
 - NOT LESS THAN 2 MINUTES FOR MANHOLES LESS THAN 10 FEET DEEP.
 - NOT LESS THAN 2.5 MINUTES FOR MANHOLES 10 TO 15 FEET DEEP.
 - NOT LESS THAN 3 MINUTES FOR MANHOLES MORE THAN 15 FEET DEEP.
 - THE MANHOLE SHALL BE REPAIRED AND RETESTED IF THE TEST HOLD TIMES FAIL TO ACHIEVE THE ACCEPTANCE LIMITS SPECIFIED IN (b) ABOVE.
 - INVERTS AND SHELVES SHALL NOT BE INSTALLED UNTIL AFTER SUCCESSFUL TESTING IS COMPLETE.
 - FOLLOWING COMPLETION OF THE LEAKAGE TEST, THE FRAME AND COVER SHALL BE PLACED ON TOP OF THE MANHOLE OR SOME OTHER MEANS USED TO PREVENT ACCIDENTAL ENTRY BY UNAUTHORIZED PERSONS, CHILDREN OR ANIMALS, UNTIL THE CONTRACTOR IS READY TO MAKE FINAL ADJUSTMENT TO GRADE.

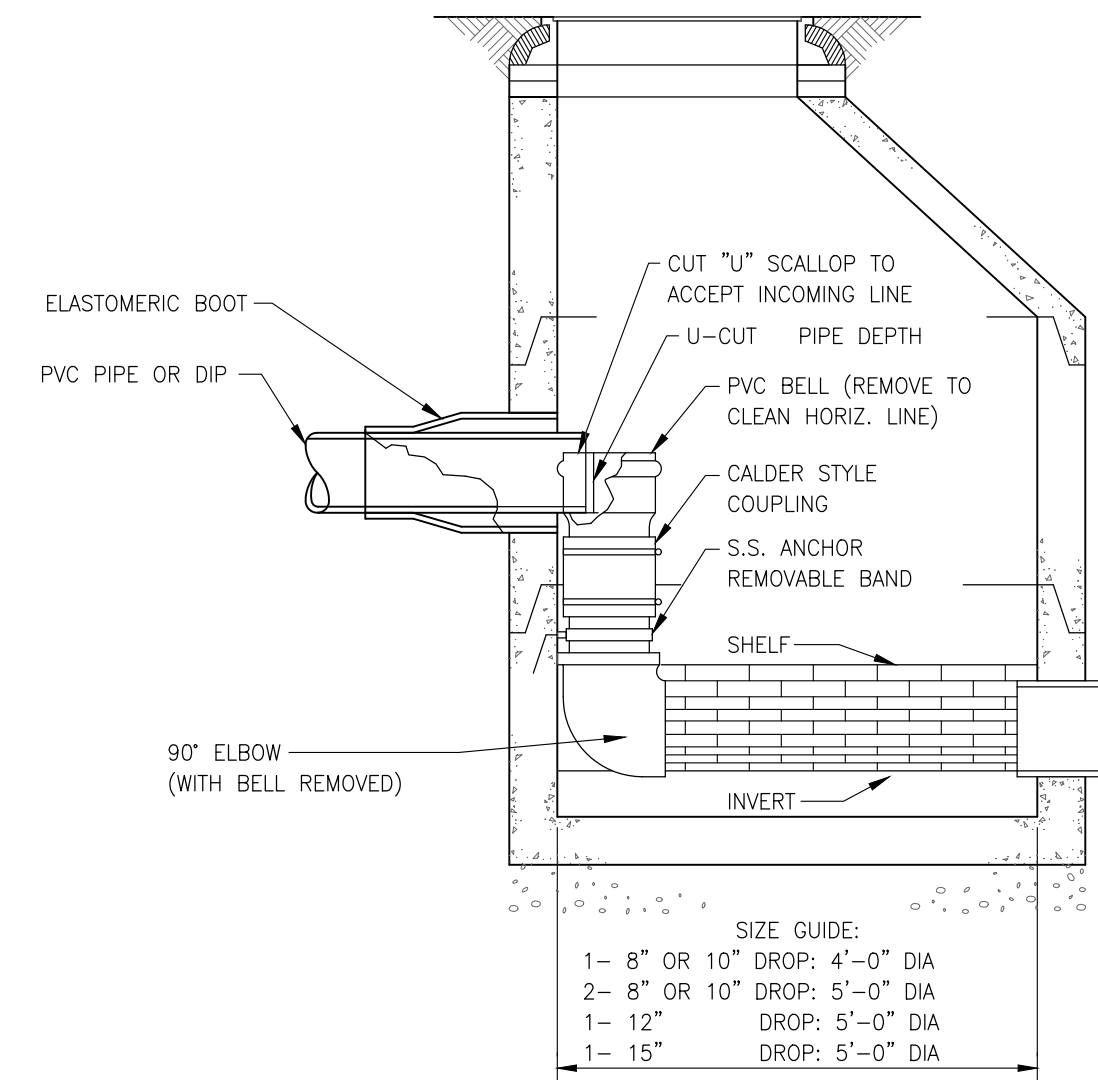


TYPICAL SECTION



- NOTES:
 ALL GASKETS AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.
 STATE OF NEW HAMPSHIRE APPROVED PRODUCTS
 A) SIKAFLEX-12-SL
 B) SONNEBORN BUILDING PRODUCTS SONOLASTIC SL-1

DETAIL "B" - HORIZONTAL JOINTS



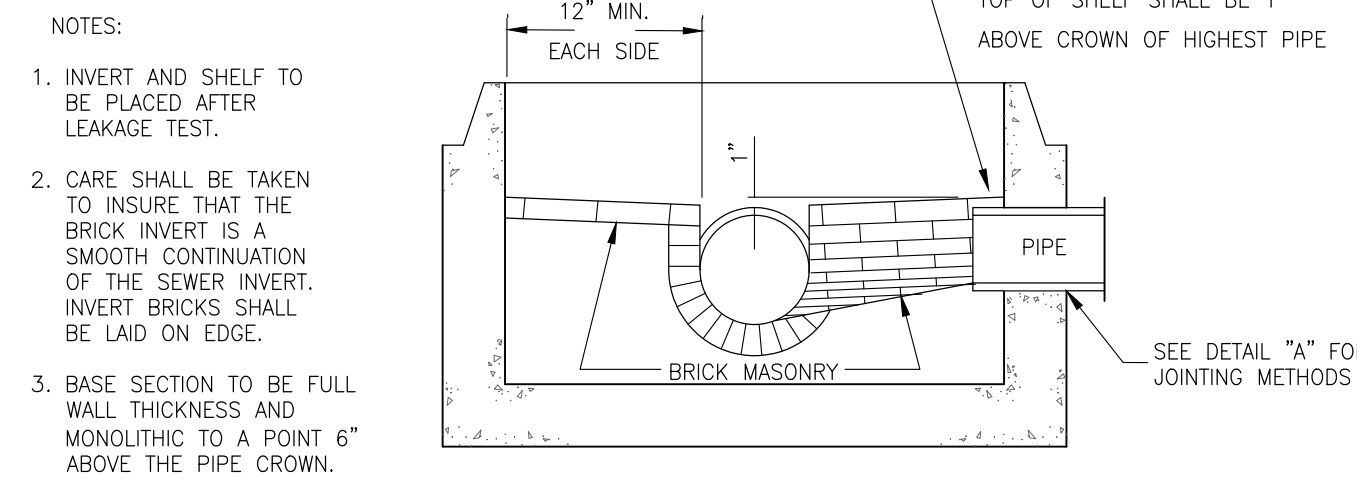
INSIDE DROP MANHOLE

- SIZE GUIDE:
 1- 8" OR 10" DROP: 4'-0" DIA
 2- 8" OR 10" DROP: 5'-0" DIA
 1- 12" DROP: 5'-0" DIA
 1- 15" DROP: 5'-0" DIA

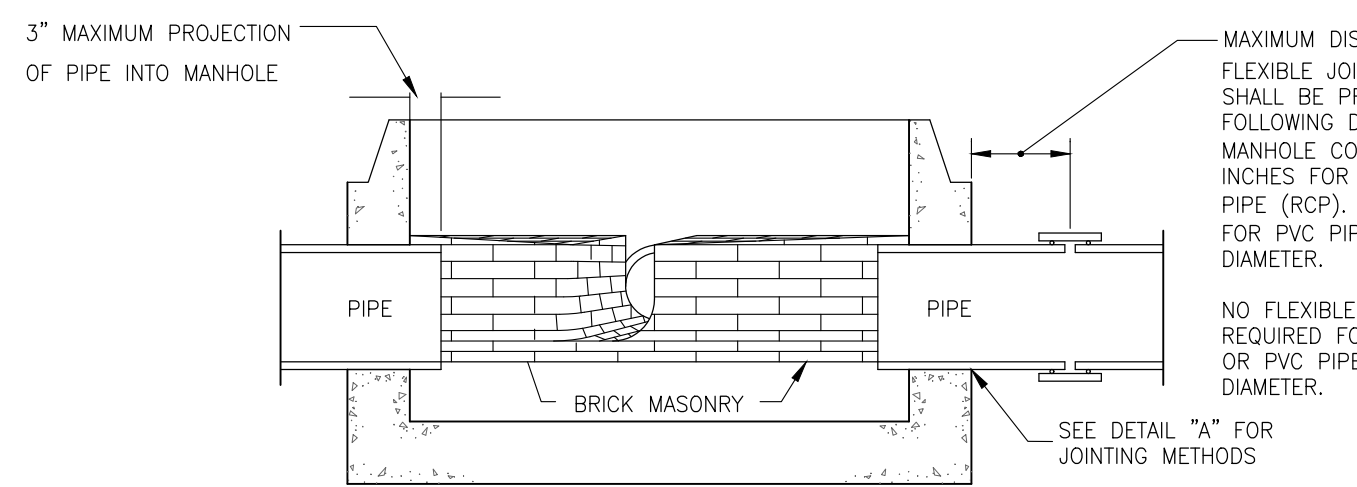
- ALL MANHOLES SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST IN ACCORDANCE WITH THE ASTM C1244 STANDARD IN EFFECT WHEN THE TESTING IS PERFORMED.
- THE MANHOLE VACUUM TEST SHALL CONFORM TO THE FOLLOWING:
 - THE INITIAL VACUUM GAUGE TEST PRESSURE SHALL BE 10 INCHES Hg.
 - THE MINIMUM ACCEPTABLE TEST HOLD TIME FOR 1-INCH Hg PRESSURE DROP TO 9 INCHES SHALL BE:
 - NOT LESS THAN 2 MINUTES FOR MANHOLES LESS THAN 10 FEET DEEP.
 - NOT LESS THAN 2.5 MINUTES FOR MANHOLES 10 TO 15 FEET DEEP.
 - NOT LESS THAN 3 MINUTES FOR MANHOLES MORE THAN 15 FEET DEEP.
- THE MANHOLE SHALL BE REPAIRED AND RETESTED IF THE TEST HOLD TIMES FAIL TO ACHIEVE THE ACCEPTANCE LIMITS SPECIFIED IN (b) ABOVE.
- INVERTS AND SHELVES SHALL NOT BE INSTALLED UNTIL AFTER SUCCESSFUL TESTING IS COMPLETE.
- FOLLOWING COMPLETION OF THE LEAKAGE TEST, THE FRAME AND COVER SHALL BE PLACED ON TOP OF THE MANHOLE OR SOME OTHER MEANS USED TO PREVENT ACCIDENTAL ENTRY BY UNAUTHORIZED PERSONS, CHILDREN OR ANIMALS, UNTIL THE CONTRACTOR IS READY TO MAKE FINAL ADJUSTMENT TO GRADE.

- BRICK MASONRY FOR SHELF, INVERT AND GRADE ADJUSTMENT SHALL COMPLY WITH ASTM C32-05, CLAY OR SHALE, FOR GRADE SS HARD BRICK.
- MORTAR SHALL BE COMPOSED OF PORTLAND CEMENT AND SAND WITH OR WITHOUT HYDRATED LIME ADDITION. PROPORTIONS IN MORTAR OF PARTS BY VOLUMES SHALL BE:
 - 4.5 PARTS SAND AND 1.5 PARTS CEMENT; OR
 - 4.5 PARTS SAND, 1 PART CEMENT AND 0.5 PART HYDRATED LIME
- CEMENT SHALL BE TYPE II PORTLAND CEMENT CONFORMING TO ASTM C150-05. HYDRATED LIME SHALL BE TYPE S CONFORMING TO ASTM C207-06 "STANDARD SPECIFICATIONS FOR HYDRATED LIME FOR MASONRY PURPOSES". SAND SHALL CONSIST OF INERT NATURAL SAND CONFORMING TO ASTM C33-03 "STANDARD SPECIFICATIONS FOR CONCRETE, FINE AGGREGATES".
- INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED OR PRECAST CONCRETE SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW. AT CHANGES IN DIRECTIONS, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
- FRAMES AND COVERS: MANHOLES FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN, CLASS 30, CONFORMING TO ASTM A48/48M AND PROVIDE A 30-INCH CLEAR OPENING. 3-INCH WORD (MINIMUM HEIGHT) LETTERS "SEWER" SHALL BE PLAINLY CAST INTO THE TOP SURFACE. THE CASTING SHALL BE OF EVEN GRAINED CAST IRON, SMOOTH AND FREE FROM SCALE, BUSTERS, SAND HOLES AND DEFECTS. CONTACT SURFACES OF COVERS AND FRAMES SHALL BE MACHINED AT THE FOUNDRY TO PREVENT ROCKING OF COVERS IN ANY ORIENTATION.
- BEDDING: PRECAST BASES SHALL BE PLACED ON A 6-INCH LAYER OF COMPACTED BEDDING MATERIAL THAT CONFORMS TO ASTM C33-03 NO. 67 STONE AND FREE FROM CLAY, LOAM AND ORGANIC MATTER. THE EXCAVATION SHALL BE PROPERLY DEWATERED WHILE PLACING BEDDING MATERIAL AND SETTING OF THE BASE OR POURING CONCRETE. WATER-STOPS SHALL BE USED AT THE HORIZONTAL JOINT OF THE CAST-IN-PLACE MANHOLES.

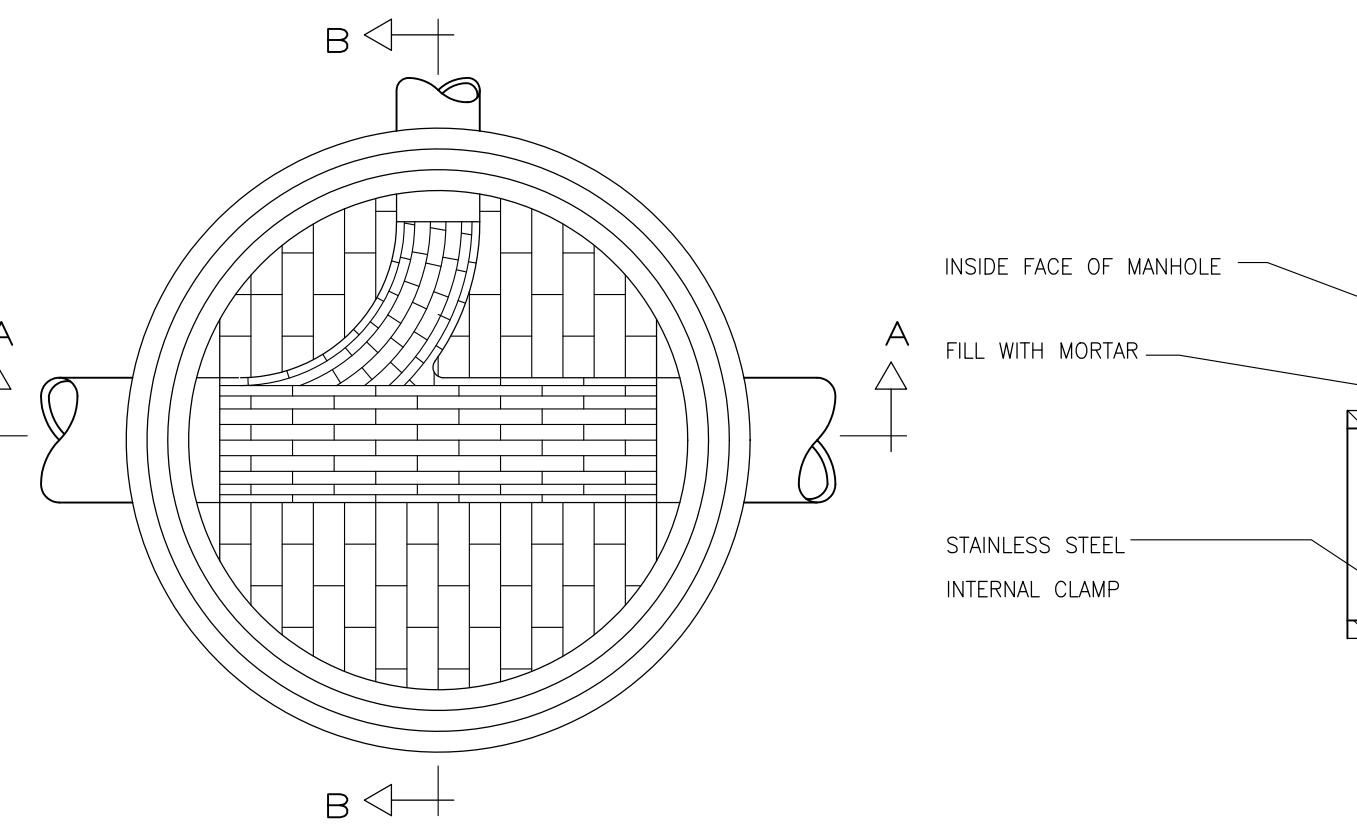
100% PASSING	1" SCREEN
90-100% PASSING	3/4" SCREEN
20-55% PASSING	3/8" SCREEN
0-10% PASSING	#4 SIEVE
0-5% PASSING	#8 SIEVE



SECTION "B-B"

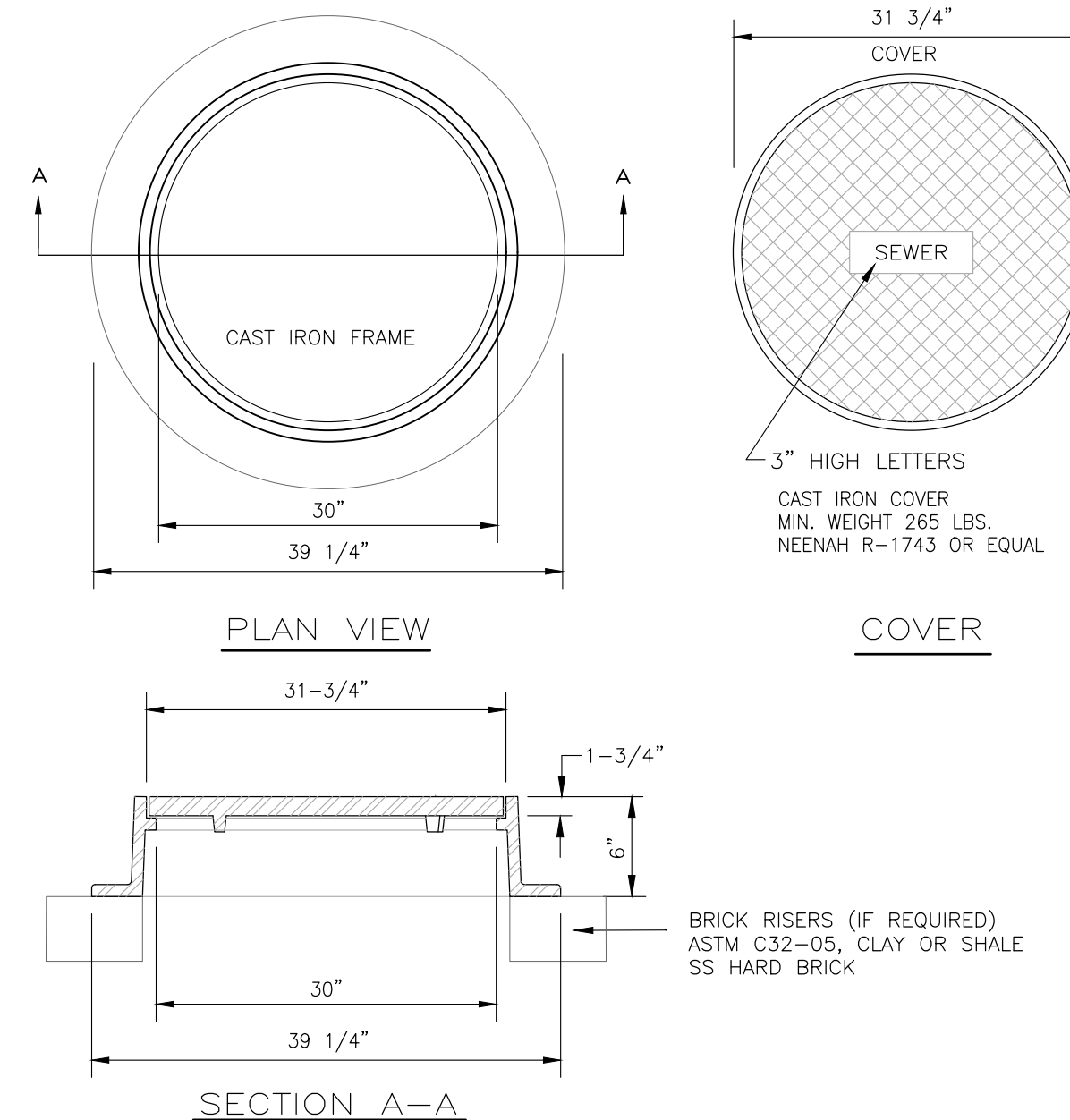


SECTION "A-A"

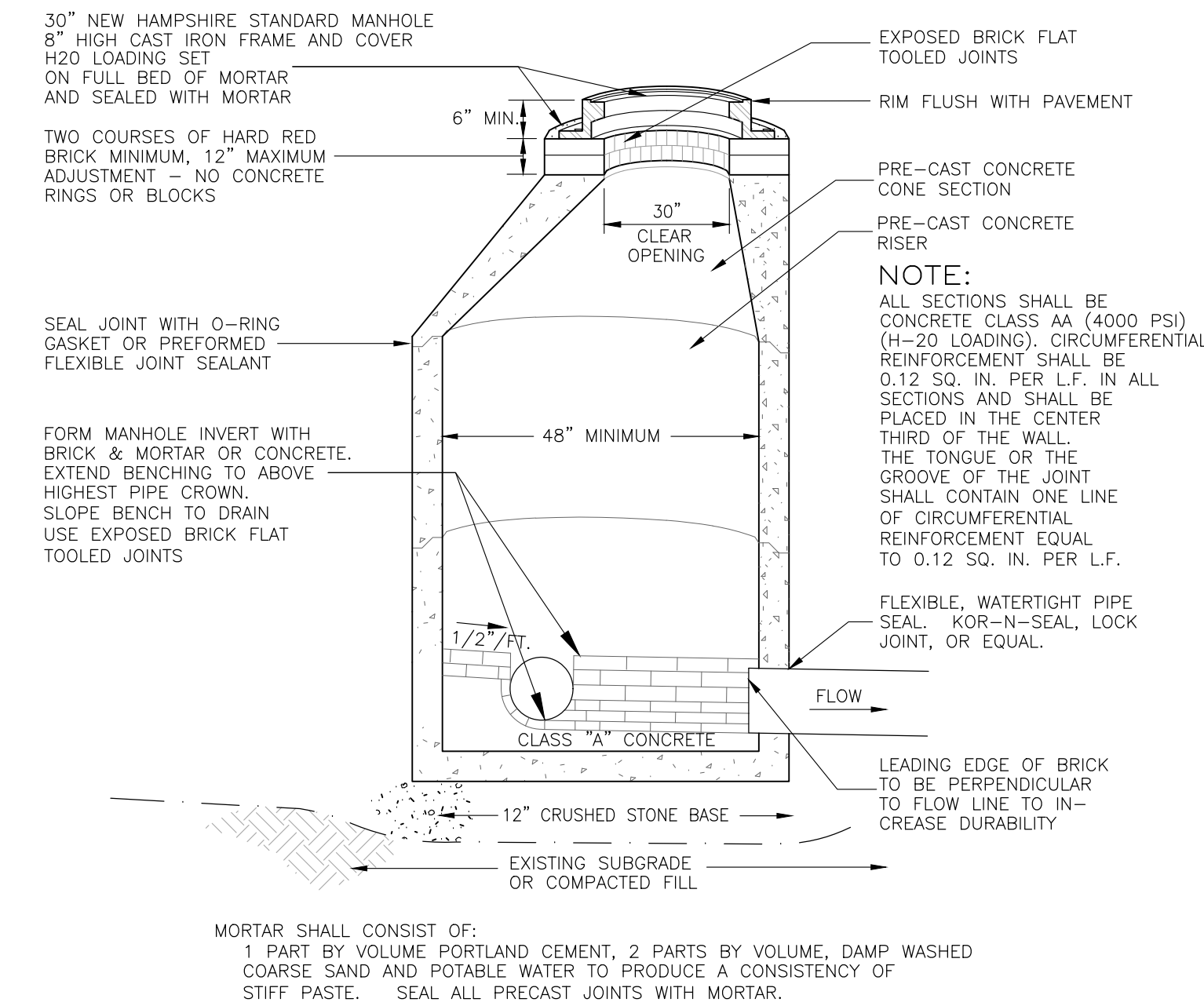


TYPICAL MANHOLE - PLAN VIEW

KOR-N-SEAL JOINT SLEEVE (OR ACCEPTABLE SUBSTITUTE)



MANHOLE FRAME & COVER HEAVY DUTY



SEWER MANHOLE

NOT TO SCALE

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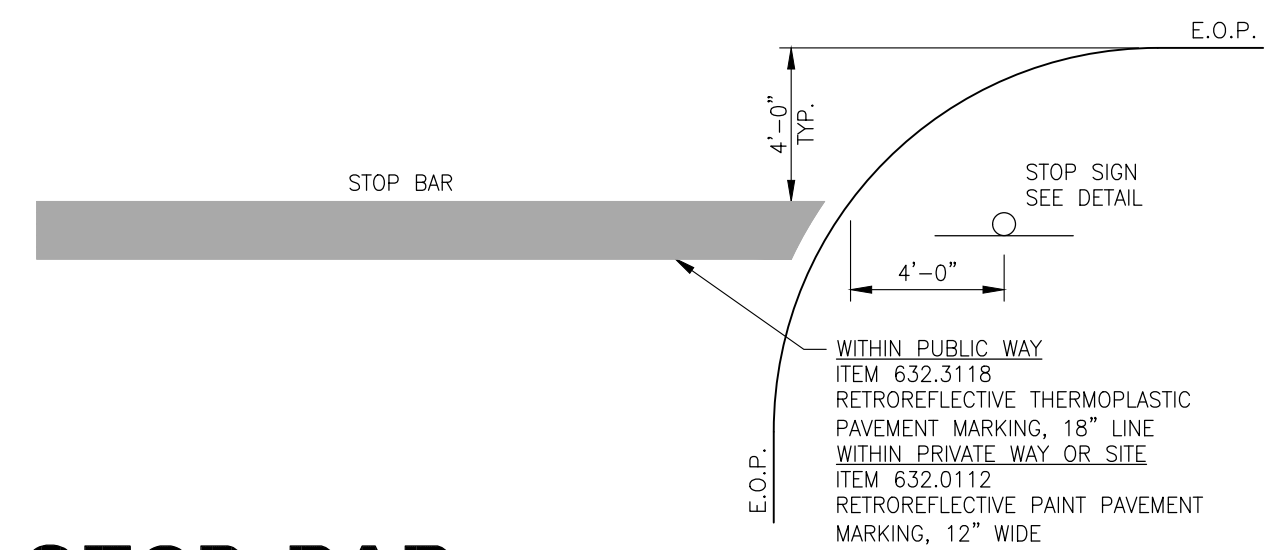


STANDARD MANHOLE

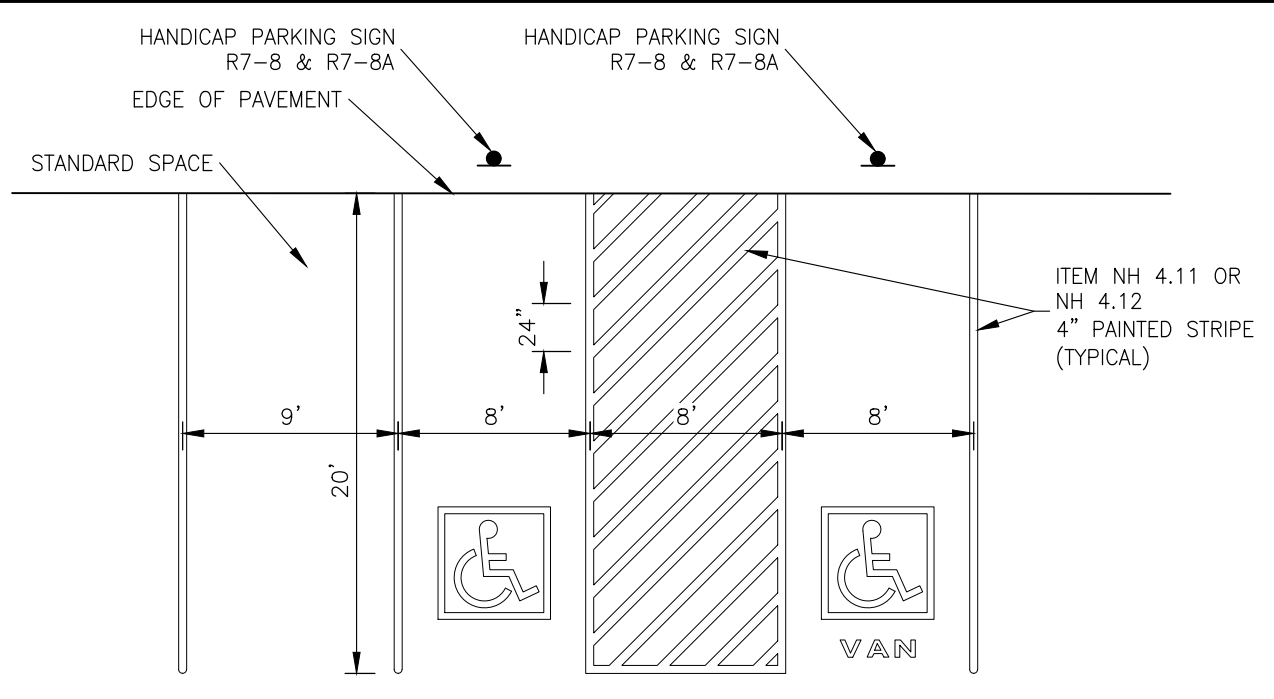
REV	DATE	DESCRIPTION	DR	CK

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 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
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 APPLICANT
BENTON FAMILY REALTY, LLC
 100 W. WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025

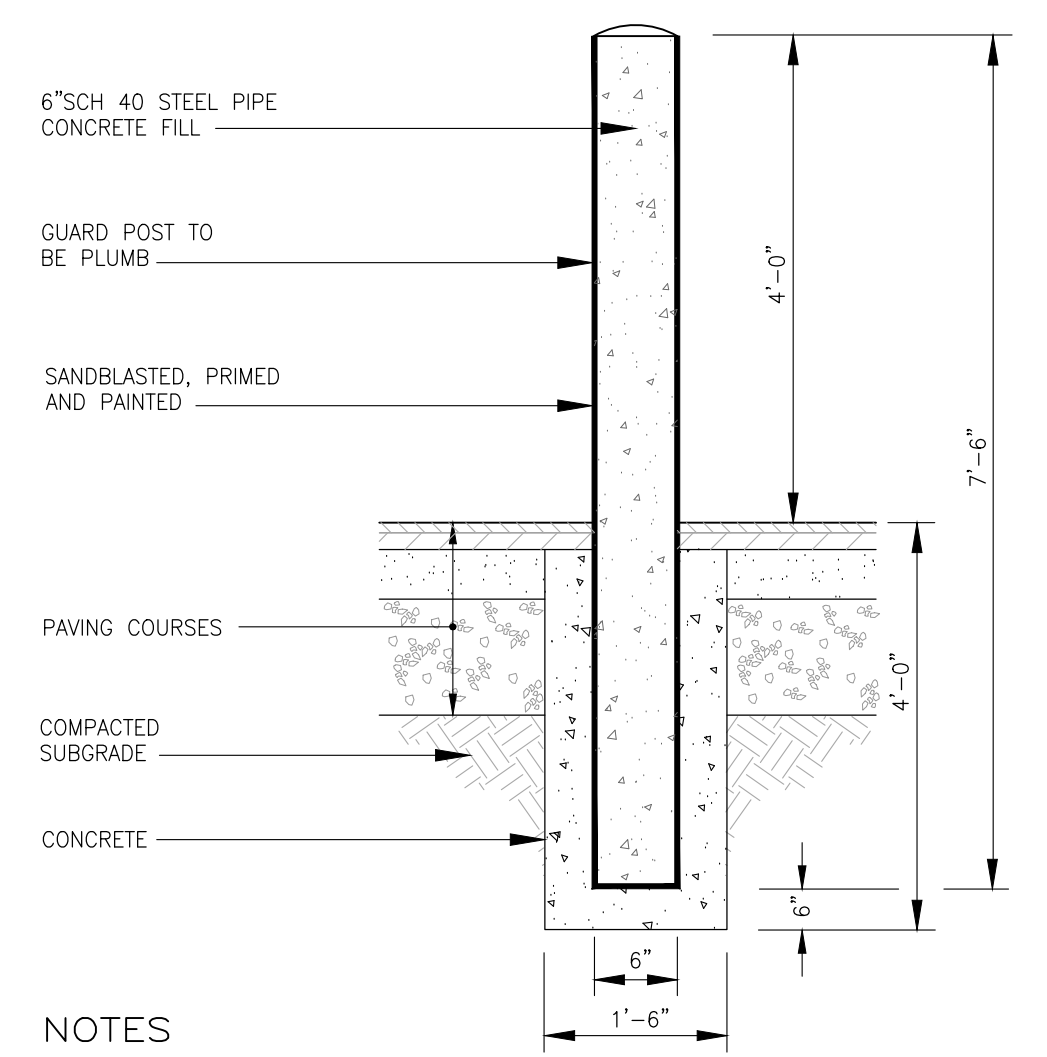
	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com
	17562.06 DR JSH CK RED CADFILE 17562-06 COVER-DETAILS C-18	



STOP BAR
NOT TO SCALE

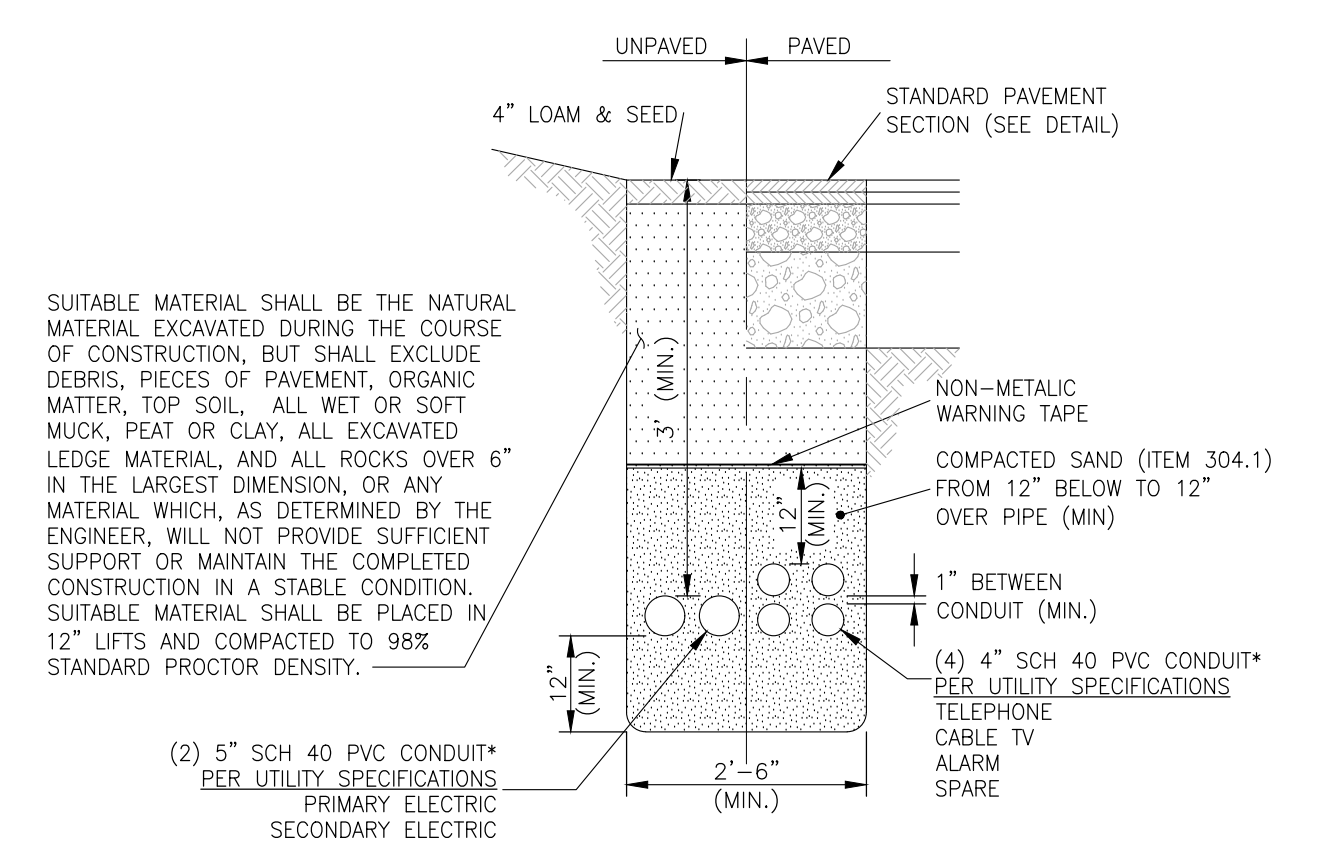


PARKING STRIPING DETAIL
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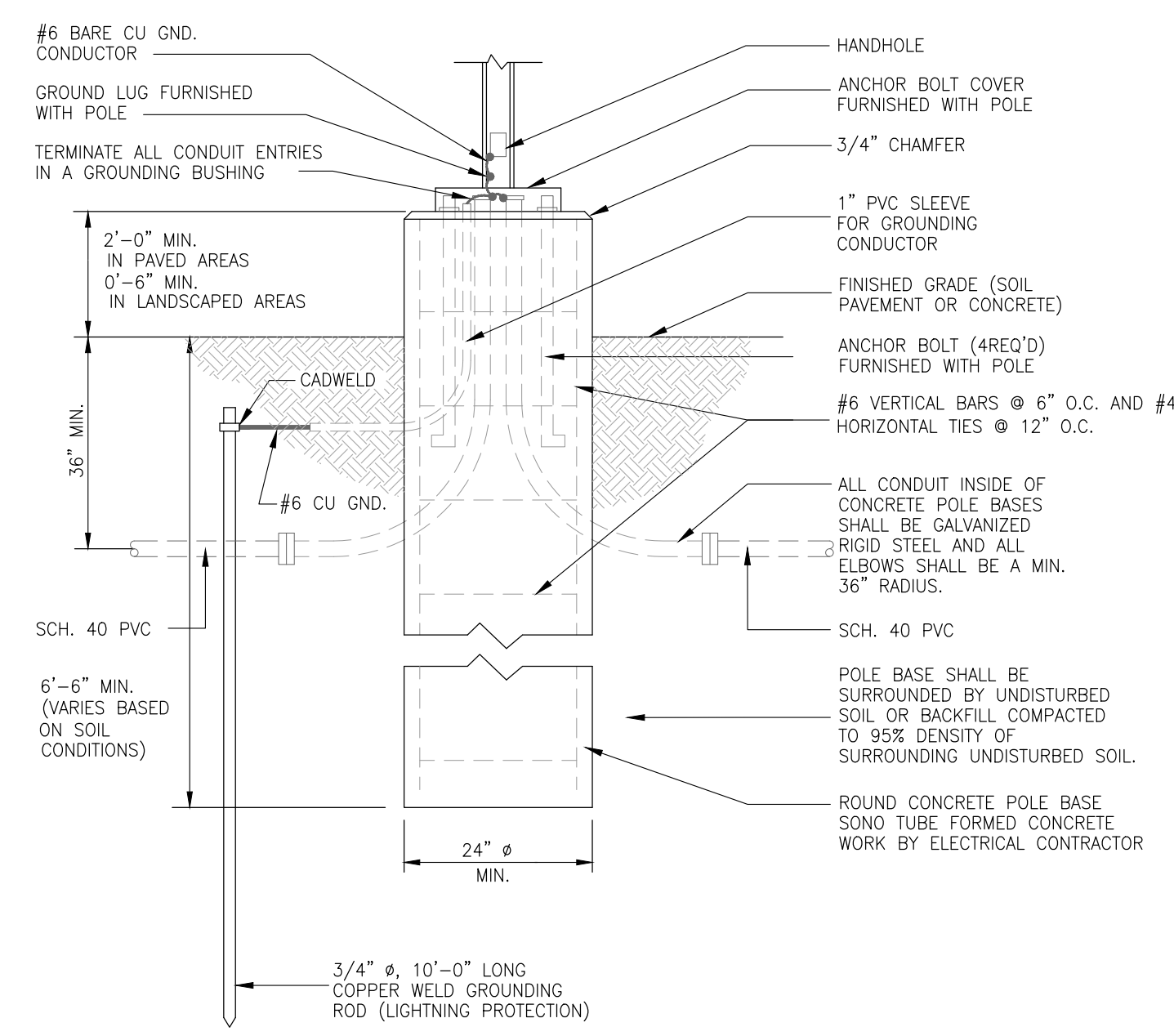
BOLLARD
NOT TO SCALE

NOTES
1. BOLLARD TO CONFORM TO NHDOT SPECIFICATIONS
2. INSTALL POLY COVER TO BOLLARDS ALONG BUILDING
(GRAY POLYETHYLENE COVER FROM IDEAL SHIELD 313-842-7290)

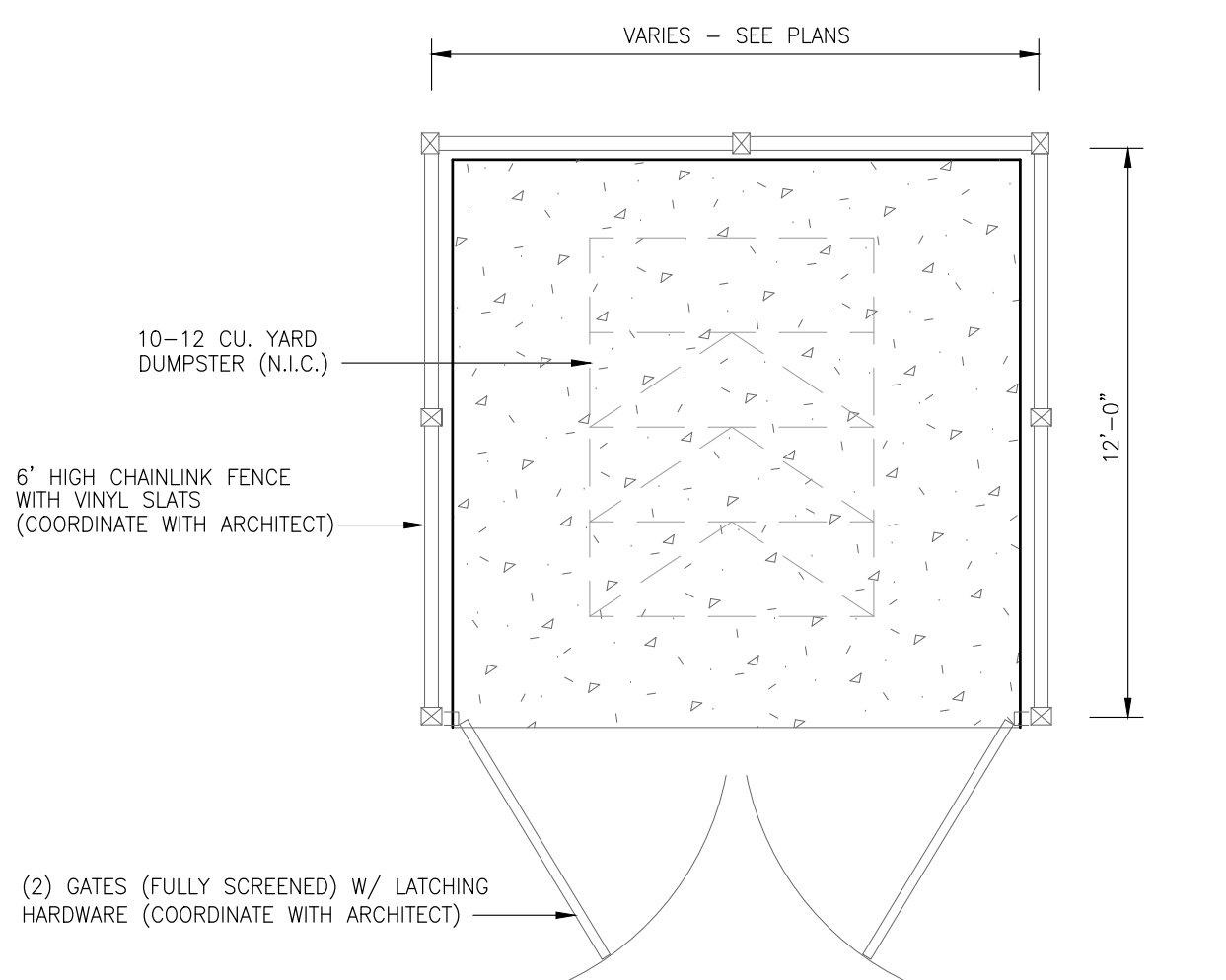


UTILITY TRENCH
NOT TO SCALE

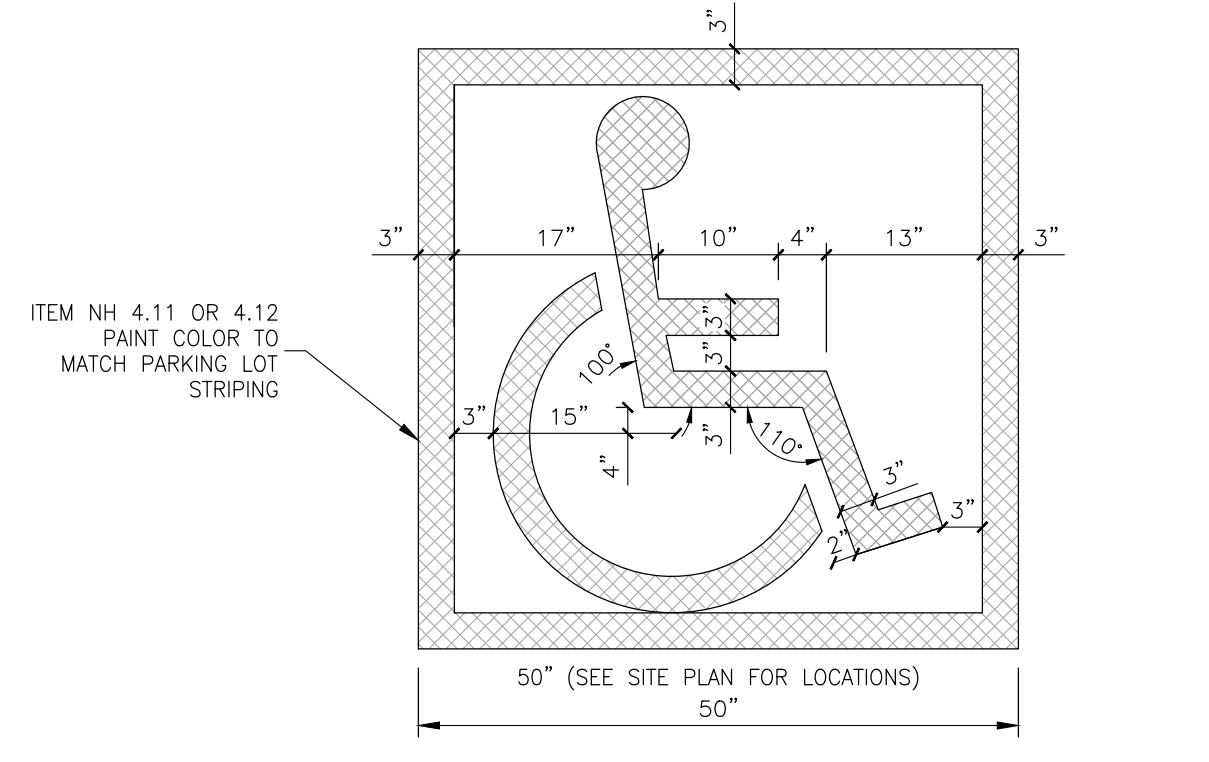
*CONTRACTOR TO VERIFY CONDUIT SIZE, NUMBER AND MATERIAL
WITH INDIVIDUAL UTILITY PROVIDERS PRIOR TO CONSTRUCTION.



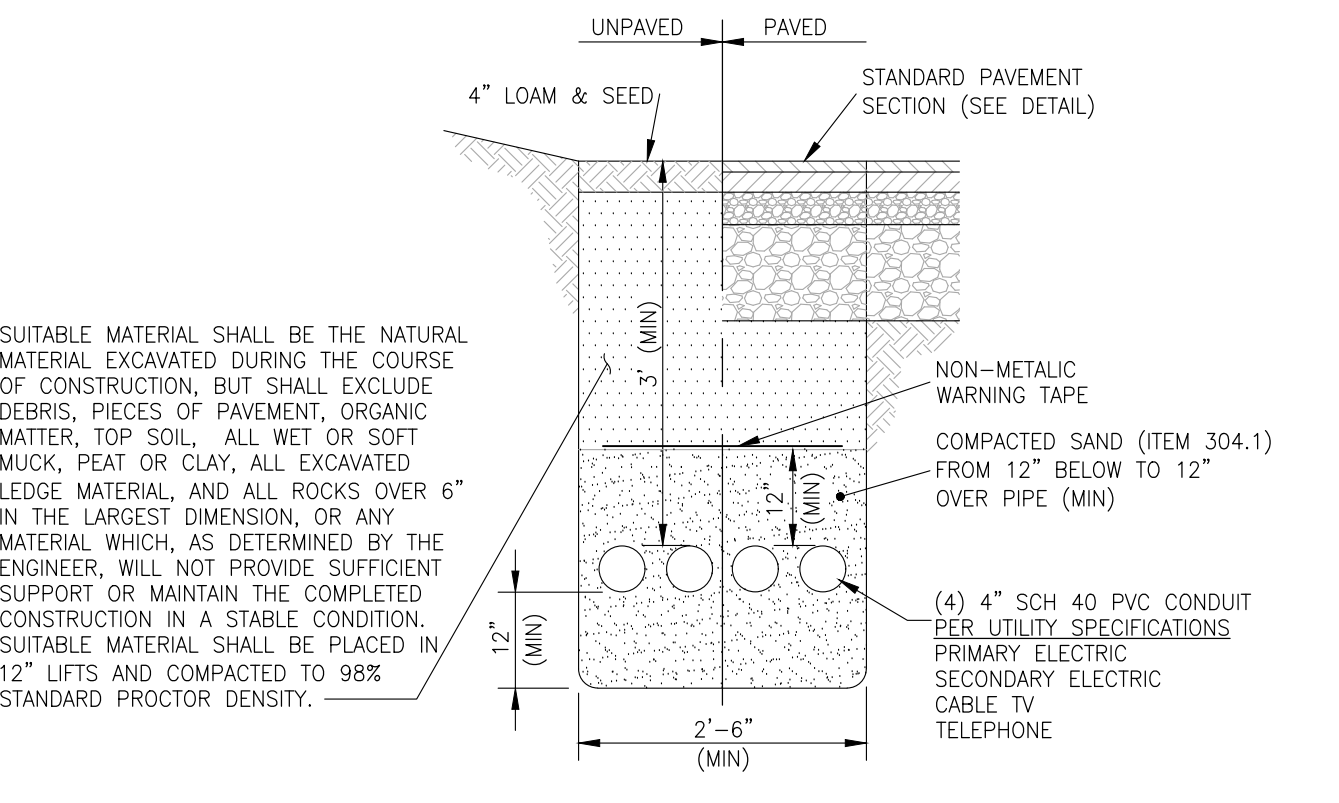
LIGHT POLE BASE
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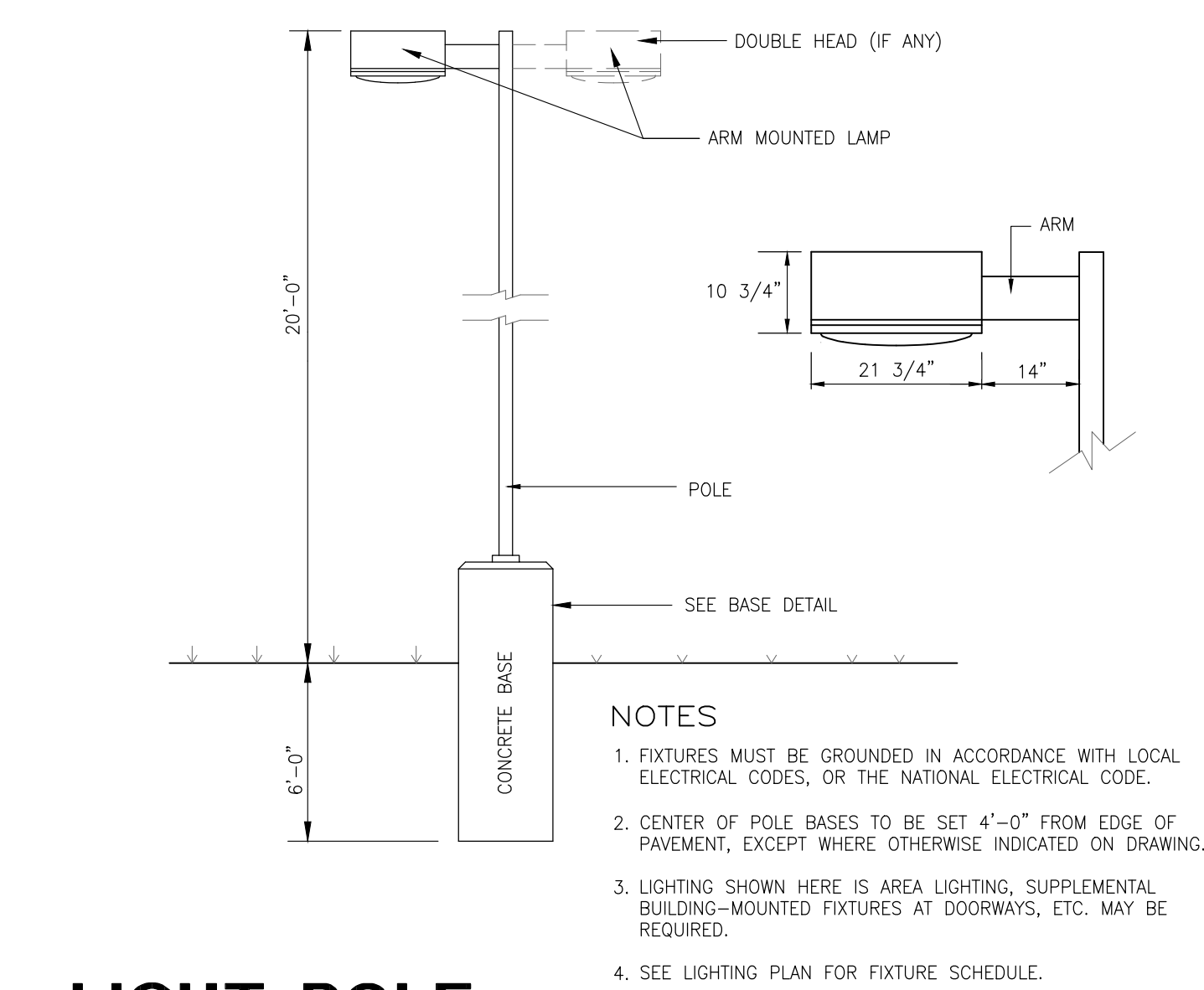
DUMPSTER ENCLOSURE - VINYL
SEE PLANS FOR LAYOUT
NOT TO SCALE



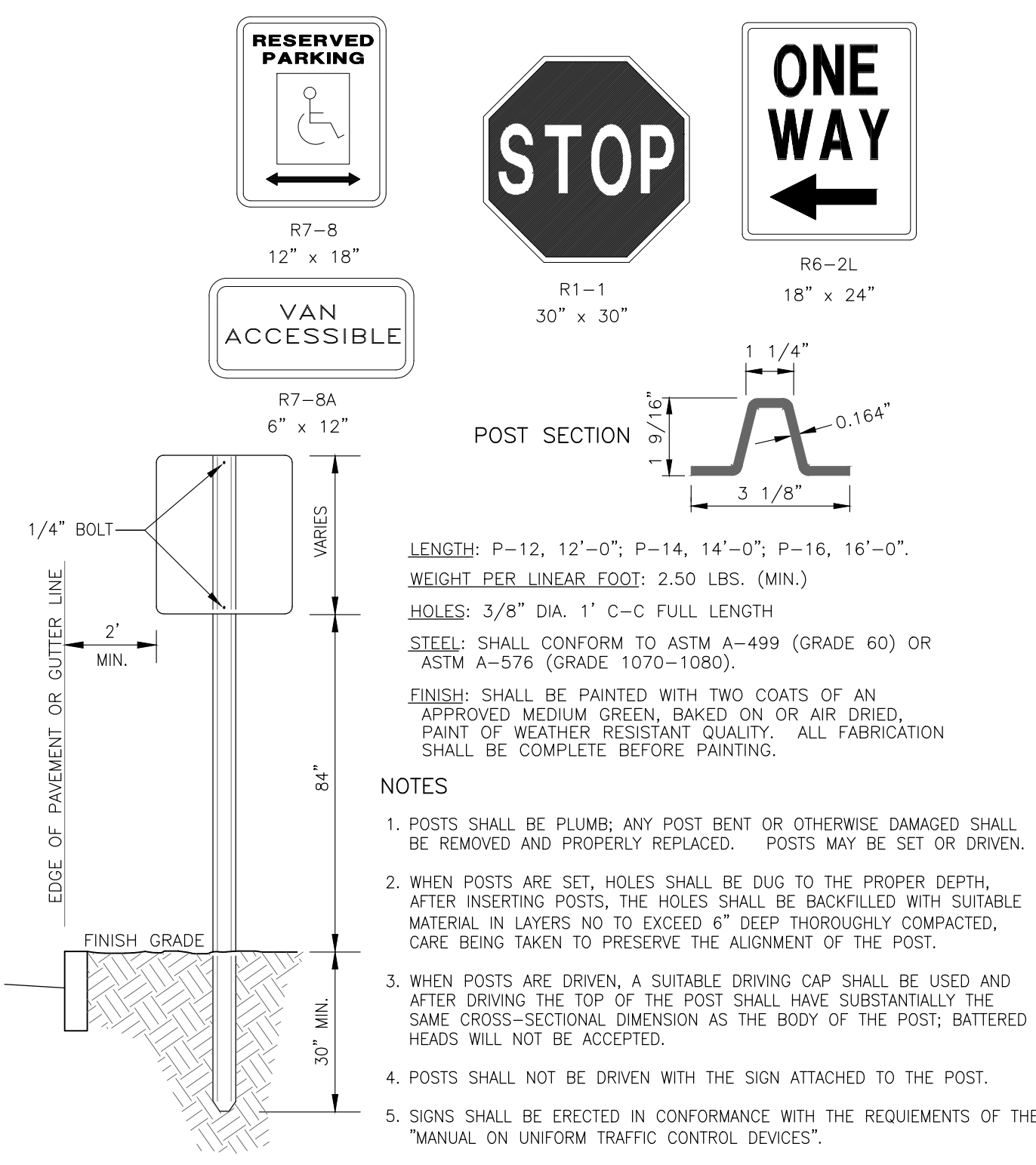
PAINTED HANDICAP SYMBOL
NOT TO SCALE



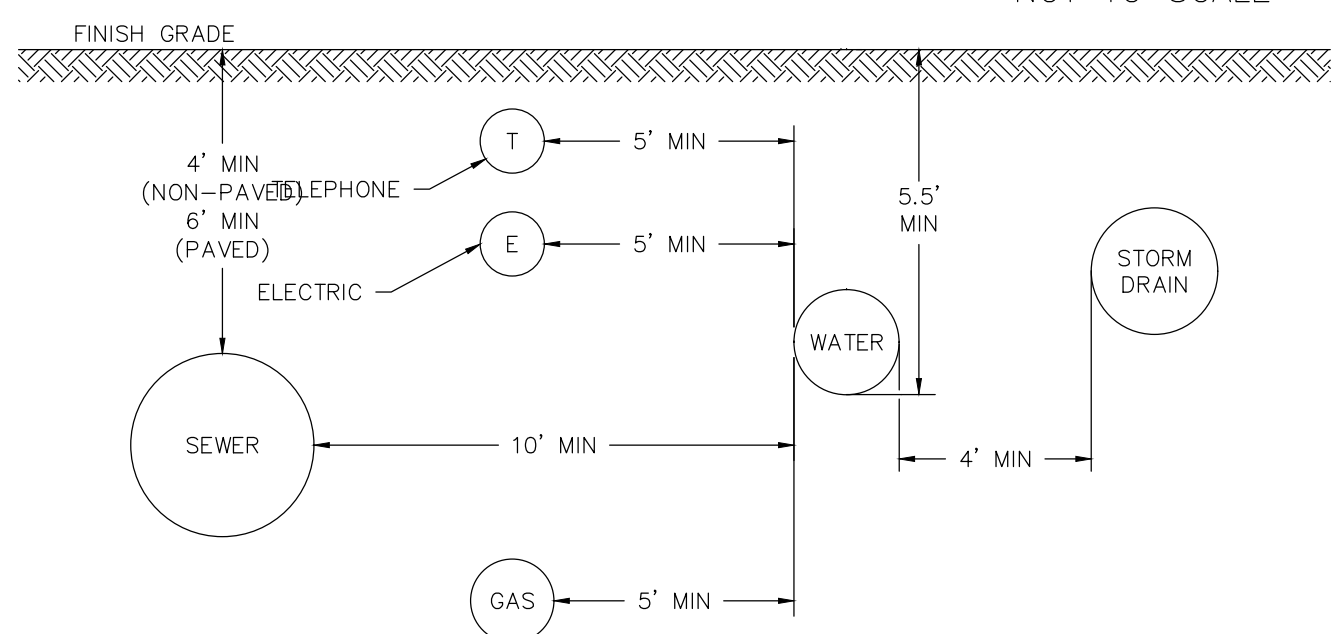
UTILITY TRENCH
NOT TO SCALE



LIGHT POLE
NOT TO SCALE



TRAFFIC SIGN POST IN GRADE
NOT TO SCALE



TYPICAL UTILITY SEPARATION
NOT TO SCALE

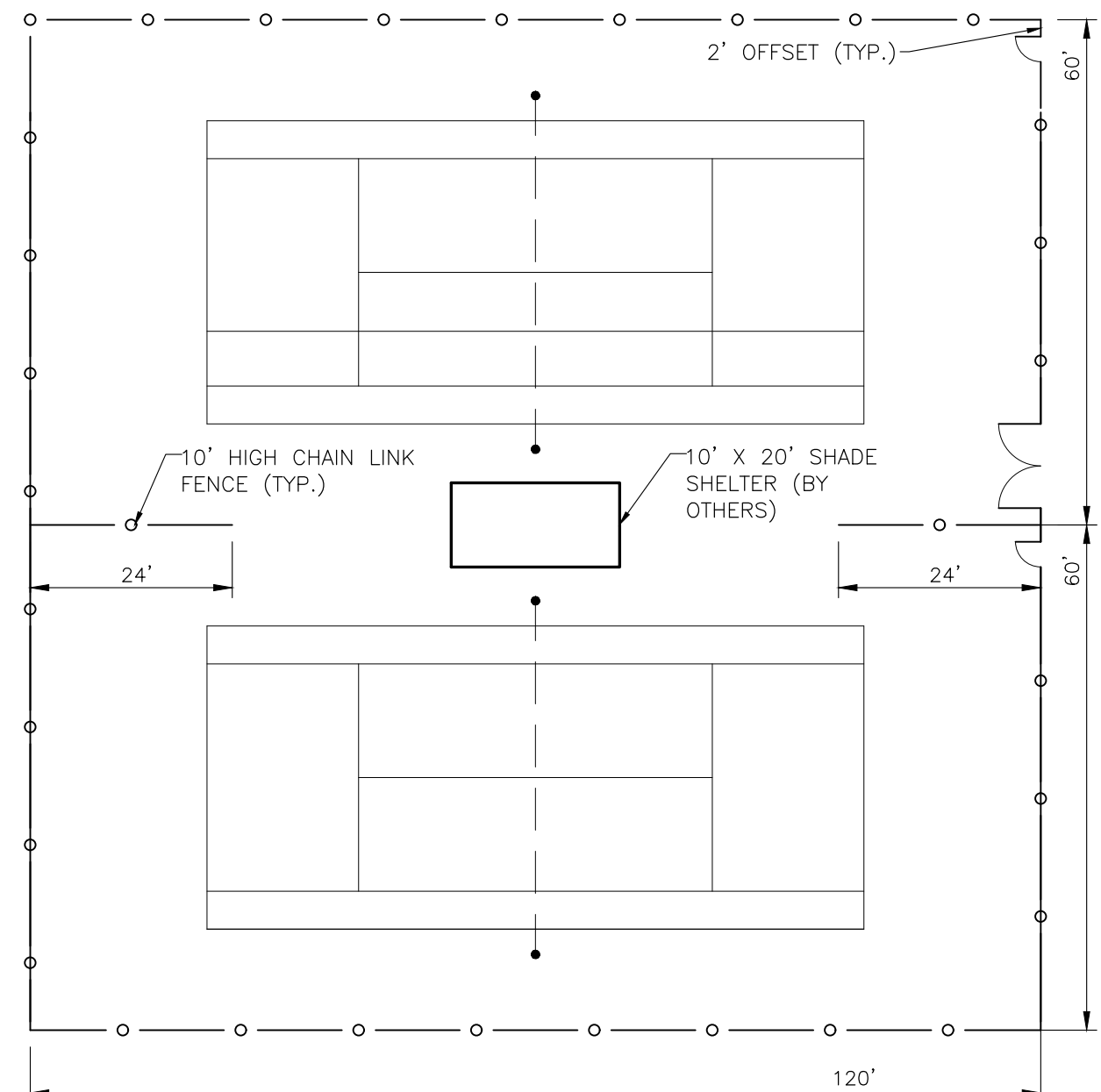
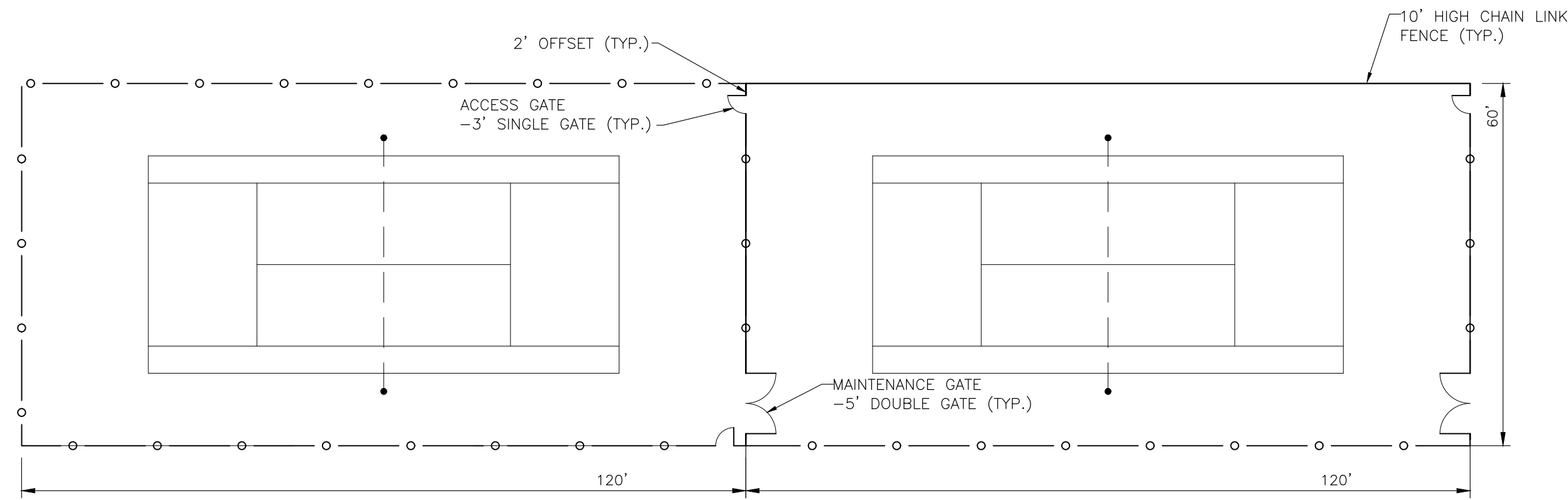
NOTES:
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL
CONFORM TO TOWN OF LONDONDERRY AND M.W.W. TECHNICAL SPECIFICATIONS.
2. ALL WATER MAIN SHOULD HAVE A MINIMUM DEPTH
OF 5.5' FROM INVERT (BOTTOM) OF PIPE TO FINISH GRADE.

TAX MAP 28 LOTS 9, 10, & 10-4
DETAILS SHEET
EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
OWNER: MAP 28 LOTS 9, 10
CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
1 AIRPORT RD. SUITE 900, MANCHESTER, NH 03103
OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
1 HIGHLANDER WAY, MANCHESTER, NH 03103
APPLICANT
BENTON FAMILY REALTY, LLC
108 W. WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025

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DIG SAFE
CONTACT US AT 12 BUSINESS
HOURS PRIOR TO CONSTRUCTION

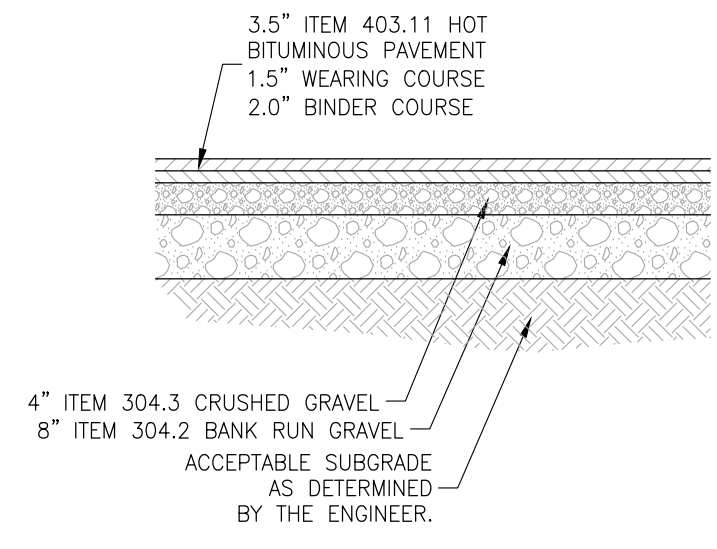
REV	DATE	DESCRIPTION	DR	CK

Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
TFM
48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
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FENCE LAYOUT
SCHEMATIC REPRESENTATION

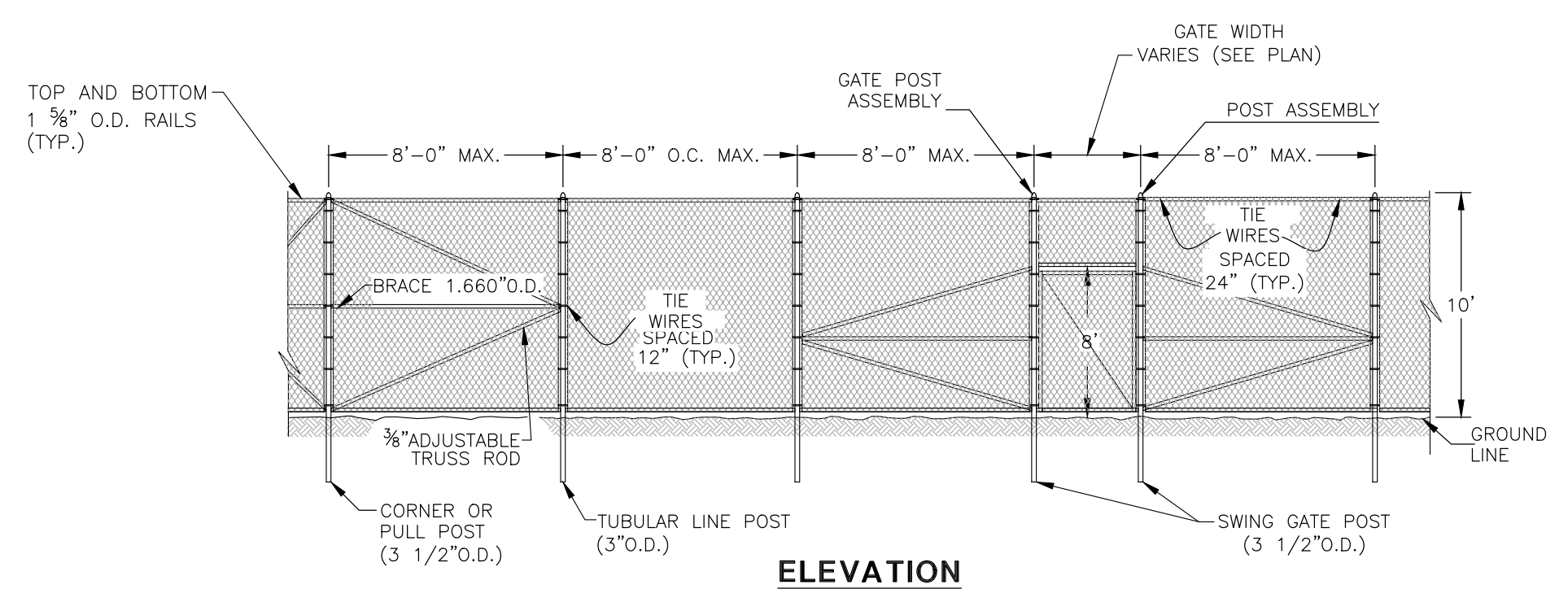
1' = 20'



NOTES:
REMOVE ALL LOAM, CLAY, MUCK, STUMPS, AND OTHER IMPROPER PAVEMENT FOUNDATION MATERIAL WITHIN 2" OF SUBGRADE. REPLACE WITH COMPACTED GRANULAR FILL MATERIAL ACCEPTABLE TO APPROVING AGENCY. COMPACTION TO BE AT LEAST 95% OF STANDARD PROCTOR.
ALL PAVEMENT, BASE MATERIALS AND WORKMANSHIP TO BE IN COMPLIANCE WITH N.H.D.O.T. "STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION.

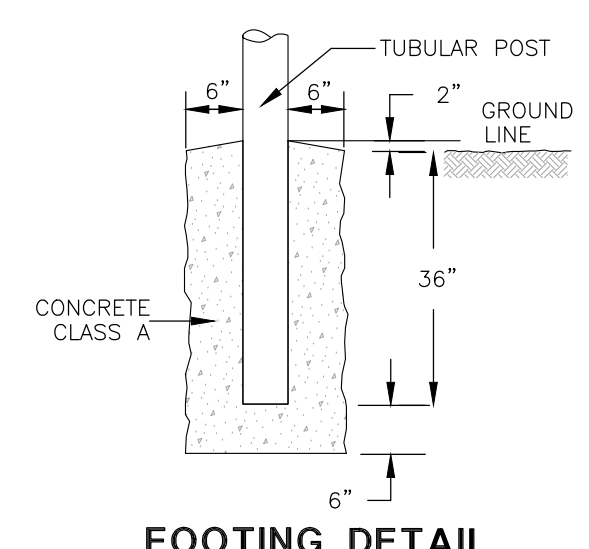
TYPICAL RACQUET COURT SECTION

NOT TO SCALE



10' CHAIN LINK FENCE DETAIL

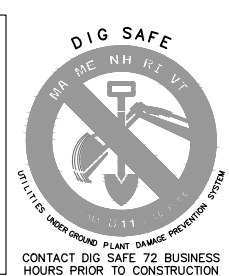
NOTES:
1. PROVIDE 9' OPEN MESH VINYL COATED WINDSCREEN - DARK GREEN. (INSTALL PER MANUFACTURER'S RECOMMENDATIONS.)
2. ALL POST, RAILS, TIES AND FABRIC TO BE GALVANIZED GREEN VINYL-COATED.
3. FABRIC SHALL BE 11 GAUGE, 1 1/2" DIAMOND PATTERN OR 9 GAUGE, 2" DIAMOND PATTERN WITH KNUCKLED SELVAGE TOP AND BOTTOM.
4. FENCE FRAME WORK TO BE HIGH STRENGTH STEEL PIPE.
5. INSTALL FABRIC ON COURT SIDE OF POSTS.



FOOTING DETAIL

NOT TO SCALE

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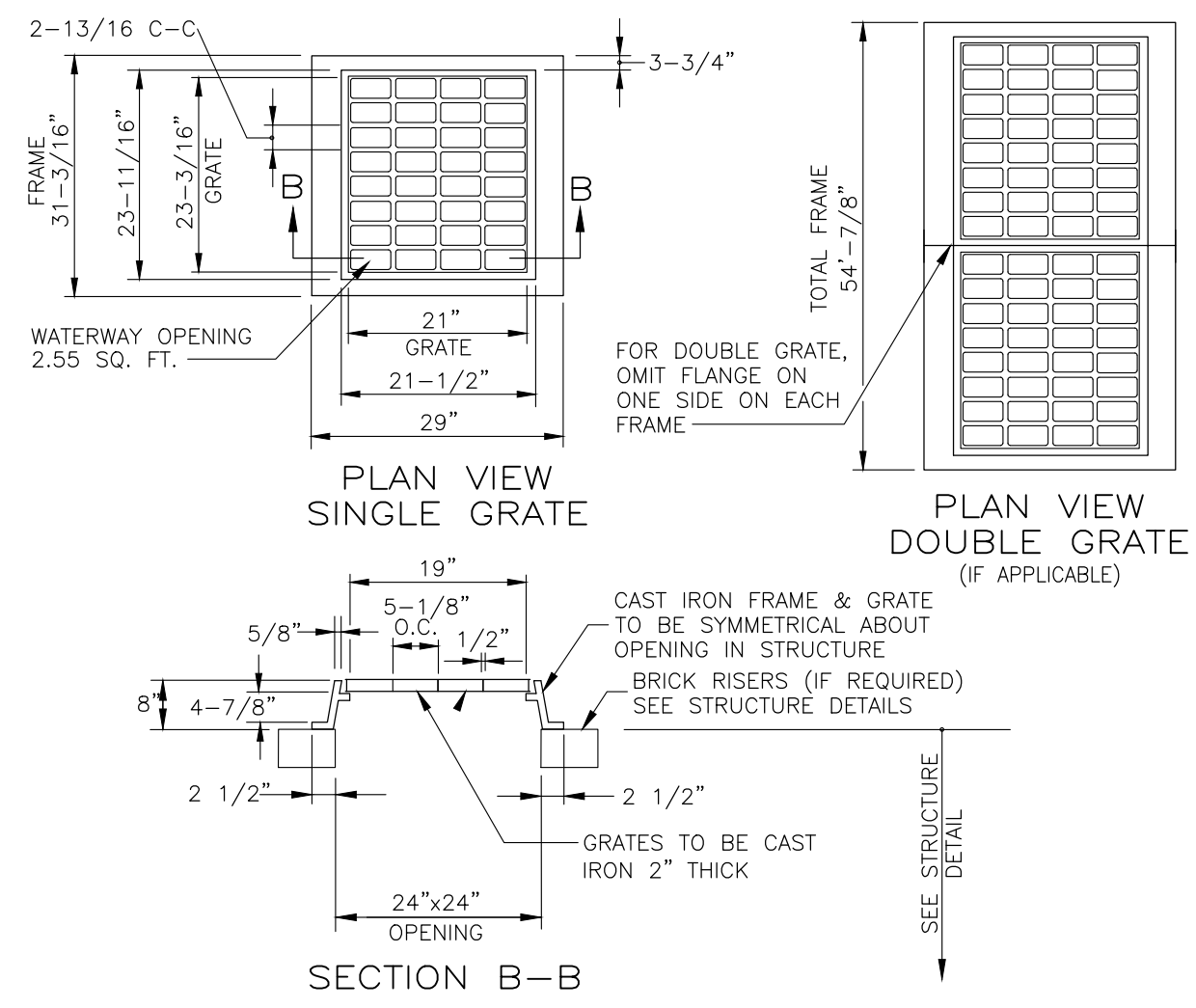


REV	DATE	DESCRIPTION	DR	CK

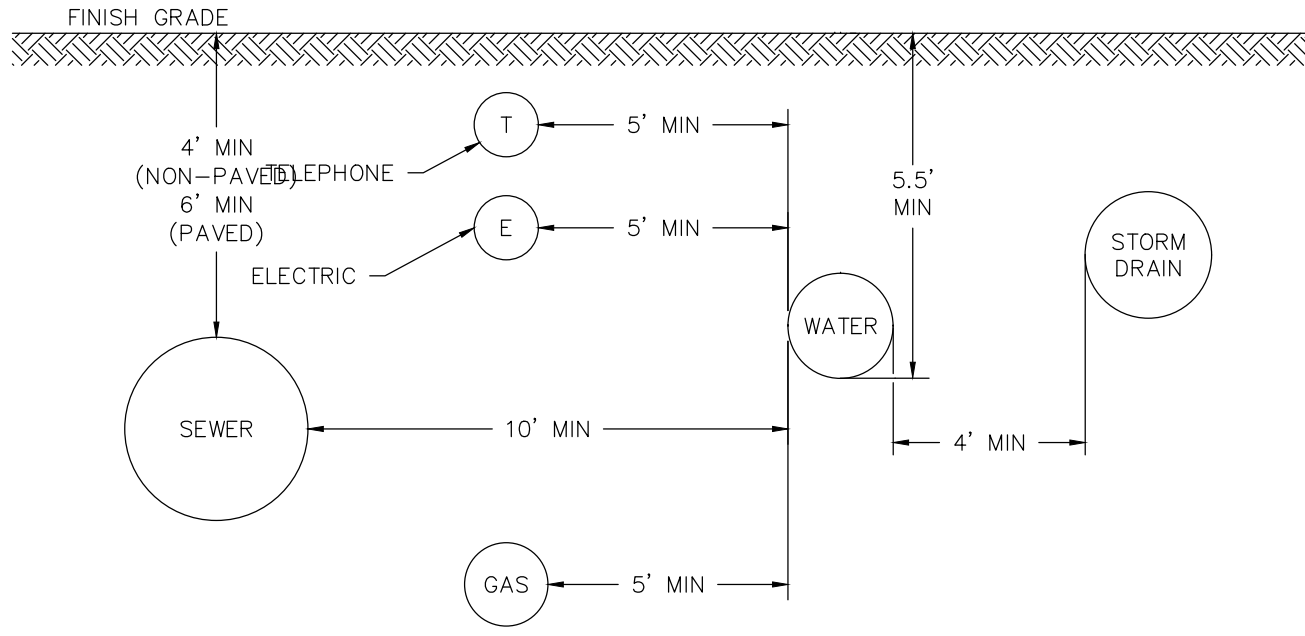
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OWNER: MAP 28 LOTS 9, 10
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1 AIRPORT RD, SUITE 300, MANCHESTER, NH 03103
OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
1 HIGHLANDER WAY, MANCHESTER, NH 03103
APPLICANT
BENTON FAMILY REALTY, LLC
IDER WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025

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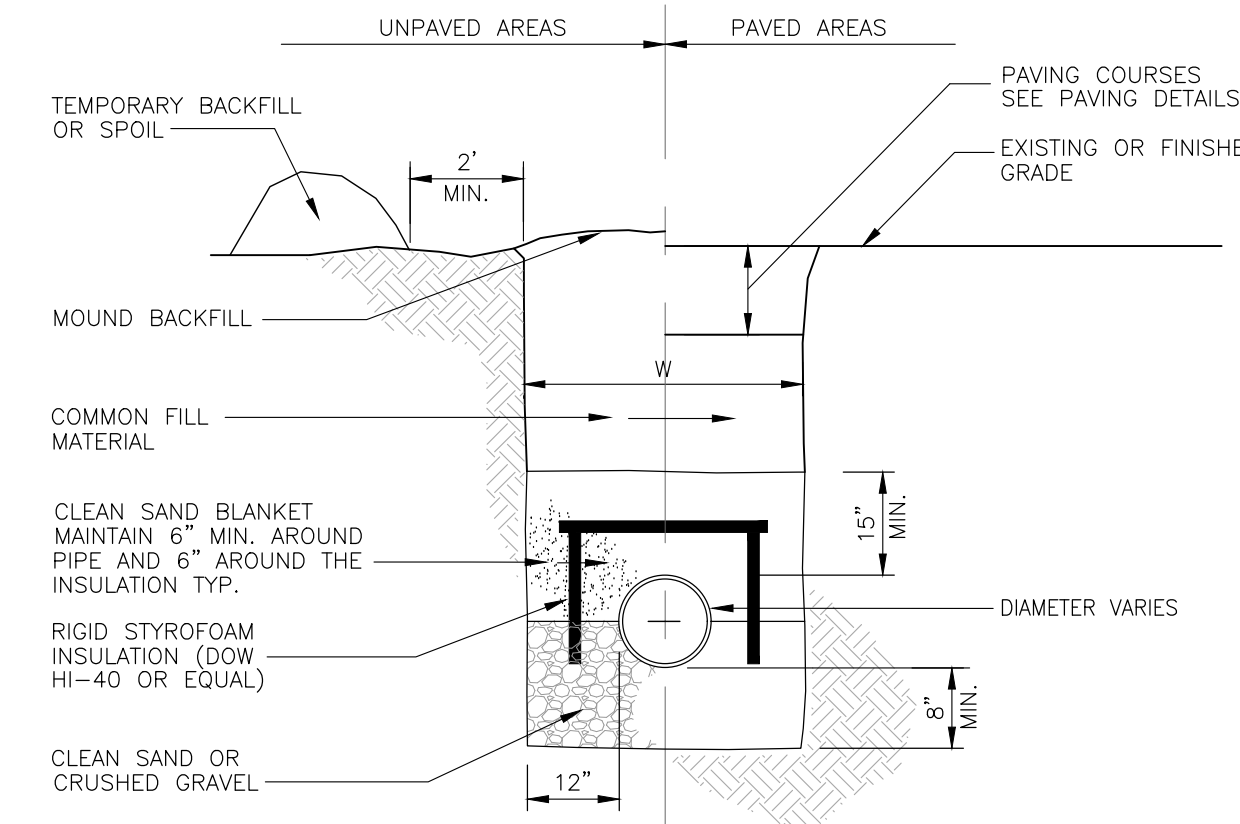
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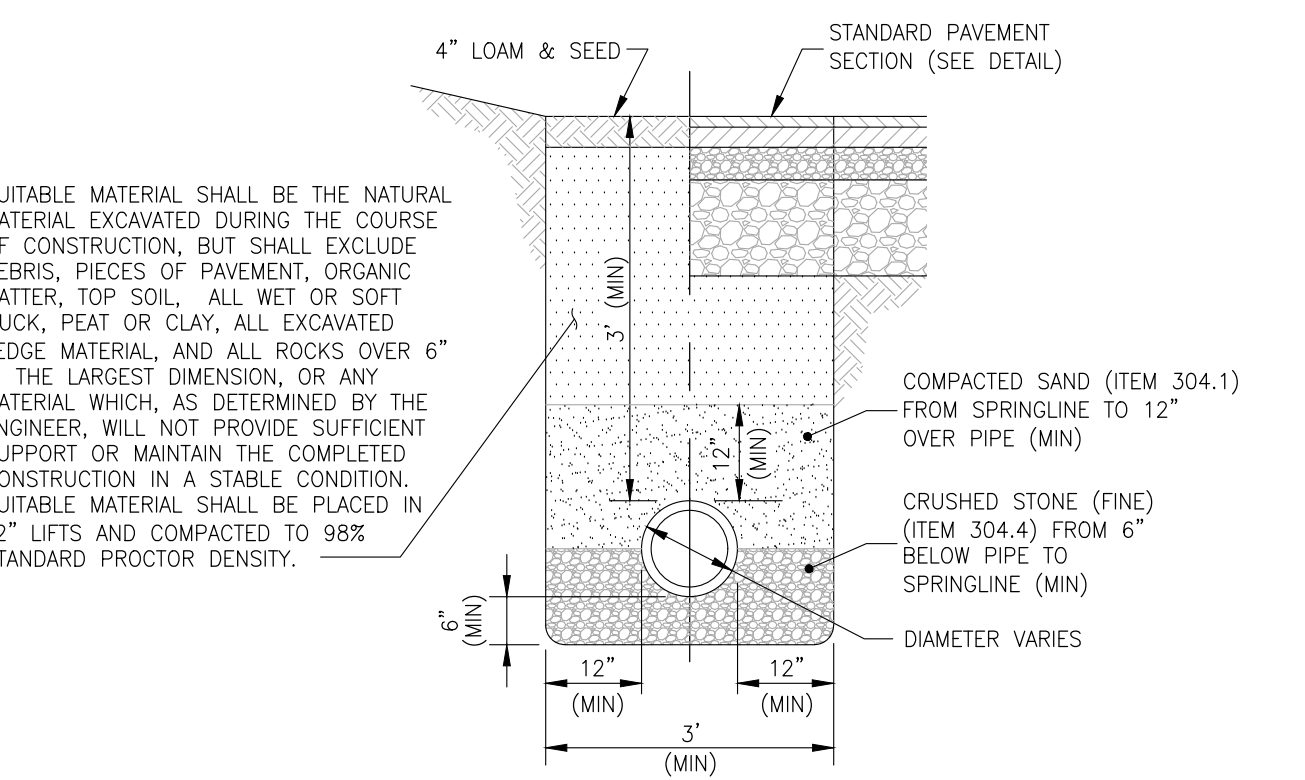
FRAME AND GRATE
 NHDOT TYPE B ALT 1 NOT TO SCALE



TYPICAL UTILITY SEPARATION
 NOTES:
 1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO TOWN OF LONDONDERRY AND M.W.W. TECHNICAL SPECIFICATIONS.
 2. ALL WATER MAIN SHOULD HAVE A MINIMUM DEPTH OF 5.5' FROM INVERT (BOTTOM) OF PIPE TO FINISH GRADE.
 NOT TO SCALE



PIPE INSULATION
 NOTE:
 W=MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE.
 FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
 NOT TO SCALE



STORM DRAIN TRENCH
 SUITABLE MATERIAL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER 6" IN THE LARGEST DIMENSION, OR ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. SUITABLE MATERIAL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 98% STANDARD PROCTOR DENSITY.
 NOT TO SCALE

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REV	DATE	DESCRIPTION	DR	CK

TAX MAP 688 LOTS 121 & 122
CONSTRUCTION DETAILS
GAS/CONVENIENCE STORE & COFFEE SHOP
2035 & 2055 BROWN AVENUE, MANCHESTER, NH 03103
 OWNED BY/PREPARED FOR
4KV, LLC
 169 NOTTINGHAM ROAD, DEERFIELD, NH 03037
NOVEMBER 25, 2025

TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

48 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
 www.tfmoran.com

17471.02 DR JSH CADFILE 17471-02 COVER-DETAILS C-18

LANDSCAPE NOTES

(SEE DETAILS FOR ADDITIONAL NOTES)

SITE AND SOIL PREPARATION

- WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR LEDGE, NOTIFY LANDSCAPE ARCHITECT/ENGINEER BEFORE PLANTING.
- ALL DISTURBED AREAS & PLANTING AREAS, INCLUDING AREAS TO BE SODDED, SHALL RECEIVE THE FOLLOWING SOIL PREPARATION PRIOR TO PLANTING: A MINIMUM OF 6 INCHES OF LIGHTLY COMPACTED TOPSOIL SHALL BE INSTALLED OVER THE SUBSOIL IF TOPSOIL HAS BEEN REMOVED OR IS NOT PRESENT.
- LOAM SHALL CONSIST OF LOOSE FRIABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE FROM STONES, LUMPS, STUMPS, OR SIMILAR OBJECTS LARGER THAN TWO INCHES (2") IN GREATEST DIAMETER, SUBSOIL, ROOTS, AND WEEDS. THE MINIMUM AND MAXIMUM PH VALUE SHALL BE FROM 5.5 TO 7.0. LOAM SHALL CONTAIN A MINIMUM OF TWO PERCENT (2%) AND A MAXIMUM OF FIVE PERCENT (5%) ORGANIC MATTER AS DETERMINED BY LOSS BY IGNITION. SOIL TEXTURE SHALL BE SANDY CLAY LOAM OR SANDY LOAM WITH CLAY CONTENT BETWEEN 15 AND 25%, AND A COMBINED CLAY/SILT CONTENT OF NO MORE THAN 55%. NOT MORE THAN SIXTY-FIVE PERCENT (65%) SHALL PASS A NO. 200 SIEVE AS DETERMINED BY THE WASH TEST IN ACCORDANCE WITH ASTM D1140. IN NO INSTANCE SHALL MORE THAN 20% OF THAT MATERIAL PASSING THE #4 SIEVE CONSIST OF CLAY SIZE PARTICLES.
- NATURAL TOPSOIL NOT CONFORMING TO THE PARAGRAPH ABOVE OR CONTAINING EXCESSIVE AMOUNTS OF CLAY OR SAND SHALL BE TREATED BY THE CONTRACTOR TO MEET THOSE REQUIREMENTS.
- SUBMIT TEST RESULTS OBTAINED FROM SOURCE TO ENGINEER/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL, PRIOR TO SPREADING OPERATIONS.
- APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT TO USE THE TOPSOIL WILL DEPEND UPON THE RESULTS OF THE SOIL TESTS.
- THE BURDEN OF PROOF OF SOIL AMENDMENT INSTALLATION RESTS WITH THE CONTRACTOR. SOIL TESTS MAY BE REQUIRED AT THE CONTRACTOR'S EXPENSE IN ORDER TO CONFIRM AMENDMENT INSTALLATION.

SEEDING

- ROUGH GRADING SHALL BE COMPLETED PRIOR TO THE START OF PLANTING IN ANY GIVEN AREA OF THE PROJECT SITE.

SEEDING SHALL BE DONE BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 15, EXCEPT FOR RESEEDING OF BARE SPOTS AND MAINTENANCE. ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVING OR AREAS THAT HAVE NOT BEEN OTHERWISE DEVELOPED SHALL BE SEEDED OR SODDED. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. AFTER OCTOBER 15 DISTURBED SOILS SHALL BE PROTECTED IN ACCORDANCE WITH THE WINTER CONSTRUCTION NOTES.

ACCEPTABLE SEED MIXES ARE AS FOLLOWS:

PARK SEED MIX (NHDOT TYPE 15) MIN. 120 LBS/ACRE:
 33% CREEPING RED FESCUE (MIN. 40 LBS/ACRE)
 42% PERENNIAL RYEGRASS (MIN. 50 LBS/ACRE)
 21% KENTUCKY BLUEGRASS (MIN. 25 LBS/ACRE)
 4% REDTOP (MIN. 5 LBS/ACRE)

TEMPORARY LAWN MIX: (MIN. 47 LBS/ACRE)
 100% ANNUAL RYE

SLOPE SEED (WF) (NHDOT TYPE 45) MIX 3:1 OR GREATER SLOPES (MIN. 95 LBS/ACRE):

38% CREEPING RED FESCUE (MIN. 35 LBS/ACRE)
 32% PERENNIAL RYEGRASS (MIN. 30 LBS/ACRE)
 5% REDTOP (MIN. 5 LBS/ACRE)
 5% ALSIKE CLOVER (MIN. 5 LBS/ACRE)
 5% BIRDSFOOT TREFLOIL (MIN. 5 LBS/ACRE)
 3% LANCE-LEAF COREOPSIS (MIN. 4 LBS/ACRE)
 3% OXEYE DAISY (MIN. 3 LBS/ACRE)
 3% BLACKEYED SUSAN (MIN. 4 LBS/ACRE)
 3% WILD LUPINE (MIN. 4 LBS/ACRE)

SLOPE SEED (NHDOT TYPE 44) MIX 3:1 OR GREATER SLOPES (MIN. 80 LBS/ACRE):

44% CREEPING RED FESCUE (MIN. 35 LBS/ACRE)
 38% PERENNIAL RYEGRASS (MIN. 30 LBS/ACRE)
 6% REDTOP (MIN. 5 LBS/ACRE)
 6% ALSIKE CLOVER (MIN. 5 LBS/ACRE)
 6% BIRDSFOOT TREFLOIL (MIN. 5 LBS/ACRE)

PLANTING

- EXCAVATE PITS, PLANTERS, BEDS AND TRENCHES WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER TO PROVIDE PROPER DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION.
- ANY LEDGE OR RUBBLE MATERIAL SHALL BE FRACTURED TO A DEPTH OF 3 FEET AND EXCAVATED TO A DEPTH OF 30 INCHES FOR TREE POCKETS AND 18 INCHES FOR SHRUB BEDS. THIS PROCEDURE SHALL BE HANDLED BY THE SITE CONTRACTOR. SITE TOPSOIL SHALL BE DEPOSITED IN ALL EXCAVATED POCKETS.
- DISPOSE OF SUBSOIL REMOVED FROM PLANTING EXCAVATIONS. DO NOT MIX WITH PLANTING SOIL OR USE AS BACKFILL.
- FILL EXCAVATIONS FOR TREES AND SHRUBS WITH WATER AND ALLOW TO PERCOLATE OUT BEFORE PLANTING.
- DISH TOP OF BACKFILL TO ALLOW FOR MULCH - PLANT SAUCERS SHALL BE AS SHOWN ON DETAIL SHEETS; 6" DIAMETER FOR ALL DECIDUOUS TREES, AND FOR EVERGREEN TREES A RADIUS 2' BEYOND THE OUTER MOST BRANCHES.
- MULCH TREES, SHRUBS, PLANTERS AND BEDS. PROVIDE NOT LESS THAN 3" THICKNESS OF BARK MULCH, 3/8"-2" OF WIDTH, AND WORK INTO TOP OF BACKFILL. FINISH LEVEL WITH ADJACENT FINISH GRADES AS DIRECTED IN THE FIELD.
- TREEGATOR WATERING SYSTEM OR APPROVED EQUAL SHALL BE INSTALLED FOR ALL DECIDUOUS TREES AT TIME OF PLANTING AND REMOVED BEFORE FROST. WATERING RATE TO BE APPLIED PER MANUFACTURER'S SPECIFICATIONS.
- ALL PLANT MATERIALS SHALL HAVE DEAD OR DAMAGED BRANCHES REMOVED AT TIME OF PLANTING. ALL TAGS AND RIBBONS SHALL BE REMOVED AT THIS TIME.
- THE CONTRACTOR SHALL REQUEST A FINAL OBSERVATION BY THE OWNER'S REPRESENTATIVE UPON COMPLETION OF INSTALLATION.

LANDSCAPE MAINTENANCE

LAWN

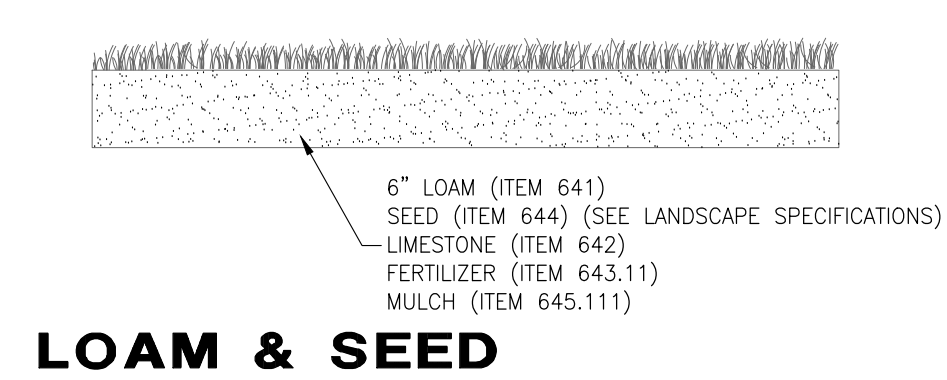
- BEGIN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED, BUT NOT LESS THAN THE FOLLOWING PERIODS:
 - SEEDED LAWNS: 60 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 - WHEN FULL MAINTENANCE PERIOD HAS NOT ELAPSED BEFORE END OF PLANTING SEASON, OR IF LAWN IS NOT FULLY ESTABLISHED, CONTINUE MAINTENANCE DURING NEXT PLANTING SEASON.
 - SODDED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 - PLUGGED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 - SPRIGGED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
- MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
 - IN AREAS WHERE MULCH HAS BEEN DISTURBED BY WIND OR MAINTENANCE OPERATIONS, ADD NEW MULCH. ANCHOR AS REQUIRED TO PREVENT DISPLACEMENT.
- WATERING: PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN-WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES AND KEEP LAWN UNIFORMLY MOIST TO A DEPTH OF FOUR INCHES (100 mm).
 - SCHEDULE WATERING TO PREVENT WILTING, PUDDLING, EROSION, AND DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS.
 - WATER LAWN AT A MINIMUM RATE OF ONE INCH (25 mm) PER WEEK.
- MOW LAWN AS SOON AS TOP GROWTH IS TALL ENOUGH TO CUT. REPEAT MOWING TO MAINTAIN SPECIFIC HEIGHT WITHOUT CUTTING MORE THAN 40 PERCENT OF GRASS HEIGHT. REMOVE NO MORE THAN 40 PERCENT OF GRASS-LEAF GROWTH IN INITIAL OR SUBSEQUENT MOWINGS. DO NOT DELAY MOWING UNTIL GRASS BLADES BEND OVER AND BECOME MATTED. DO NOT MOW WHEN GRASS IS WET. SCHEDULE INITIAL AND SUBSEQUENT MOWINGS TO MAINTAIN THE FOLLOWING GRASS HEIGHT.
- LAWN POSTFERTILIZATION: APPLY FERTILIZER AFTER INITIAL MOWING AND WHEN GRASS IS DRY.
 - USE FERTILIZER THAT WILL PROVIDE ACTUAL NITROGEN OF AT LEAST 1 lb/1,000 SF (0.45 kg/92.9 SM) TO LAWN AREA.

MEADOW

- BEGIN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE MEADOW IS ESTABLISHED, BUT FOR NOT LESS THAN 40 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
- MAINTAIN AND ESTABLISH MEADOW BY WATERING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH.
- WATERING: PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN-WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES AND KEEP MEADOW UNIFORMLY MOIST.
 - SCHEDULE WATERING TO PREVENT WILTING, PUDDLING, EROSION, AND DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS.
 - WATER LAWN AT A MINIMUM RATE OF 1/2 INCH (13 mm) PER WEEK FOR 4 WEEKS.

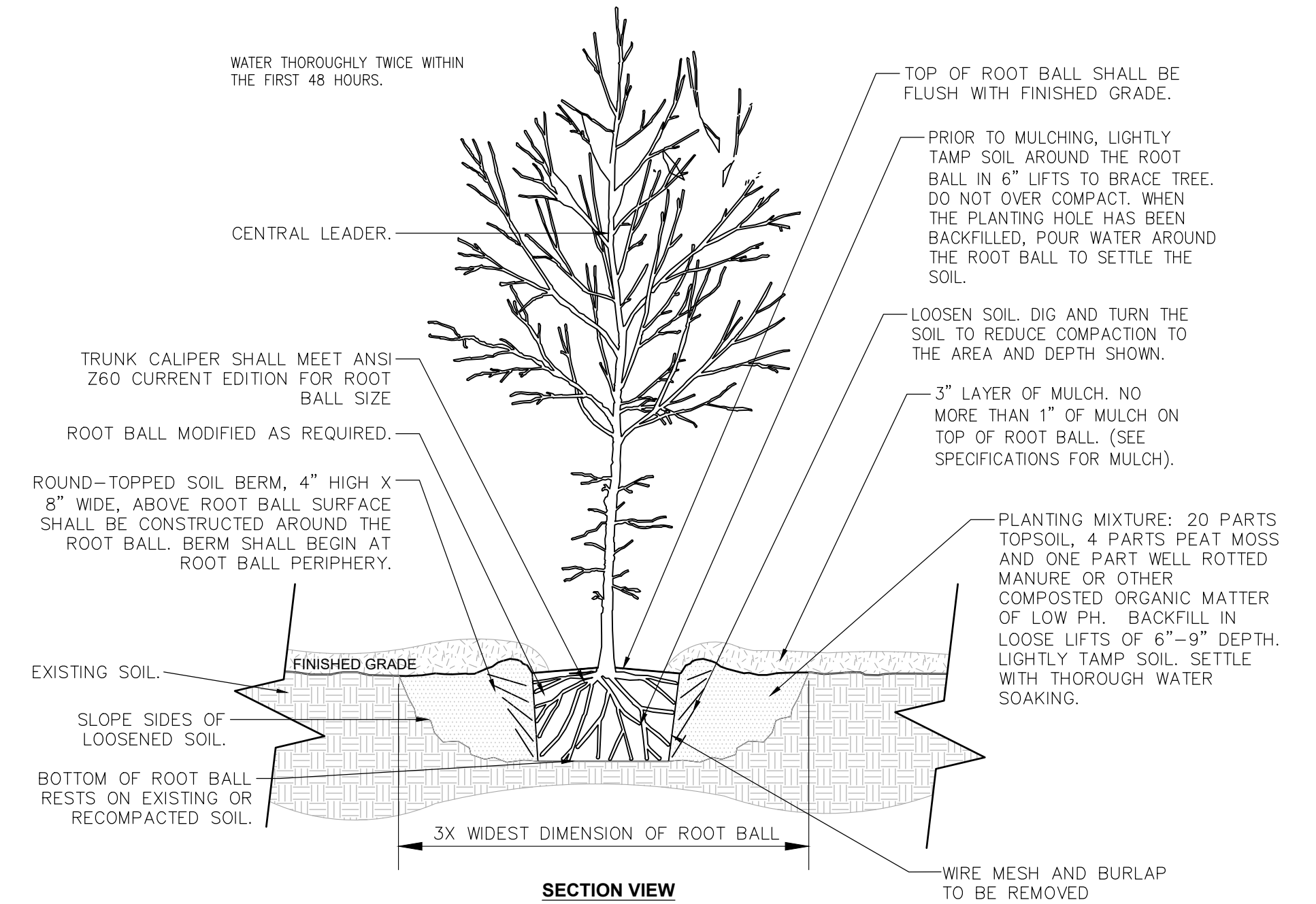
TREES AND SHRUBS:

- PRUNING SHOULD BE STARTED EARLY AND KEPT UP AT REGULAR INTERVALS. TREES SHOULD BE PRUNED AND SHAPED TO AVOID SPLITTING LATER IN LIFE. BROKEN TOPS AND BRANCHES SHOULD BE REMOVED AS SOON AS POSSIBLE AFTER INJURY. BROKEN, WEAK OR DISEASED BRANCHES SHOULD BE REMOVED FIRST, DEAD BRANCHES SECOND AND HEALTHY BRANCHES LAST.
- TREES AND SHRUBS SHOULD BE PROTECTED AGAINST DAMAGE INCURRED WITH LAWN MOWERS AND GARDEN EQUIPMENT. KEEPING GRASS AWAY FROM TREE TRUNKS WITH THE USE OF MULCH IS RECOMMENDED.
- THE USE OF ROAD SALT AROUND TREES AND SHRUBS SHOULD BE AVOIDED OR MINIMIZED.
- LANDSCAPED AREAS SHALL BE ROUTINELY MAINTAINED FREE OF DEBRIS AND LITTER. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD.



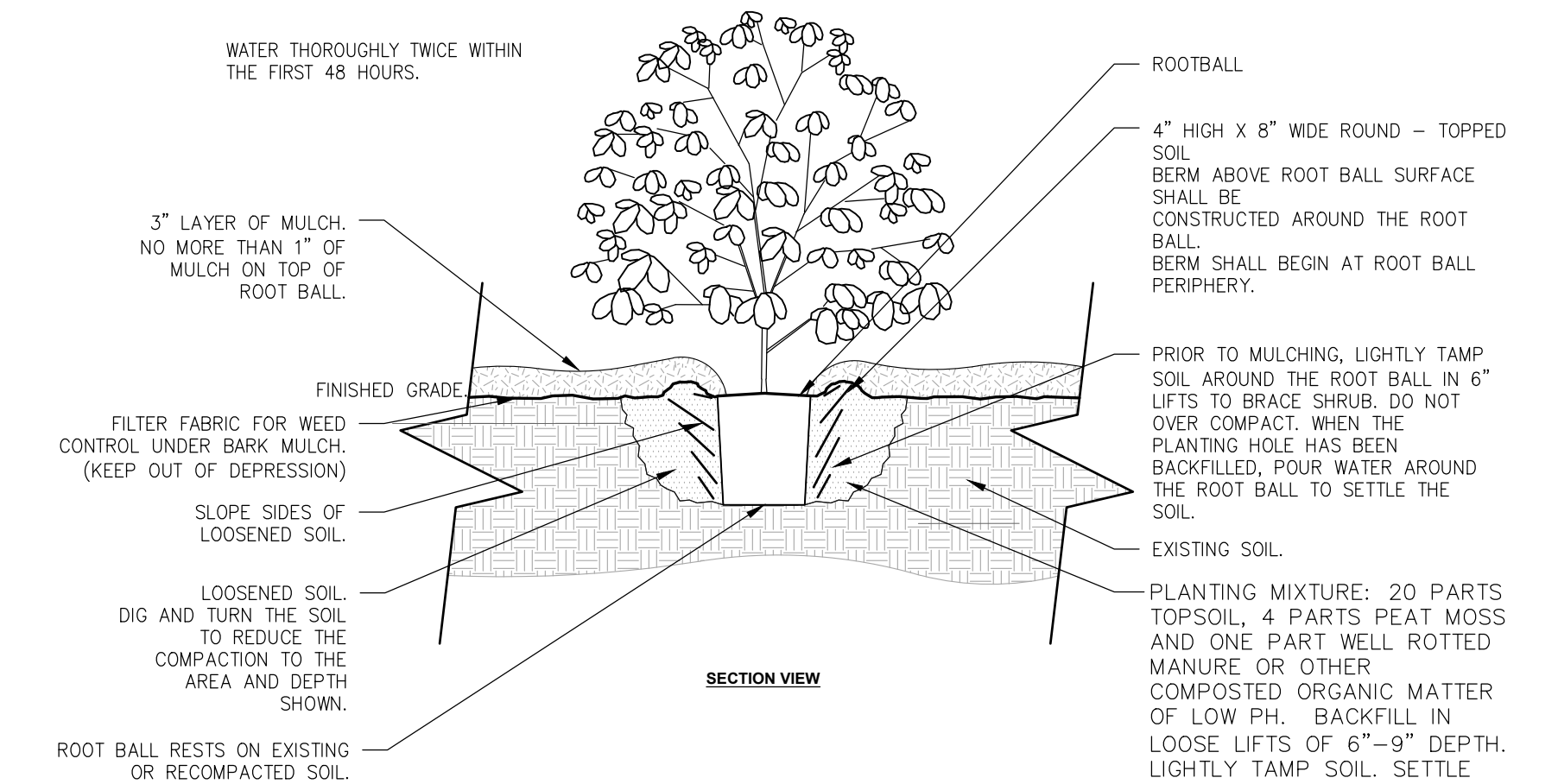
LOAM & SEED

NOT TO SCALE



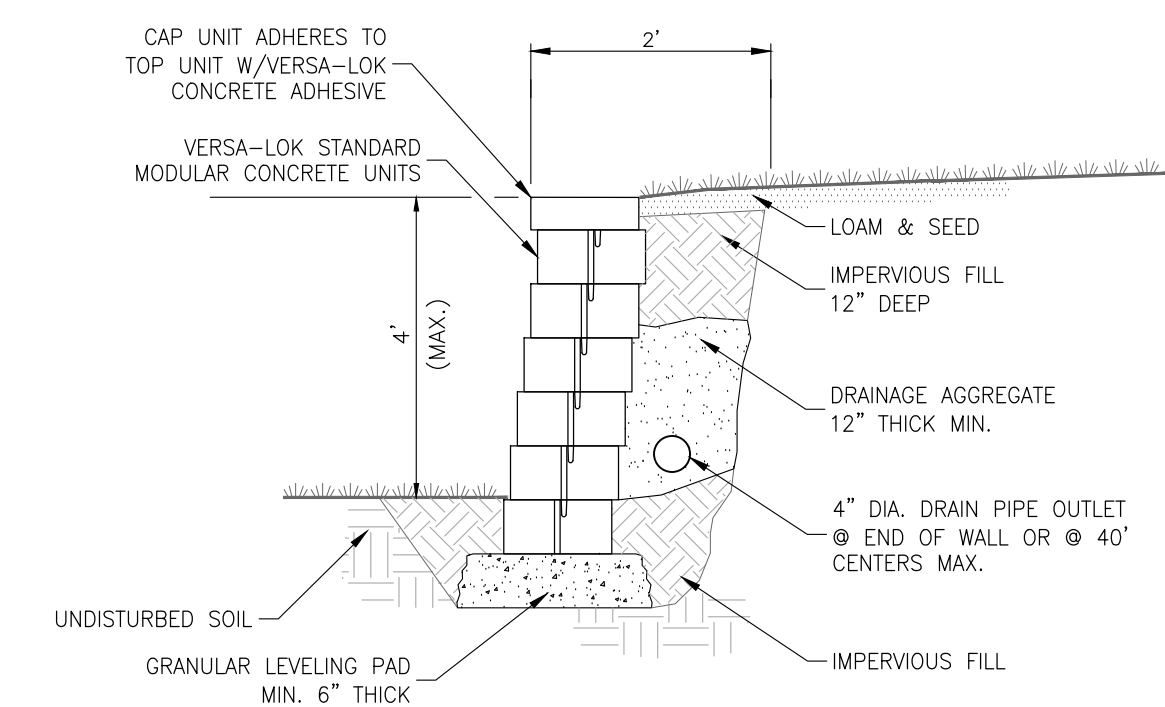
TREE WITH MULCH BERM

NOT TO SCALE



SHRUB PLANTING

NOT TO SCALE



UNREINFORCED RETAINING WALL

VERSA-LOK (OR EQUAL)

NOT TO SCALE

TAX MAP 28 LOTS 9, 10, & 10-4

DETAILS SHEET

EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10

CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 900, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10

BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103

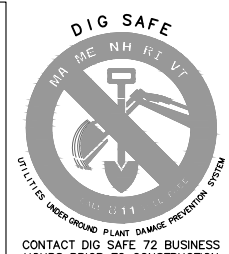
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NOVEMBER 18, 2025

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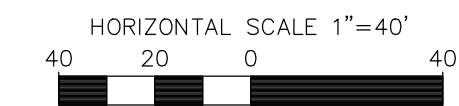
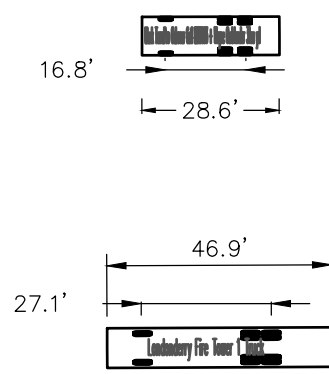
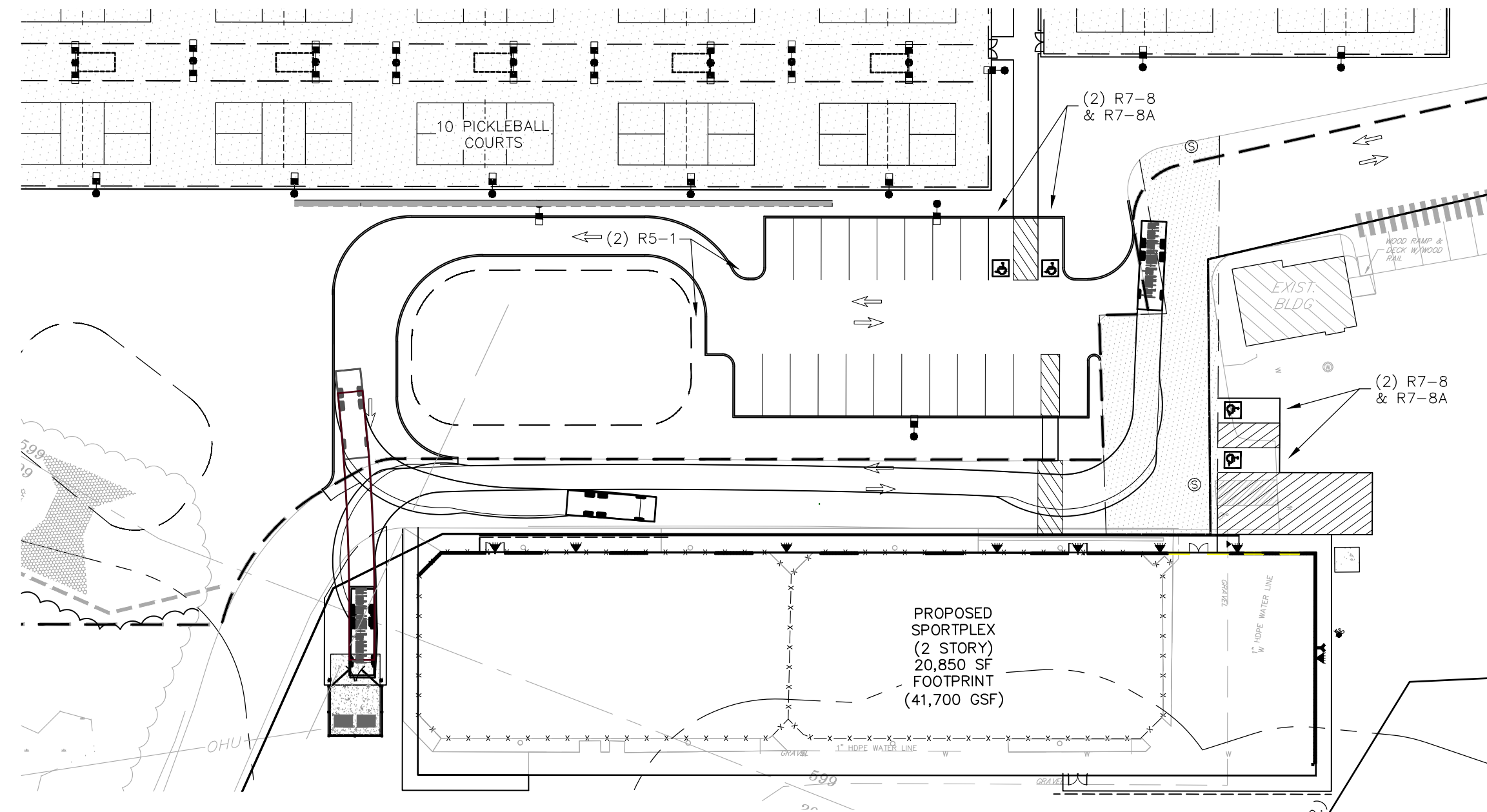
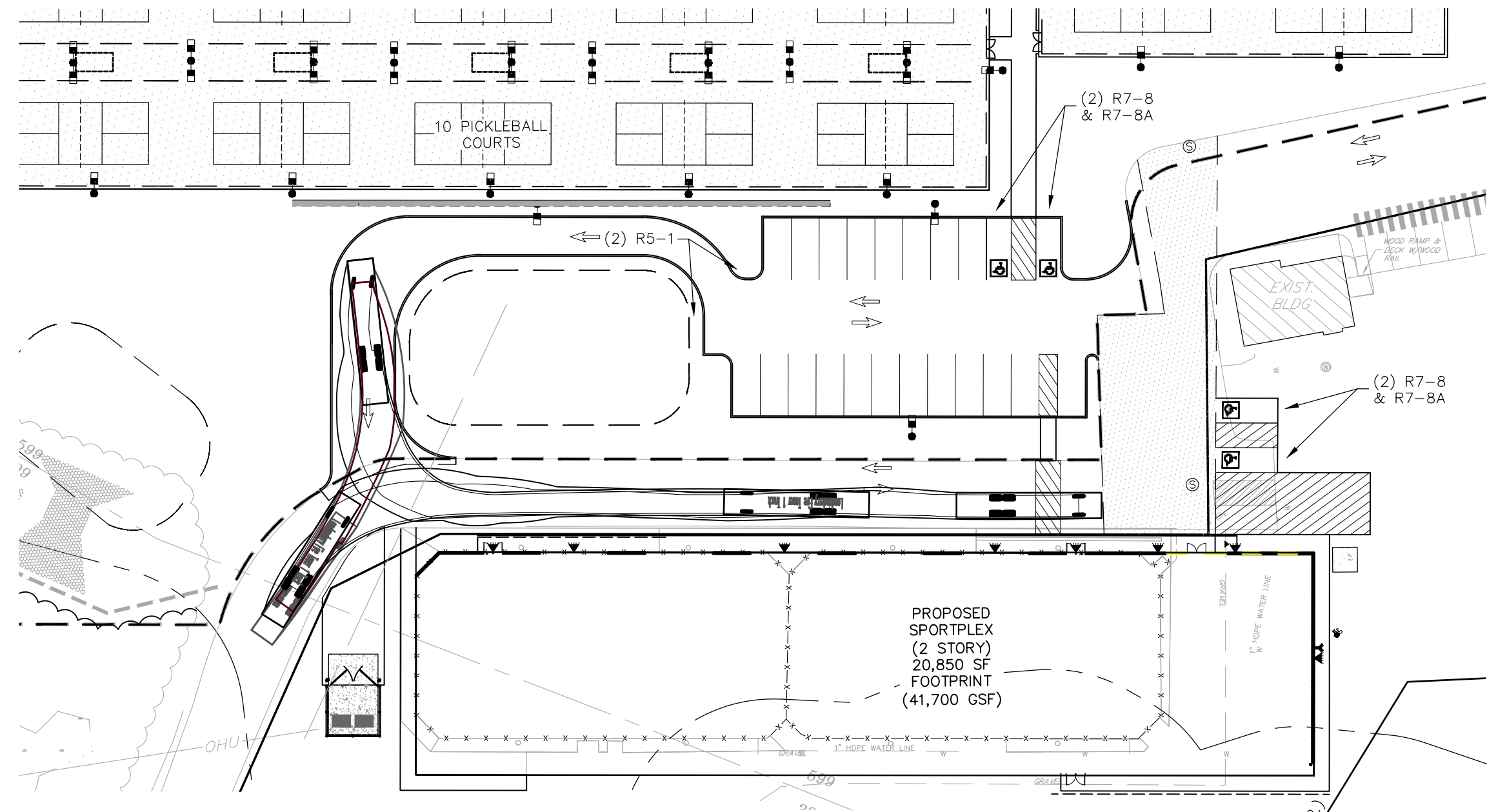


REV	DATE	DESCRIPTION	DR	CK

TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

48 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
 www.tfmoran.com

F 17562.06 DR JSH
 CK RED CADFILE 17562-06 COVER-DETAILS C-20



REV	DATE	DESCRIPTION	DR	CK

TAX MAP 28 LOTS 9, 10, &10-4
TURNING MOVEMENTS
 EXECUTIVE COUNTRY CLUB- RACQUET SPORTS DEVELOPMENT
 2 & 5 HIGHLANDER WAY, LONDONDERRY, NH
 OWNER: MAP 28 LOTS 9, 10
 CITY OF MANCHESTER (C/O MANCHESTER AIRPORT AUTHORITY)
 1 AIRPORT RD, SUITE 300, MANCHESTER, NH 03103
 OWNER: MAP 28 LOT 10-4
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 APPLICANT
BENTON FAMILY REALTY, LLC
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
NOVEMBER 18, 2025

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	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com
	17562.06 DR JSH CK RED CADFILE	17562-06 SITE



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

November 20, 2025

Kristan Farr
Town Planner
Town of Londonderry
268B Mammoth Road
Londonderry, NH 03053

Re: Executive Country Club- Raquet Sports Development
Conditional Use Permit A
2 & 5 Highlander Way
Londonderry, NH

Dear Ms. Farr:

On behalf of our client, Benton Family Trust (“the Applicant”), TFMoran, Inc. an Application of a Conservation Overlay district Conditional Use Permit for the proposed development located at 1 Highlander Way in Londonderry. The proposed project is located on Map 28 Lots 10-0 and 10-4. The undeveloped northern portion of parcel of 10-0 is being leased from Manchester-Boston Regional Airport (MHT) by the applicant. The southern portion of Lot 10-0 contains MHT Parking Lot F (to remain). This proposed project will convert undeveloped portions of Lot 10-0 into 21 Pickleball courts, associated parking, and a social area. The parcel of 10-4 contains four tennis courts, associated gravel walkway, and grassed area, and a 875 SF tennis equipment shed with rest rooms (to remain). The Applicant is proposing to construct a building where 2 of the existing tennis courts are located, with associated drainage improvements. These areas will be serviced by a shared driveway off Highlander Way. This proposed development is an amenity to the existing Executive Health and Sports club located at 1 Highlander Way.

An existing wetland area with associated stream is located on site. This stream and area enters the site from the North, travels approximately halfway through the lot, and enters a 24” culvert which outlets to the abutting lot of 28-10-0.

The project does not propose any wetland impacts. The project will impact wetland buffer zone areas, including construction of a building and walkway within the buffer zone of the wetland area. This construction will be no closer than the preexisting disturbed areas. Additionally, stormwater management practices will be constructed within the buffer zone. These stormwater practices are designed to control volume and attenuate stormwater flows to be less than preexisting conditions.

TFMoran, Inc.
48 Constitution Drive, Bedford, NH 03110
T(603) 472-4488 | www.tfmoran.com

TFMoran, Inc. Seacoast Division
170 Commerce Way–Suite 102 Portsmouth, NH 03801
T(603) 431-2222 | www.tfmoran.com

The proposed project meets the conditional use permit criteria in accordance with Section 2.6.3 of the Zoning Ordinance as follows:

1. The proposed construction is essential to the productive use of the land not within the CO District.

The proposed building will be constructed on top of the preexisting disturbed areas and the proposed stormwater management areas are to be constructed downgradient of the impervious areas.

2. Design and construction materials will be such as to minimize impacts upon the wetland and will include restoration of the site consistent within the permitted use:

The proposed impervious areas will be no closer to the wetland areas than the existing conditions. All stormwater runoff from impervious areas will be caught and flows will be attenuated to be a reduction of preexisting conditions. The existing condition provides no treatment of stormwater runoff, the proposed project will be an improvement of water quality to the wetland areas.

3. There is no feasible alternative route on land controlled by the applicant that does not cross the CO District nor has less detrimental impacts upon the wetlands. Nothing in this section shall limit the applicant from exploring alternatives with abutting property owners:

The proposed impervious area will be no closer to the wetland area than existing conditions. The stormwater management areas are downgradient to impervious areas and are located in the most feasible areas for the proposed projects. There is no feasible alternative location for the proposed project and stormwater areas.

4. Economic advantage is not the sole reason for the proposed location of the construction.

The proposed location of the project is due to existing conditions, site constraints, and existing topography.

We trust this information and enclosed plans are useful in your consideration of our request and look forward to working with the Board on this project.

Sincerely,
TFMORAN INC.



Jason Hill, PE
Project Manager

Cc: Client
File
Enclosures

**Application for a Conservation Overlay District Conditional Use Permit
Form A - For a Use permitted by Conditional Use Permit**

Conditional Use permit is as part of a: Site Plan Subdivision

I. General Information:

A. Name of Project: Executive Health and Sports Center Racquet Sports Development

B. Location of Project: 1 Highlander Way 28 10-4
(Street) (Map #) (Lot #)

C. Applicant:

Name: Benton Family Trust

Address: 1 Highlander Way, Londonderry NH

Phone: (603)-668-4753

Fax: _____

Signature: 

II. Required Information:

- Plans showing existing and proposed conditions.
- Wetland delineation certified by a Certified Wetlands Scientist and mapped by a licensed land surveyor.
- Areas on plans highlighted to show areas where conditional use permit is sought
- Narrative description of project and conditional use permit request.
- Criteria for conditional use permit described (see below).

III. Optional Information:

- Aerial Photographs
- Site Photographs

IV. Conditional Use Permit Criteria

Address, in the provided boxes, the following criteria in accordance with Section 2.6.3 of the Zoning Ordinance:

1. The proposed construction is essential to the productive use of land not within the CO District.

See Narrative

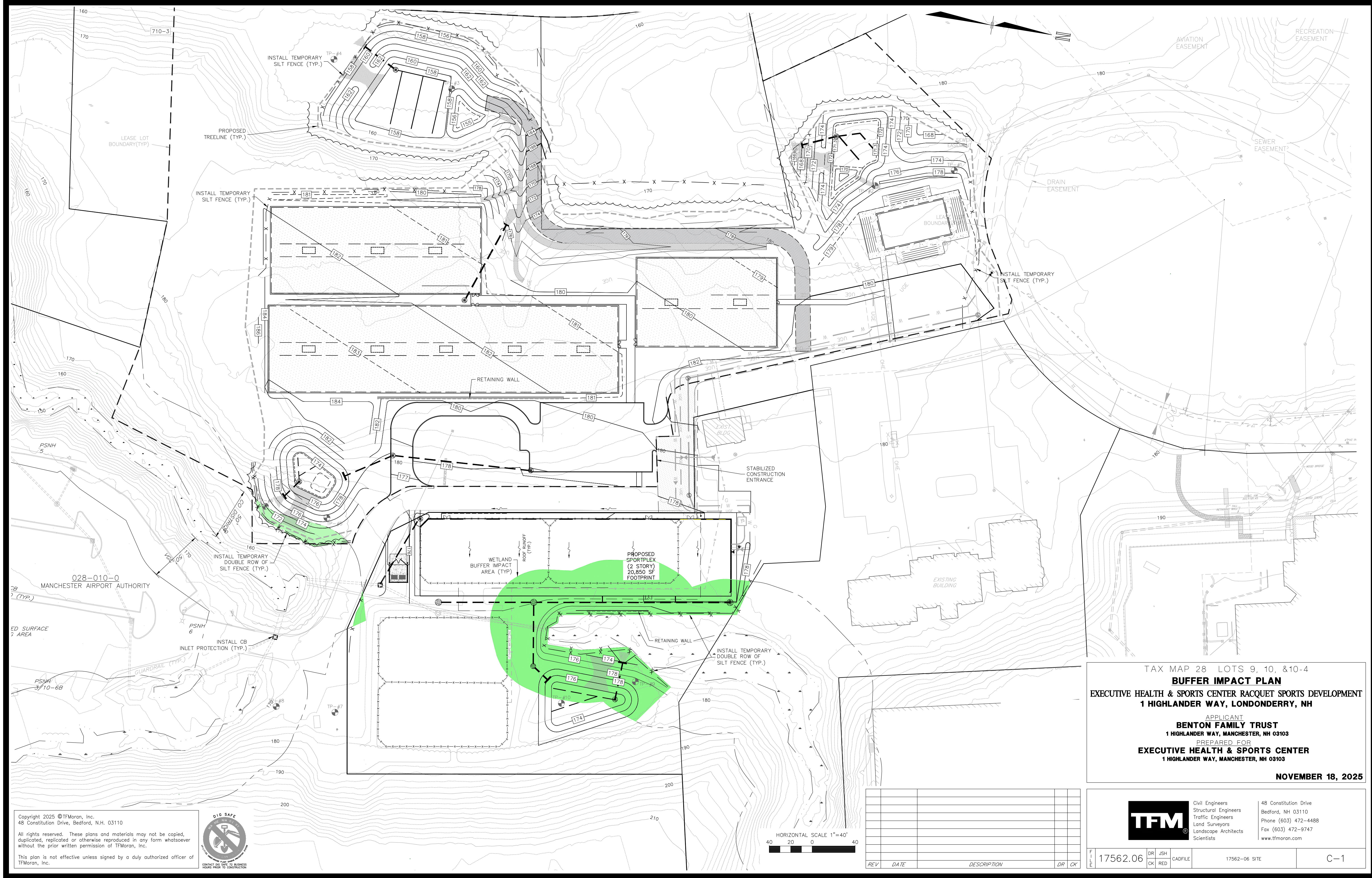
2. Design and construction materials will be such as to minimize impact upon the wetlands and will include restoration of the site consistent with the permitted use.

3. There is no feasible alternative route on land controlled by the applicant that does not cross the CO District nor has less detrimental impact upon the wetlands. Nothing in this section shall limit the applicant from exploring alternatives with abutting property owners:

4. Economic advantage is not the sole reason for the proposed location of the construction:

5. Square Footage of Wetland Impacts: _____

6. Square footage of Buffer Impacts: _____



TAX MAP 28 LOTS 9, 10, & 10-4
BUFFER IMPACT PLAN
 EXECUTIVE HEALTH & SPORTS CENTER RACQUET SPORTS DEVELOPMENT
 1 HIGHLANDER WAY, LONDONDERRY, NH
 APPLICANT
BENTON FAMILY TRUST
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 PREPARED FOR
EXECUTIVE HEALTH & SPORTS CENTER
 1 HIGHLANDER WAY, MANCHESTER, NH 03103
 NOVEMBER 18, 2025

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HORIZONTAL SCALE 1"=40'
 40 20 0 40

REV	DATE	DESCRIPTION	DR	CK

	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com	
	17562.06	DR JSH CK RED	CADFILE 17562-06 SITE

LONDONDERRY PLANNING BOARD
SITE PLAN APPLICATION & CHECKLIST

Planning Department Date Stamp

Design Review

Formal Application

All information provided and submitted with this Application Checklist shall conform to the Londonderry Site Plan Regulations. Please note that the Planning Board may not accept and consider the application complete if the required items as outlined in the checklist are missing from the submittal.

I. General Information:

Site Plan Amendment

A. Project Name: Broadway Auto Sales

B. Project Location: 6 Dickey Street

C. Primary Contact: Jason Hill, PE

Applicant Owner Engineer/Surveyor

10 109
(Map) (Lot)
Zone: C-II
Phone: (603) 472-4488
E-Mail: jhill@tfmoran.com

D. Applicant's Name: Leon & Tamara Lampes
Address: 6 Dickey Street City: Derry State: NH Zip: 03038
Phone: (603) 434-8020 Fax: _____ E-Mail: pegasus.i@comcast.net

Applicant Signature: [Signature] Date: 12/4/25

E. Owner's Name: Leon & Tamara Lampes
Address: 6 Dickey Street City: Derry State: NH Zip: 03038
Phone: (603) 434-8020 Fax: _____ E-Mail: pegasus.i@comcast.net

Owner's Signature: [Signature] Date: 12/4/25

F. Engineer/Surveyor (Firm Name): TFMoran, Inc.
Address: 48 Constitution Drive City: Bedford State: NH Zip: 03110
Phone: (603) 472-4488 Fax: _____ E-Mail: jhill@tfmoran.com

1) Name of Licensed Land Surveyor: Michael Dahlberg, LLS, RPLS, PLS

Signature: [Signature]

2) Name of Licensed Professional Engineer: Robert Duval, PE

Signature: [Signature]

3) Name of Certified Soil Scientist: Bruce Gilday, CSS

4) Name of Certified Wetland Scientist: Christopher Danforth, CWS

5) Name of Licensed Traffic Engineer: Jennifer Porter, PE

G. Lot Area (SF) 17,670 Existing Building Footprint (SF): 847 Proposed Addition (SF) 0

Change or Additional Use(s): Proposed retail car dealership

Site Plan Application Checklist

Additional Pavement (SF): 5,582 Other Modification: _____

II. General Requirements (All Applications):

	Provided	N/A
1. Executed Site Plan Application Form	<input checked="" type="checkbox"/>	
2. Complete Abutters list, 3 sets mailing labels	<input checked="" type="checkbox"/>	
3. Application Fees	<input checked="" type="checkbox"/>	
4. Four (4) sets of plans and electronic "PDF" plans (See #11)	<input checked="" type="checkbox"/>	
5. Copies of proposed easement deeds, protective covenants or other legal documents	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Waiver request(s) with justifications	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Technical reports and supporting documents (Drainage report, Traffic Study, etc.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Completed Site Plan Application Checklist	<input checked="" type="checkbox"/>	
9.. Escrow Agreement and Fees	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10.. Conditional Use Permit request(s) with justifications per Zoning	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Response Letter to DRC Review and 2 highlighted plans (Plans may substitute for 2 sets required in #4 above)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

III. General Plan Information (All Plans):

	Provided	N/A
1. Size and presentation of sheet(s) per requirements of the site plan regulations	<input checked="" type="checkbox"/>	
2. Title block information:		
a. Drawing title	<input checked="" type="checkbox"/>	
b. Name of site plan	<input checked="" type="checkbox"/>	
c. Location of site plan	<input checked="" type="checkbox"/>	
d. Tax map & lot #s of subject parcel(s)	<input checked="" type="checkbox"/>	
e. Name & address of owner(s)	<input checked="" type="checkbox"/>	
f. Date of plan	<input checked="" type="checkbox"/>	
g. Scale of plan	<input checked="" type="checkbox"/>	
h. Sheet number	<input checked="" type="checkbox"/>	
i. Name, address, & telephone number of design firm	<input checked="" type="checkbox"/>	
j. Name and address of Applicant	<input checked="" type="checkbox"/>	
3. Revision block	<input checked="" type="checkbox"/>	
4. Planning Board approval block provided on appropriate sheets (Cover sheet, site plan, landscape plan only)	<input checked="" type="checkbox"/>	
5. Certification block (for engineer, surveyor, soil scientist, or wetland scientist)	<input checked="" type="checkbox"/>	
6. Match lines (if any)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Site Plan Application Checklist

IV. Master Site Plan Sheet: (Applicant may provide separate Title Sheet)	Provided	N/A
1. The following notes shall be provided:		
a. Purpose of plan	<input checked="" type="checkbox"/>	
b. Tax map and lot #s of all subject parcels	<input checked="" type="checkbox"/>	
c. Area (existing & proposed) of subject parcel(s)	<input checked="" type="checkbox"/>	
d. Zoning designation of subject parcel(s)	<input checked="" type="checkbox"/>	
e. Min. lot area, frontages & setback dimensions	<input checked="" type="checkbox"/>	
f. Existing and proposed uses	<input checked="" type="checkbox"/>	
g. Parking calculations, as outlined in the Regulations	<input checked="" type="checkbox"/>	
h. % green area, as outlined in the Zoning Ordinance	<input checked="" type="checkbox"/>	
i. % building coverage, as outlined in the Zoning Ordinance	<input checked="" type="checkbox"/>	
j. Sanitary sewer source (name of provider company if offsite)	<input checked="" type="checkbox"/>	
k. Water supply source (name of provider company if offsite)	<input checked="" type="checkbox"/>	
l. Zoning variances/special exceptions with conditions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
m. List FEMA sheet(s) used to identify 100-year flood elevation. (Note if no flood zone present as applicable)	<input checked="" type="checkbox"/>	
n. List of required permits and permit approval numbers	<input checked="" type="checkbox"/>	<input type="checkbox"/>
o. List of Planning Board waivers and Conditional Use Permits with Regulation or Ordinance section reference (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
p. Note identifying which plans are on file at the Town	<input checked="" type="checkbox"/>	<input type="checkbox"/>
q. Note the following: "If, during construction, it becomes apparent that deficiencies exist in the approved design drawings, the Owner shall be required to correct the deficiencies to meet the requirements of the regulations at no expense to the Town."	<input checked="" type="checkbox"/>	<input type="checkbox"/>
r. Note the following: "If, during construction, it becomes apparent that additional erosion control measures are required to stop any erosion on the construction site due to actual site conditions, the Owner shall be required to install the necessary erosion protection at no expense to the Town."	<input checked="" type="checkbox"/>	<input type="checkbox"/>
s. Note the following: "All materials and methods of construction shall conform to Town of Londonderry Site Plan Regulations and the latest edition of the New Hampshire Department of Transportation's Standard Specifications for Road & Bridge Construction."	<input checked="" type="checkbox"/>	<input type="checkbox"/>
t. Note the following: "In accordance with Section 6.01 of the Londonderry Site Plan Regulations and RSA § 676:13, all improvements specified on these site plans shall be constructed, completed, and inspected and approved by the Town of Londonderry prior to the issuance of a certificate of occupancy."	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Site Plan Application Checklist

	u.	For sites requiring off-site improvements, note the following: "In accordance with Section 6.01 of the Londonderry Site Plan Regulations and RSA § 676:12, all off-site improvements specified on these site plans shall be constructed, completed, and inspected and approved by the Town of Londonderry (and/or the NHDOT, if applicable) prior to the issuance of a certificate of occupancy."	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	2.	Vicinity plan (at a scale of 1"=2500')	<input checked="" type="checkbox"/>	
	3.	Plan index indicating all sheets	<input checked="" type="checkbox"/>	<input type="checkbox"/>
V.	Existing Conditions Plan:		Provided	N/A
	1.	Surveyor's certification stamped and signed by LLS	<input checked="" type="checkbox"/>	
	2.	Boundary of entire property by metes and bounds	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	3.	Boundary monuments:		
	a.	Monuments found	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b.	Monuments to be set	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	4.	Map # and Lot #, name addresses, and zoning of all abutting land owners	<input checked="" type="checkbox"/>	
	5.	Existing streets:		
	a.	Name labeled	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b.	Status noted or labeled	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	c.	Right-of-way dimensioned	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	d.	Pavement width dimensioned	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	6.	Municipal boundaries (if any)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	7.	Existing easements (identified by type)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	8.	North arrow	<input checked="" type="checkbox"/>	
	9.	Locus map (at a scale of 1" = 2,500)	<input checked="" type="checkbox"/>	
	10.	Limits of wetlands & CO District Boundary	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	11.	Wetland delineation criteria & Certification	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	12.	SCS Soils (Boundary & Type)	<input checked="" type="checkbox"/>	
	13.	Owner(s) signature(s)	<input checked="" type="checkbox"/>	
	14.	All required setbacks (including any applicable buffers)	<input checked="" type="checkbox"/>	
	15.	Existing physical features:		
		Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>
		Wells	<input checked="" type="checkbox"/>	<input type="checkbox"/>
		Septic systems	<input checked="" type="checkbox"/>	<input type="checkbox"/>
		Stone walls	<input type="checkbox"/>	<input checked="" type="checkbox"/>
		Paved drives	<input checked="" type="checkbox"/>	<input type="checkbox"/>
		Gravel drives	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	16.	Location & name (if any) of any streams or waterbodies	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	17.	Location & elevation(s) of 100-year flood zone per FEMA Flood Insurance Study or as determined by drainage study	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	18.	Location of existing overhead utility lines, poles, towers, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	19.	Plan and deed references	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	20.	Zoning District boundary lines (if any)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Site Plan Application Checklist

VI. Improvement Plans (Grading Plan, Utility Plan, etc. and Stamped by Engineer Licensed in NH):

	Provided	N/A
1. Grading and Drainage Plan:		
a. Existing topography (two-foot contour interval minimum)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Proposed contours	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Existing spot elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Proposed spot elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Existing edge of pavement	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Proposed edge of pavement	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Existing curb line	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Proposed curb line	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i. Existing buildings and structures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j. Proposed buildings and structures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
k. Existing retaining walls	<input checked="" type="checkbox"/>	<input type="checkbox"/>
l. Proposed retaining walls	<input checked="" type="checkbox"/>	<input type="checkbox"/>
m. Existing stone walls	<input checked="" type="checkbox"/>	<input type="checkbox"/>
n. Proposed and reconstructed stone walls	<input checked="" type="checkbox"/>	<input type="checkbox"/>
o. Wetland Mapping		
1.) Wetland limits identified	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2.) Impact Area in square feet for each individual location	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.) Mitigation areas (as may be required)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
p. Existing treeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>
q. Proposed treeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>
r. Benchmarks	<input checked="" type="checkbox"/>	<input type="checkbox"/>
s. Existing drainage systems:		
1) Pipes/culverts (each location):		
i. Type	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii. Size	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iii. Length and slope	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iv. Inverts	<input type="checkbox"/>	<input checked="" type="checkbox"/>
v. End sections/Headwalls	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2) Structures (catch basins, drain manholes, special structures):		
i. Location (station and off-set)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii. Type	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iii. Size	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iv. Rim Elevations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
v. Inverts	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3) Swales/Ditches/Waterways:		
i. Flow arrows (direction of flow)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii. Topography	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii. Spot elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
t. Proposed Drainage Systems:		
1) Pipes/culverts (each location):		
i. Type	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii. Size	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii. Length and slope	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iv. Inverts	<input checked="" type="checkbox"/>	<input type="checkbox"/>
v. End sections/headwalls	<input checked="" type="checkbox"/>	<input type="checkbox"/>
vi. Identify minimum cover and location	<input checked="" type="checkbox"/>	<input type="checkbox"/>
vii. Outlet erosion protection	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Site Plan Application Checklist

		Provided	N/A
2)	Structures (catchbasins, drain manholes, special structures):		
	i. Location (sta. and off-set)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	ii. Type	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	iii. Size	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	iv. Rim elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	v. Inverts	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3)	Swales/ditches/waterways:		
	i. Flow arrows (direction of flow)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	ii. Grading	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	iii. Spot elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	iv. Erosion protection (riprap, matting, etc.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
u.	Temporary erosion protection during construction:		
	1) Silt fence, haybales, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	2) Matting, mulch, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
v.	Tree protection for existing areas and/or individual trees 15" in diameter or greater	<input type="checkbox"/>	<input checked="" type="checkbox"/>
w.	Plan note stating that the edge of the Conservation Overlay District and Non-Disturbance Zones shall be appropriately delineated in the field prior to construction	<input type="checkbox"/>	<input checked="" type="checkbox"/>

2. Utilities Plan:

		Provided	N/A
a.	Existing sanitary sewer system:		
	1) Pipes:		
	i. Type	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	ii. Size	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	iii. Length and slope	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	2) Structures:		
	i. Location (sta. and off-set)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	ii. Type	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	iii. Size	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	iv. Rim elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	v. Inverts	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b.	Proposed sanitary sewer system:		
	1) Pipes (gravity):		
	i. Type	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	ii. Size	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	iii. Length and slope	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	iv. Separation (18" below water)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	v. Identify minimum cover and locations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	2) Force Main:		
	i. Type	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	ii. Size	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	iii. Direction of flow (flow arrows)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	iv. Bends and thrust blocking	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	v. Air relief valves and structures	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	vi. Clean-out structures	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	vii. Identify minimum cover and locations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	3) Structures:		
	i. Location (sta. and off-set)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	ii. Type	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	iii. Size	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	iv. Rim elevations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	v. Inverts	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	4) Service laterals to each individual lot:		
	i. Type	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Site Plan Application Checklist

		Provided	N/A
	ii. Size	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	iii. Length and slope	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	iv. Separation (18" below water)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	v. Minimum cover and locations identified	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	vi. Location of connection	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c.	Existing Water System:		
	1) Pipes:		
	i. Type	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	ii. Size	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	2) Hydrants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	3) Valves	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	4) Bends and thrust blocks	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	5) Tees	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d.	Proposed Water System:		
	1) Pipes:		
	i. Type	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	ii. Size	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	2) Hydrants		
	i. Locations approved by Fire Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	3) Valves	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	4) Bends and thrust blocks	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	5) Tees	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e.	Existing Gas Lines:		
	1) Pipes:		
	i. Type	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	ii. Size	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	2) Valves	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f.	Proposed Gas Lines:		
	1) Pipes:		
	i. Type	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	ii. Size	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	2) Valves	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	3) Services to each lot	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g.	Telephone/Electrical/Cable:		
	1) U-poles	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	2) Pedestals/transformers	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	3) Overhead lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	4) Underground lines	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	5) Services to each lot	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3.	Roadways: If streets are to be built as part of a site plan (e.g., for a multi-family residential site plan), then the design of such streets shall comply with Section 3.09 of the Londonderry Subdivision Regulations, please see Subdivision Application Checklist.		

VII. Landscape Plan (Section 3.09):

		Provided	N/A
1.	General Information		
a.	Native Plants as suggested by Appendix LS1	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b.	No use of Invasive materials as listed in Appendix LS2	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c.	Plant materials meet winter hardiness requirement	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Site Plan Application Checklist

		Provided	N/A
d.	Proposed materials are of proper caliper or height	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e.	Stone walls incorporated into Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f.	Existing vegetation preservation (no-cut) areas described by metes and bounds and monumented	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g.	Landscaping Calculations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h.	Plant Schedule	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i.	Landscaping Details	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j.	Tree Protection Detail	<input type="checkbox"/>	<input checked="" type="checkbox"/>
k.	Note on Plan stating No Plant Conflicts with Snow Storage Areas, Light Fixtures, Underground Utilities	<input checked="" type="checkbox"/>	<input type="checkbox"/>
l.	Note on Plan stating No Landscaping Conflicts with Sight Distance	<input checked="" type="checkbox"/>	<input type="checkbox"/>
m.	Submit a Landscape Master Sheet for Review (Landscaping, site features, snow storage, light poles, detention basin edges, grading, utilities)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2.	Parking Lot Landscaping		
a.	Interior landscaping percentage based on Section 3.11e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b.	Interior shade trees @ 1 per 15 parking spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c.	Perimeter shade trees @ 1 per 20 parking spaces OR 1 per 50 feet of perimeter with buffer required	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d.	Screening provides proper vertical opacity per Section 3.11e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
VIII.	Illumination Plan & Lighting Details (Section 3.13):	Provided	N/A
1.	Full Cut-Off Fixtures with plan note stating all lights are full cut-off fixtures as required	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2.	Shielded, downcast building/external signage lighting	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.	No direct light source at residential property lines	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.	Plan to scale with illumination levels shown in footcandles	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.	Specification (details) for all proposed lighting fixtures including photometric data, designation as IESNA "cut-off" fixtures, Color Rendering Index (CRI) of all lamps (bulbs), and other descriptive information about fixtures	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6.	Proposed mounting height of all exterior lighting fixtures	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7.	Illumination levels not to exceed 0.2 footcandles at any property line (Except at driveway intersections per Regulations)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8.	Gas Station Canopies to meet requirements of Appendix Light 2	<input type="checkbox"/>	<input checked="" type="checkbox"/>
IX.	Building Design & Renderings (Section 3.12):		
1.	Building Elevations/Renderings in compliance with Section 3.13	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2.	Signage renderings/details	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.	Large Retail Establishments - Comply with Section 3.13H	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Site Plan Application Checklist

X. Construction Detail Drawings:

Note: Construction details to conform with NHDOT Standards & Specifications for Roads & Bridges, Town of Londonderry Department of Public Works requirements, and Subdivision & Site Plan Regulations

	Provided	N/A
1. Typical cross-section of pavement	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Typical driveway apron detail	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Curbing detail	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Guardrail detail	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Sidewalk detail	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Traffic signs and pavement markings	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Typical underdrain trench detail	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Drainage structure(s):		
a. Catchbasin (including frame and grate)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Manhole (including frame and cover)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Outlet structure (detention basins)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Headwalls	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Flared end sections	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Outlet protection riprap apron	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Level spreader	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Treatment swale	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. Typical section at detention basin	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Typical pipe trench:		
a. Drainage	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Sewer	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Water	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Utilities	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Sewer structures:		
a. Manholes (including frame and cover, inverts)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Drop manholes	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Special structures (pump stations, blowoffs, etc.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Pipe manhole joint details	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Typical sewer lateral service connection detail	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Project specific sewer details (sleeves, etc.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Typical sewer notes (per NHDES & Sewer Div. requirements)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Hydrant detail	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Thrust block details	<input type="checkbox"/>	<input checked="" type="checkbox"/>
20. Valve box detail	<input type="checkbox"/>	<input checked="" type="checkbox"/>
21. Typical water connection service detail	<input type="checkbox"/>	<input checked="" type="checkbox"/>
22. Erosion control details:		
a. Haybale barriers at waterways	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Silt fence	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Stone check dam	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Stone construction entrance	<input type="checkbox"/> X	<input type="checkbox"/>
e. Inlet filter basket	<input type="checkbox"/> X	<input type="checkbox"/>
f. Haybale barrier at catchbasin	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Site Plan Application Checklist

- | | | | |
|-----|----------------------------------------------------------------------|-------------------------------------|-------------------------------------|
| 24. | Notes: | | |
| a. | General notes as required by the Department of Public Works | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b. | Construction sequence | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c. | Erosion control notes | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| d. | Turf establishment notes | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| e. | Sewer construction notes (as required by Sewer Ordinance) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. | Water system construction notes (as required by local water company) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. | Tree protection details | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

XI. Supporting Documentation:

- | | | Provided | N/A |
|-----|-----------------------------------------------------------------------------------------|-------------------------------------|-------------------------------------|
| 1. | Traffic Impact Analysis: | | |
| a. | Traffic Impact analysis as required by Section 3.14 | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. | Stormwater management report including the following: | | |
| a. | Table of contents | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b. | Narrative statement (including conclusions) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c. | Summary table comparing existing and post-development conditions | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| d. | Summary table of data for each pipe & piping system: | | |
| 1.) | Discharge | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2.) | Depth of flow | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3.) | Velocity | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| e. | Summary table of data for each swale & channel: | | |
| 1.) | Discharge | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2.) | Depth of flow | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3.) | Velocity | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| f. | Project location plan (on USGS quadrangle) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| g. | Watershed area plan for existing condition | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| h. | Watershed area plan for post-development condition | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| i. | Runoff calculations for existing & post-development conditions | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| j. | Flood routing calculations for each detention basin | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| k. | Design for water quality treatment facilities (level spreaders, treatment swales, etc.) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| l. | Riprap design calculations | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| m. | Report stamped by licensed professional engineer in NH | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. | Fiscal impact study provided (if required) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. | Off-site improvements: | | |
| a. | Design plans included in the project drawings | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. | Arrangements and agreements | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. | Easements | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. | Utility clearance letters (as applicable): | | |
| a. | Electric | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. | Telephone | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. | Cable television | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. | Gas | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. | Water | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. | Sewer | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 6. | Other project-specific information as required by the Design Review Committee (DRC) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Site Plan Application Checklist

XII. Required Project Permits (as applicable to applications):

	Provided	N/A	App Submitted
1. NHDES site-specific approval	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. NHDES wetlands permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. NHDES sewer discharge permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. NHDES water supply permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. NHDES dam permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. NHDOT driveway permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Londonderry ZBA variance(s)/special exception(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Londonderry sewer discharge permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Army Corps of Engineers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Federal Aviation Administration	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Other federal, state or local permits (if applicable) for project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

XIII. Acknowledgment and Signature:

The undersigned acknowledges he/she has read and understands all of the Town's current zoning, subdivision, site plan, and health regulations and requirements for obtaining all required local, state, and federal permits.



 (Signature of person preparing plans)

Jason Hill, PE

 (Name)

Project Manager - TFMoran, Inc.

 (Title)

12-01-2025

 (Date)

GENERAL INFORMATION

OWNER/PREPARED FOR

MAP 10 LOT 109 (LONDONDERRY)
TAMARA & HARRY LAMPES
6 DICKEY STREET
DERRY, NH 03038
BK.6561 PG.2390

RESOURCE LIST (LONDONDERRY)

PLANNING & ECONOMIC DEVELOPMENT

268B MAMMOTH ROAD
LONDONDERRY, NH 03053
603-432-1100 EXT. 129
KELLIE CARON

BUILDING & ZONING ENFORCEMENT

268B MAMMOTH ROAD
LONDONDERRY, NH 03053
603-432-1100 EXT. 161
NICK CODNER

PUBLIC WORKS

268B MAMMOTH ROAD
LONDONDERRY, NH 03053
603-432-1100 EXT. 152
DAVE WHOLLEY

ENGINEERING & ENVIRONMENTAL SERVICES

268B MAMMOTH ROAD
LONDONDERRY, NH 03053
603-432-1100 EXT. 146
JOHN TROTTER, PE

POLICE DEPARTMENT

268B MAMMOTH ROAD
LONDONDERRY, NH 03053
603-432-1118
KIM ALAN BERNARD; CHIEF

FIRE DEPARTMENT

280 MAMMOTH ROAD
LONDONDERRY, NH 03053
603-432-1124
BO BUTLER; CHIEF

RESOURCE LIST (DERRY)

PLANNING DEPARTMENT

14 MANNING ROAD
DERRY, NH 03038
603-432-6110
GEORGE SIORAS, AICP, PLANNING DIRECTOR

BUILDING & CODE ENFORCEMENT

14 MANNING ROAD
DERRY, NH 03038
603-432-6148
ROBERT MACKAY, CODE ENFORCEMENT DIR.

PUBLIC WORKS

14 MANNING ROAD
DERRY, NH 03038
603-432-6144
MIKE FOWLER, PE DIRECTOR

POLICE DEPARTMENT

1 MUNICIPAL DRIVE
DERRY, NH 03038
603-432-6119
GEORGE R FEOLE, CHIEF OF POLICE

FIRE DEPARTMENT

14 MANNING ROAD
DERRY, NH 03038
603-432-6121
JAMES RICHARDSON; CHIEF

DERRY WATER

14 MANNING STREET
DERRY, NH 03038
603-432-6147
TOM CARRIER

ABUTTERS

MAP 10 LOT 104
SYLVESTRE ERIC J. + JANEL HELEN
15 DICKEY ST
DERRY, NH 03038
BK.6011 PG.2553

MAP 10 LOT 105 (LONDONDERRY)
MAP 26 LOT 61 (DERRY)
WAYNE D. MACDONALD
11 DICKEY ST
DERRY, NH 03038
BK.4612 PG.2713

MAP 10 LOT 106 (LONDONDERRY)
MAP 26 LOT 60 (DERRY)
RICHARD W. & RICHARD E. BOULETTE
4 LINWOOD AVE
DERRY, NH 03038
BK.3061 PG.178

MAP 10 LOT 108
THOMPSON HOLDING LLC
3 MARMON DR
NASHUA, NH 03060
BK.6437 PG.524

MAP 10 LOT 110
CARRIE A. BROLLIER
14 DICKEY ST
DERRY, NH 03038
BK.6435 PG.840

MAP 10 LOT 115
TWELVE LONDONDERRY ROAD
REALTY LLC
71 MAMMOTH RD
LONDONDERRY, NH 03053
BK. 5956 PG.882

MAP 10 LOT 121
WINDHAM REALTY LLC
8 ACTION BLVD
LONDONDERRY, NH 03053
BK.6474 PG.198

CHANGE OF USE PLAN

6 DICKEY STREET, LONDONDERRY, NH

INDEX OF SHEETS

Table with 2 columns: SHEET and SHEET TITLE. Lists sheets C-1 through C-12 with their respective titles like COVER, NOTES & LEGEND, etc.

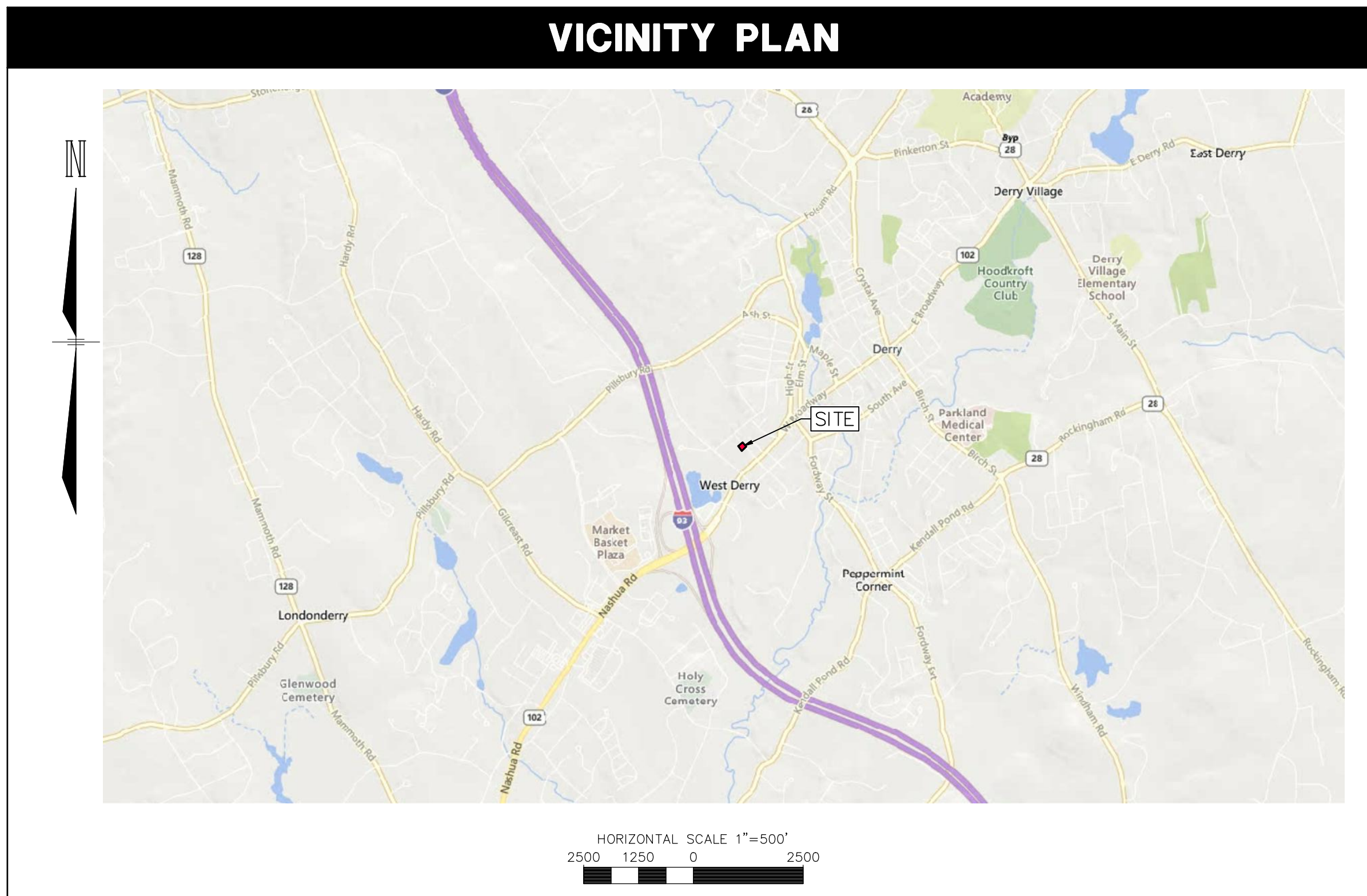
PERMITS/APPROVALS

Table with 3 columns: NUMBER, APPROVED, EXPIRES. Lists various permits like LONDONDERRY PLANNING SITE DESIGN REVIEW APPROVAL and TOWN OF LONDONDERRY STORMWATER PERMIT.

VARIANCES/WAIVERS

- List of variances and waivers requested from the town of Londonderry zoning board of adjustment on October 21, 2025. Includes items like minimum lot size, front setback, side setback, etc.

VICINITY PLAN



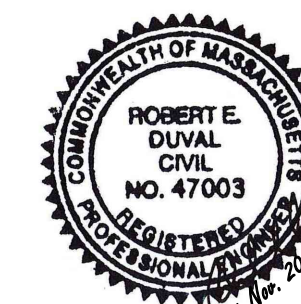
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2500 1250 0 2500

OWNER'S SIGNATURE

THE PROPERTY WILL BE DEVELOPED IN ACCORDANCE WITH THIS PLAN AND THE ORDINANCES OF THE TOWN OF LONDONDERRY, NEW HAMPSHIRE.

APPROVED BY THE TOWN OF LONDONDERRY PLANNING BOARD

ON _____ AND _____
BOARD MEMBER _____ AND _____
BOARD MEMBER _____



TAX MAP 10 LOT 109
COVER SHEET
BROADWAY AUTO SALES
6 DICKEY STREET, LONDONDERRY, NH

OWNED BY/PREPARED FOR
LEON & TAMARA LAMPES
6 DICKEY STREET, DERRY, NH 03038

NOVEMBER 6, 2025



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com

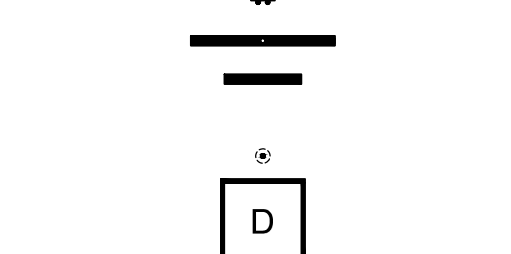
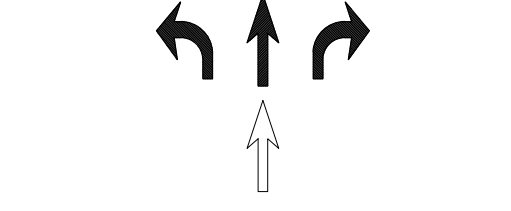
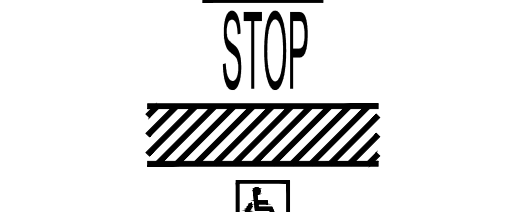
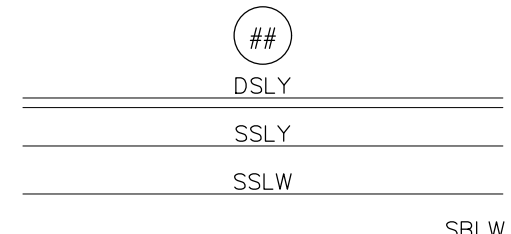
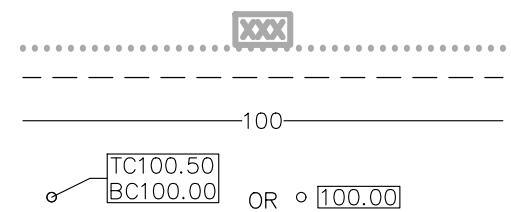
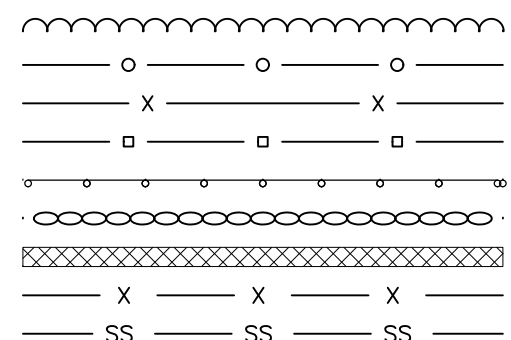
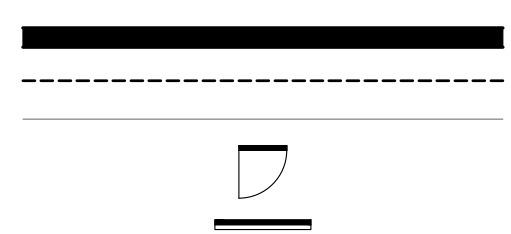
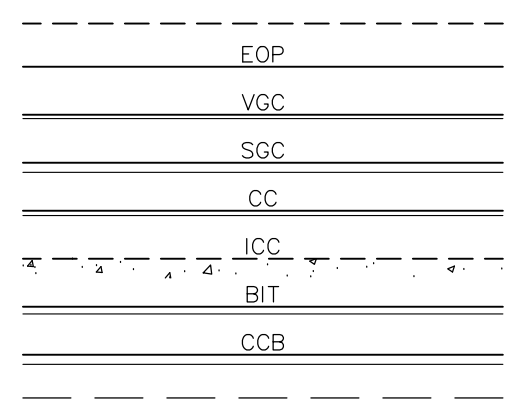
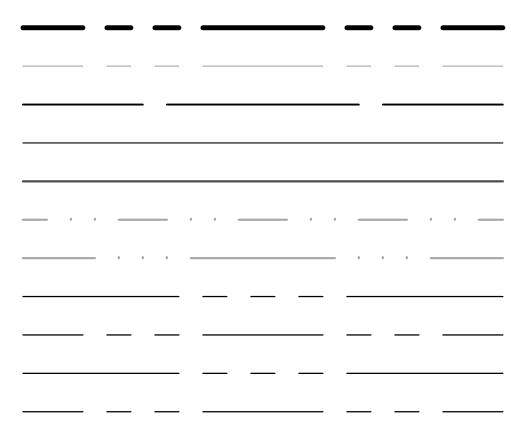
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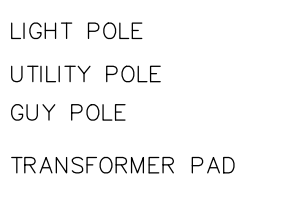
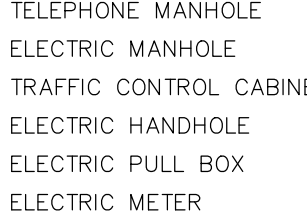
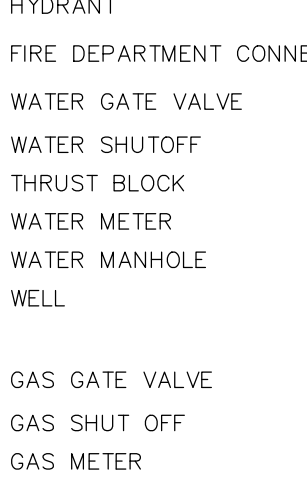
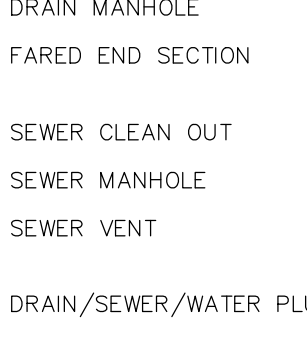
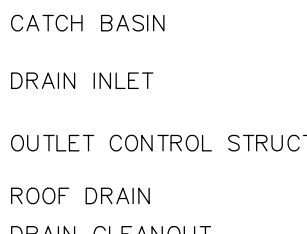
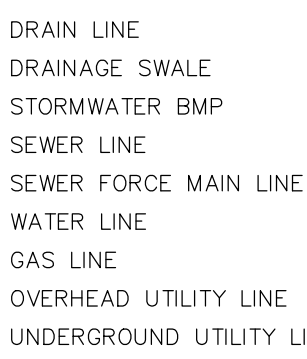
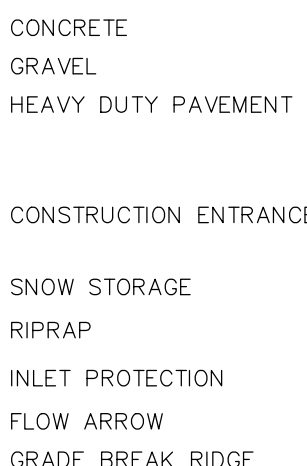
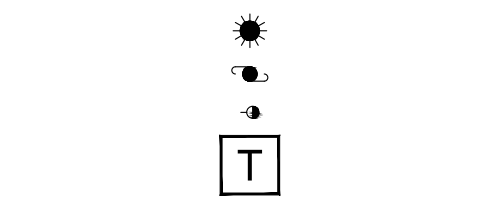
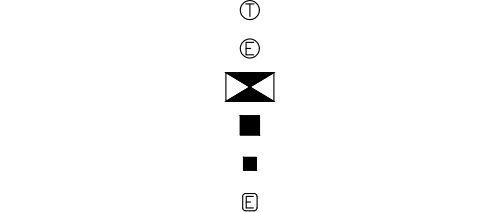
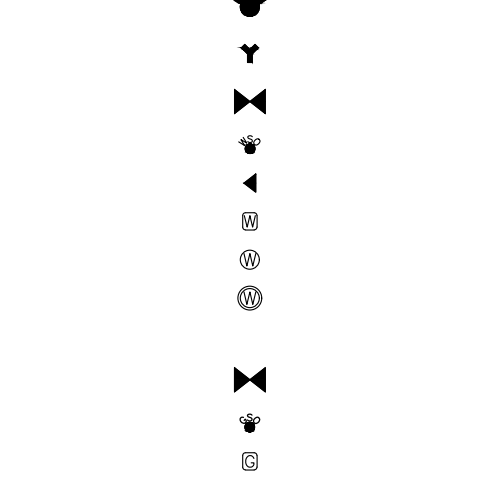
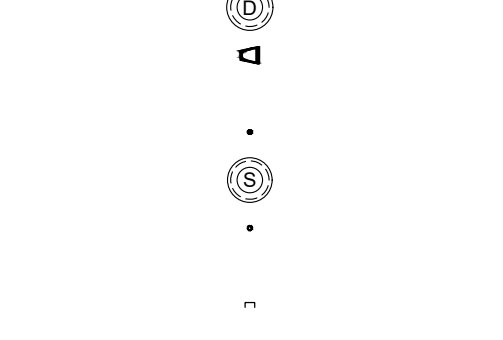
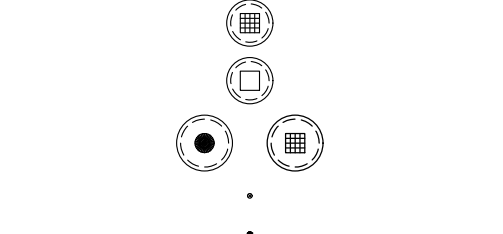
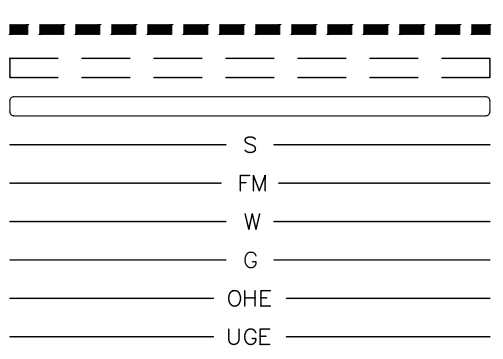
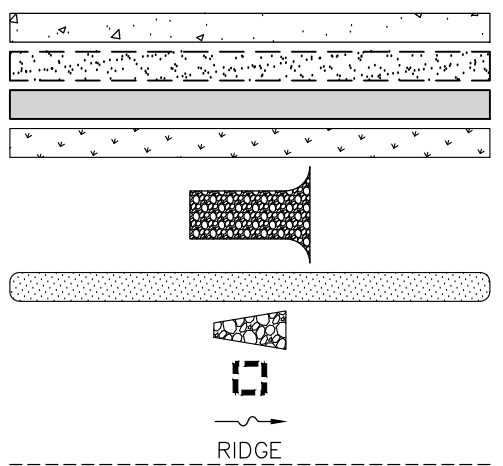
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LEGEND

PROPOSED



PROPOSED



GENERAL NOTES

- 1. THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.
2. THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER...
3. ALL IMPROVEMENTS SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER...
4. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF LONDONDERRY...
5. THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH APPLICABLE SECTIONS OF ENR-V-1500...
6. SEE EXISTING CONDITIONS PLAN FOR THE HORIZONTAL AND VERTICAL DATUM.
7. SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION...
8. CONTACT EASEMENT OWNERS PRIOR TO COMMENCING ANY WORK WITHIN THE EASEMENTS.
9. PRIOR TO COMMENCING ANY SITE WORK, ALL LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD.
10. SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS...
11. TF Moran, Inc. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION...
12. ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS...
13. IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS...
14. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS...
15. CONTRACTOR'S GENERAL RESPONSIBILITIES:

GRADING & DRAINAGE NOTES

- 1. THE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENR-V-1500 AS APPLICABLE.
2. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN eNOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE...
4. LIMITS OF WORK ARE SHOWN AS APPROXIMATE...
5. THE CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS...
6. THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE...
7. ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED...
8. ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8"...
9. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS...
10. STORMWATER DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS...
11. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
12. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS...
13. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER, AND MULCH.
14. DENSITY REQUIREMENTS: MINIMUM DENSITY* LOCATION

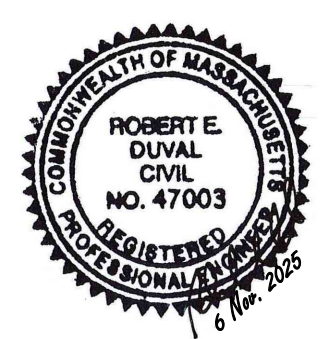
UTILITY NOTES

- 1. ALL PROPOSED UTILITY WORK, INCLUDING MATERIAL, INSTALLATION, TERMINATION, EXCAVATION, BEDDING, BACKFILL, COMPACTION, TESTING, CONNECTIONS, AND CONSTRUCTION SHALL BE COORDINATED WITH AND COMPLETED IN ACCORDANCE WITH THE APPROPRIATE REQUIREMENTS, CODES, AND STANDARDS OF ALL CORRESPONDING UTILITY ENTITIES...
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES...
3. COORDINATE ALL WORK ADJACENT TO PROPOSED BUILDINGS WITH ARCHITECTURAL BUILDING DRAWINGS...
4. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES...
5. THE EXACT LOCATION OF NEW UTILITY CONNECTIONS SHALL BE DETERMINED BY THE CONTRACTOR...
6. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS...
7. ALL UTILITY COMPANIES REQUIRE INDIVIDUAL CONDUITS...
8. THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL INSPECTIONS, TESTING, AND RELATED SERVICES...
9. PROVIDE PERMANENT PAVEMENT REPAIR FOR ALL UTILITY TRENCHES...
10. UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL...
11. THE PROPERTY WILL BE SERVICED BY THE FOLLOWING: DRAINAGE PRIVATE, SEWER PRIVATE SEPTIC, WATER DERRY, GAS LIBERTY UTILITIES, ELECTRIC EVERSOURCE, TELEPHONE CONSOLIDATED COMMUNICATION, CABLE COMCAST XFINITY

ABBREVIATIONS

Table with columns for GENERAL and UTILITIES abbreviations. Includes terms like ABAN (ABANDON), AC (ACRES), ADJ (ADJUST), APPROX (APPROXIMATE), BC (BOTTOM OF CURB), BIT (BITUMINOUS), BK/PG (BOOK & PAGE), BLDG (BUILDING), BMP (BEST MANAGEMENT PRACTICE), BS (BOTTOM OF SLOPE), BW (BOTTOM OF WALL), CONC (CONCRETE), COORD (COORDINATE), DIA (DIAMETER), ELEV (ELEVATION), EP (EDGE OF PAVEMENT), EXIST (EXISTING), FFE (FINISHED FLOOR ELEVATION), FND (FOUNDATION), HP (HIGH POINT), INV (INVERT ELEVATION), IT (INFILTRATION TEST), L (LENGTH), LF (LINEAR FEET), LSA (LANDSCAPE AREA), MAX (MAXIMUM), MIN (MINIMUM), N/F (NOW OR FORMERLY), NHFG (NEW HAMPSHIRE FISH & GAME), NTS (NOT TO SCALE), OC (ON CENTER), PAVE (PAVEMENT), PERF (PERFORATED), PROP (PROPOSED), R (RADIUS), R&D (REMOVE AND DISPOSE), R&R (REMOVE AND RESET), RET (RETAIN), RIM (RIM ELEVATION), ROW (RIGHT OF WAY), S (SLOPE), SF (SQUARE FEET), SIDEWALK, TBM (TEMPORARY BENCHMARK), TC (TOP OF CURB), TP (TEST PIT), TW (TOP OF WALL), TYP (TYPICAL), UG (UNDERGROUND), WCR (ACCESSIBLE WHEELCHAIR RAMP), W/ (WITH), CB (CATCH BASIN), CIP (CAST IRON PIPE), CMP (CORRUGATED METAL PIPE), CO (CLEANOUT), CONDUIT, DCB (DOUBLE CATCH BASIN), DIP (DUCTILE IRON PIPE), DMH (DRAIN MANHOLE), F&C (FRAME AND COVER), F&G (FRAME AND GRATE), FES (FLARED END SECTION), GT (GREASE TRAP), HDPE (HIGH DENSITY POLYETHYLENE PIPE), HH (HANDHOLE), HW (HEADWALL), HYD (HYDRANT), LP (LIGHT POLE), OCS (OUTLET CONTROL STRUCTURE), OMH (OVERHEAD MANHOLE), PVC (POLYVINYL CHLORIDE PIPE), RCP (REINFORCED CONCRETE PIPE), RD (ROOF DRAIN), SMH (SEWER MANHOLE), SOS (SEDIMENT OIL SEPARATOR), TSV (TAPPING SLEEVE, VALVE, AND BOX), UP (UTILITY POLE).

TAX MAP 10 LOT 109
NOTES & LEGEND
BROADWAY AUTO SALES
6 DICKEY STREET, LONDONDERRY, NH
OWNED BY/PREPARED FOR
LEON & TAMARA LAMPES
6 DICKEY STREET, DERRY, NH 03038
NOVEMBER 6, 2025



TFM logo and contact information: Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists. 48 Constitution Drive, Bedford, NH 03110, Phone (603) 472-4488, Fax (603) 472-9747, www.tfmoran.com

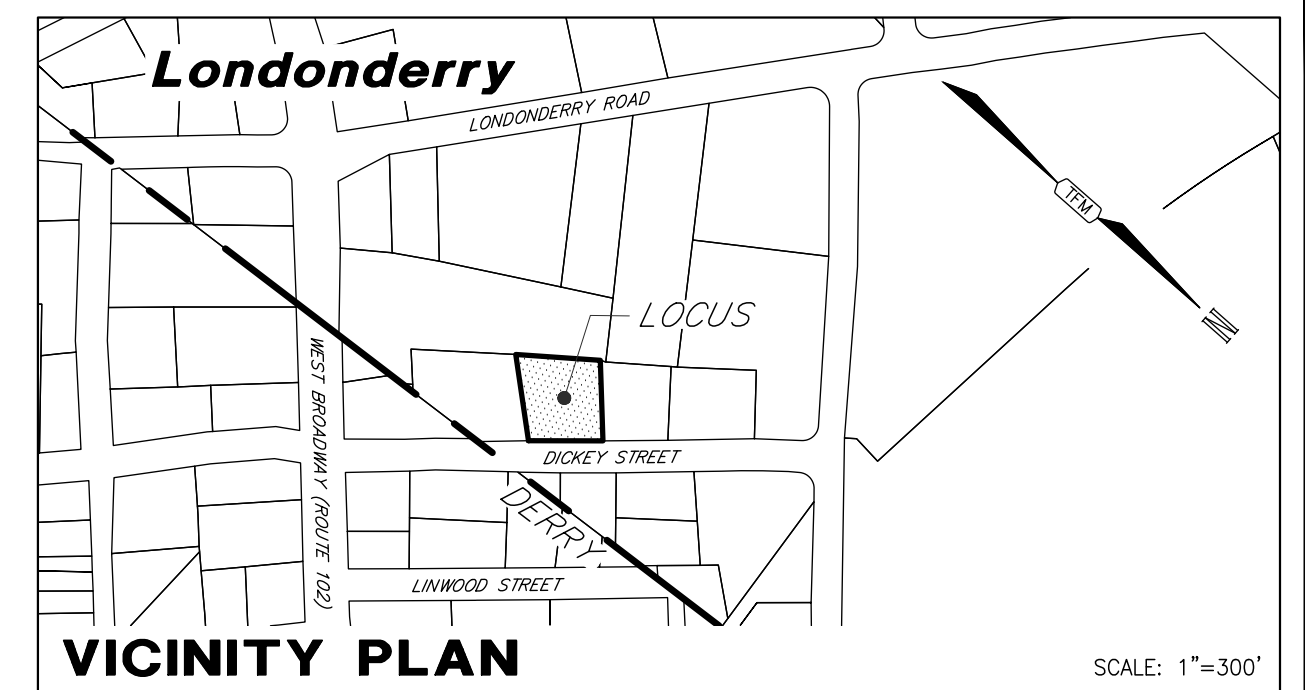
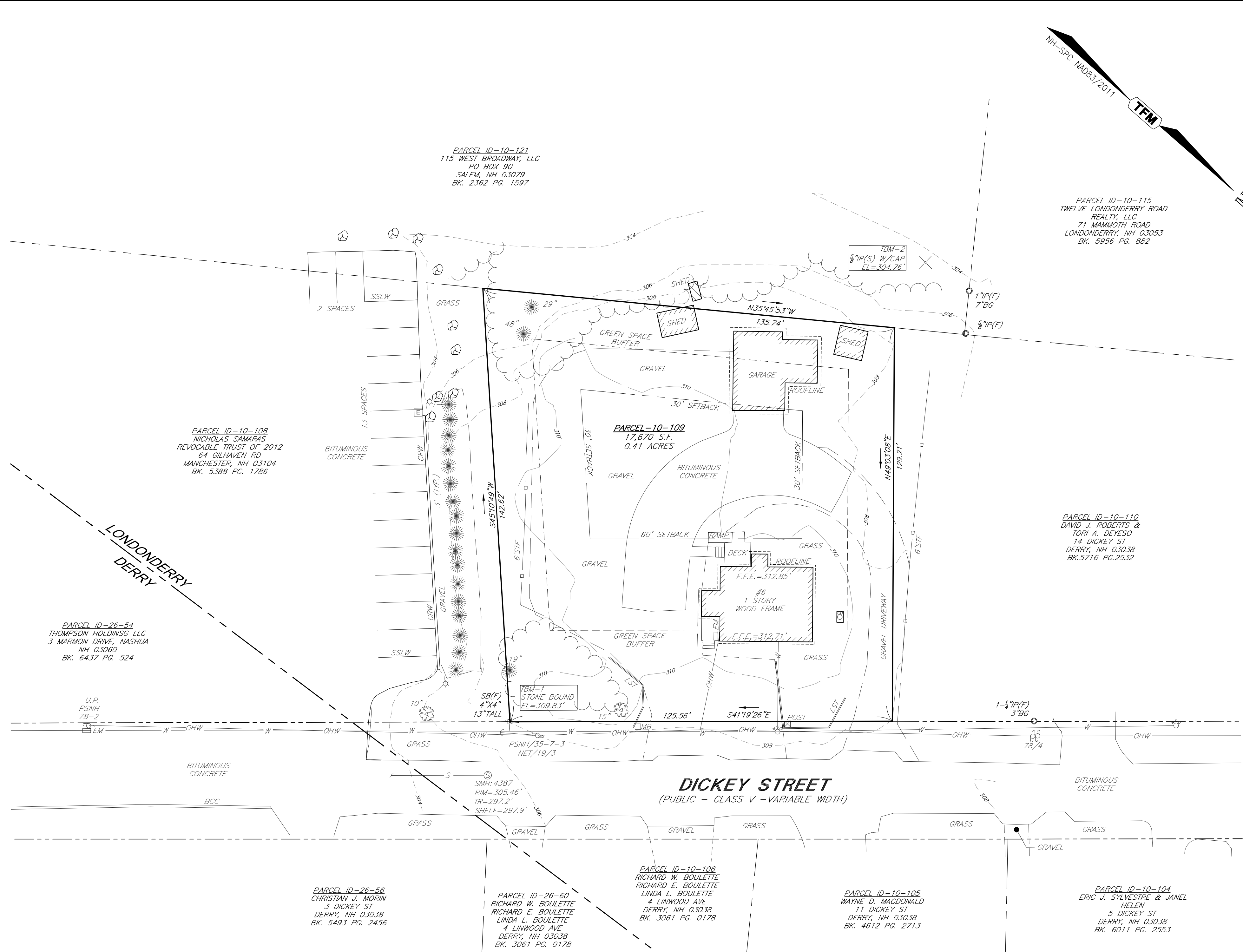
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LEGEND

- SEWER MANHOLE
- WATER SHUT OFF
- GAS SHUT OFF
- GUY WIRE
- LIGHT POLE
- IRRIGATION CONTROL VALVE
- UTILITY POLE
- MAIL BOX
- ELECTRIC METER
- TRANSFORMER PAD
- BOULDER
- DECIDUOUS TREE
- CONIFEROUS TREE
- IRON PIPE/ROD
- STONE/CONCRETE BOUND
- CLEAN OUT
- TEMPORARY BENCHMARK
- BELOW GRADE
- INVERT
- IRON PIPE
- IRON ROD
- RIM ELEVATION
- SET
- SQUARE FEET
- STONE BOUND
- STOCKADE FENCE
- TEMPORARY BENCHMARK
- TROUGH
- LANDSCAPE TIMBER
- TOP OF SEWER TROUGH
- TYPICAL
- SINGLE SOLID WHITE LINE
- ABOVE GRADE
- BITUMINOUS CONCRETE CURB
- CONCRETE RETAINING WALL
- DRILL HOLE
- ELEVATION
- FINISHED FLOOR ELEVATION
- FOUND
- SEWER LINE
- WATER LINE
- OVERHEAD UTILITIES
- CONTINUES TO UNKNOWN TERMINUS
- WOOD FENCE
- TREELINE

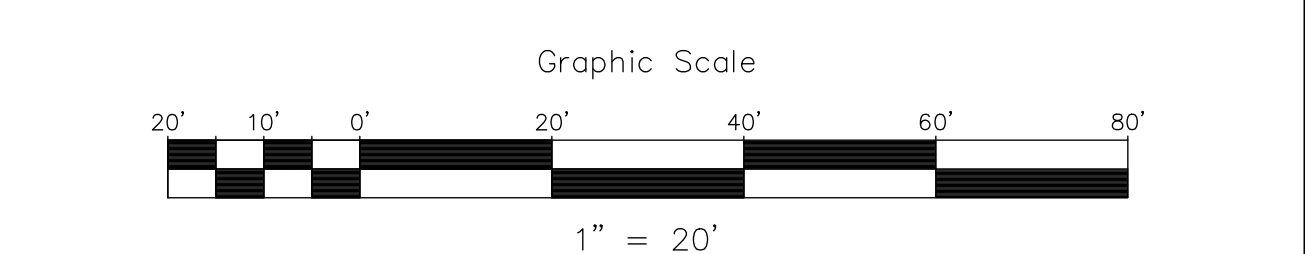


NOTES

- OWNER OF RECORD: LEON H. LAMPES, TAMARA A. LAMPES & HARRY L. LAMPES
6 DICKEY STREET, DERRY, NEW HAMPSHIRE 03038
DEED REFERENCE: BK. 6561, PG. 2390
AREA: 17,670 S.F. OR 0.41 ACRES
- 10-109 INDICATES TAX MAP AND LOT NUMBER.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS PRESENT AT TAX MAP 10, LOT 109, LOCATED AT THE SOUTHWESTERLY SIDE OF DICKEY STREET IN LONDONDERRY, NEW HAMPSHIRE AS SHOWN HEREON AND NO OTHER PURPOSE.
- CURRENT ZONING IS COMMERCIAL-II "C-II"
MINIMUM LOT SIZE: 1 ACRE
MINIMUM LOT FRONTAGE: 150 FEET
MINIMUM WIDTH: N/A
MINIMUM FRONT BUILDING SETBACKS: 60 FEET
MINIMUM SIDE BUILDING SETBACKS: 30 FEET
MINIMUM REAR BUILDING SETBACKS: 30 FEET
- EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR ROCKINGHAM COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS), MAP NUMBER 330150339E, EFFECTIVE DATE MAY 17, 2025, INDICATES THAT THE SUBJECT PARCELS ARE NOT LOCATED WITHIN A FLOOD HAZARD AREA.
- HORIZONTAL DATUM: NH SPC NAD83/2011. VERTICAL DATUM: NAVD88. DATUMS WERE OBTAINED BY ON-SITE GPS OBSERVATIONS WITH SURVEY GRADE GPS UNITS.
BENCHMARKS SET:
TBM-1: 4"x4" STONE BOUND FOUND AT THE EASTERLY CORNER OF THE SUBJECT PARCEL, 13" TALL, AS SHOWN HEREON.
ELEVATION: 309.83'
TBM-2: 5/8" IRON ROD WITH CAP SET FLUSH TO GRADE, LOCATED AT THE WESTERLY CORNER OF THE SUBJECT PARCEL, AS SHOWN HEREON.
ELEVATION: 304.76'
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL MAY DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- THE INFORMATION SHOWN HEREON IS FROM AN ACTUAL SURVEY PERFORMED BY THIS OFFICE ON MARCH 20, 2025, MARCH 21, 2025 AND AUGUST 18, 2025.

REFERENCE PLANS

- R.C.R.D. PLAN NO. 186 ENTITLED "PLAN OF SUNNYSIDE PARK DERRY, NH" DATED JUNE 1, 1908.
- R.C.R.D. PLAN NO. C-3352 ENTITLED "PLAT OF LAND IN DERRY, NH FOR W. DEREMER, OAK STREET, DERRY, NH" DATED OCTOBER 6, 1972.
- R.C.R.D. PLAN NO. D-20891 ENTITLED "PLAN OF LAND LOCATED IN DERRY & LONDONDERRY, NH" DATED JANUARY 13, 1991.



TAX MAP 10 LOT 109

EXISTING CONDITIONS PLAN

LAMPES PROPERTY

6 DICKEY STREET

LONDONDERRY, NEW HAMPSHIRE

OWNED BY & PREPARED FOR:

LEON & TAMARA LAMPES

SCALE: 1" = 20' SEPTEMBER 5, 2025

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION "IT'S THE LAW"

811 Dig Safe
MA • ME • NH • RI • VT

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REV.	DATE	DESCRIPTION	DR.	CHK.

WETLAND SCIENTIST CERTIFICATION

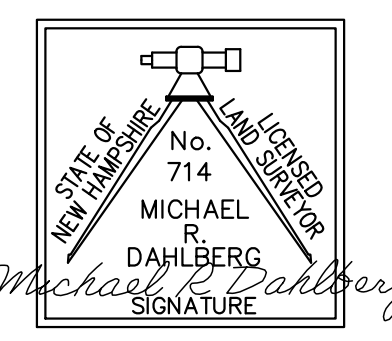
ON AUGUST 27, 2025, I CONDUCTED AN ONSITE REVIEW OF THE PROPERTY LOCATED AT 6 DICKEY STREET IN LONDONDERRY, NH. THE PROPERTY, IDENTIFIED AS TAX MAP 10, LOT 109 IS APPROXIMATELY 0.41 ACRES AND IS CURRENTLY DEVELOPED AND USED AS AN AUTO SALES LOT. THE PURPOSE OF THE SITE VISIT WAS TO CONFIRM WHETHER JURISDICTIONAL WETLANDS, AS DEFINED IN THE US ARMY CORPS WETLANDS DELINEATION MANUAL (TECHNICAL REPORT Y-87-1) AND THE REGIONAL SUPPLEMENT, NORTH CENTRAL AND NORTHEAST REGION, VER. 2.0), BASED ON THIS CRITERIA AND REFERENCES TO JURISDICTIONAL AREAS PROMULGATED IN THE NH DEPARTMENT OF ENVIRONMENTAL SERVICES, WETLANDS BUREAU RULES (ENV-WT 406) IT WAS DETERMINED THAT THERE ARE NO JURISDICTIONAL AREAS WITHIN OR ADJACENT TO THIS PROPERTY. CHRISTOPHER K. DANFORTH, NH GWS #0077

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY AND PLAT WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000).

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. (RSA 676:18-III)

Michael R. Dahlberg 11-06-2025
LICENSED LAND SURVEYOR DATE

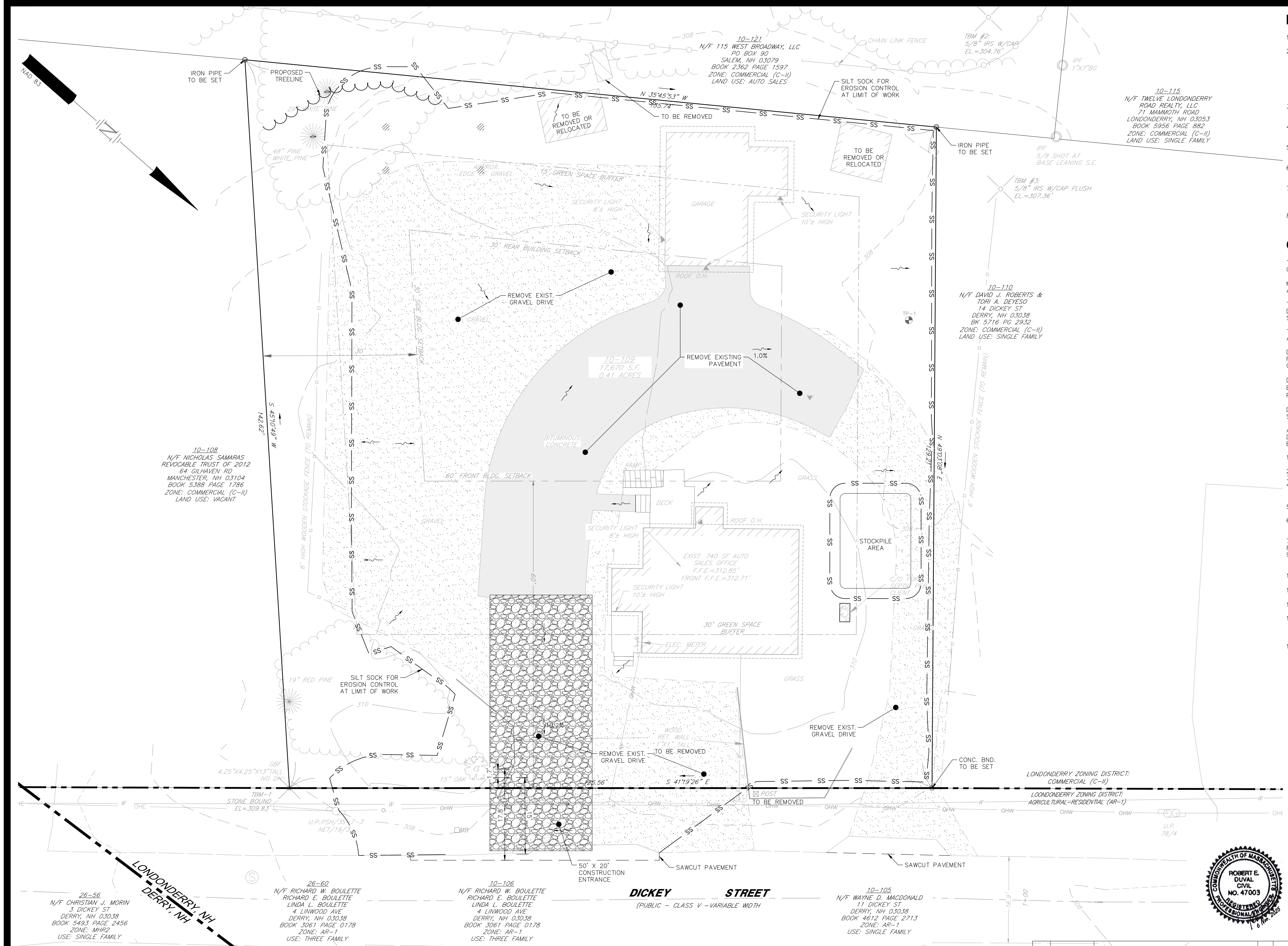


TFMORAN

Civil Engineers 48 Constitution Drive
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Landscape Architects www.tfmoran.com
Scientists

18301.00	DR	LR	FB	2047-54
	CK	MRD	CADFILE	18301-00 Survey

SHEET 1 OF 1



- ### NOTES
- SEE NOTES ON SHEET C-02.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATIONS, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY DEMOLITION. THE LOCATIONS SHOWN ON THESE PLANS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DEMOLITION TO DETERMINE APPROPRIATE ACTION TO BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
 - THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
 - EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
 - CONSTRUCTION DEBRIS AND INVASIVE SPECIES SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
 - PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL PLACE ORANGE CONSTRUCTION FENCING AROUND EACH TREE TO BE RETAINED THROUGHOUT CONSTRUCTION. NO STOCKPILES OF MATERIAL ARE PERMITTED WITHIN THE DRIP LINE OF THE TREES TO BE SAVED.
 - CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY IF ANY TREES ARE DAMAGED DURING CONSTRUCTION.

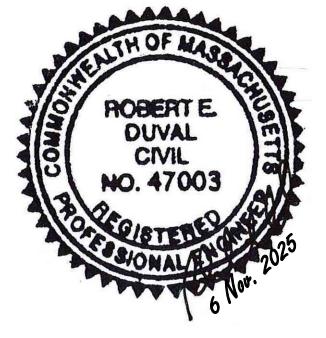
- ### CONSTRUCTION SEQUENCE NOTES
- TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE.
- MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.
- THE CONTRACTOR SHALL SCHEDULE WORK SUCH THAT ANY CONSTRUCTION AREA IS STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE EXCEPT AS NOTED BELOW. NO MORE THAN 5 ACRES OF DISTURBED LAND SHALL BE UNSTABILIZED AT ANY ONE TIME.
- THE PROJECT SHALL BE MANAGED SO THAT IT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARG 3800 RELATIVE TO INVASIVE SPECIES.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE OF INFILTRATION SYSTEMS WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO STORMWATER BMP'S. STORMWATER RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMP'S ARE STABILIZED.
- DO NOT PLACE STORMWATER BMP'S INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- AFTER THE INFILTRATION SYSTEM IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE THE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.

- INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- STORMWATER TREATMENT PONDS AND SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
- DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MANAGE SURFACE RUNOFF QUALITY.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED. (TEMPORARY SEED MIXTURE OF WINTER RYE APPLIED AT A RATE OF 2.5 LBS/1000 SF SHALL BE USED).
- CONDUCT MAJOR EARTHWORK, INCLUDING CLEARING AND GRUBBING, WITHIN THE LIMITS OF WORK. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
- ALL STRIPPED TOPSOIL AND OTHER EARTH MATERIALS SHALL BE STOCKPILED OUTSIDE THE IMMEDIATE WORK AND WETLAND AREAS. A SILT BARRIER SHALL BE CONSTRUCTED AROUND THESE PILES IN A MANNER TO PROVIDE ACCESS AND AVOID SEDIMENT OUTSIDE OF THE WORK AREA.
- CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.
- BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH.
- PERFORM EARTHWORK NECESSARY TO ESTABLISH ROUGH GRADING AROUND PARKING FIELDS AND ACCESS DRIVES. MANAGE EXPOSED SOIL SURFACES TO AVOID TRANSPORTING SEDIMENTS. PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- INSTALL SUBSURFACE UTILITIES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, DRAINAGE, DRAINAGE FACILITIES, ETC.).
- COMPLETE SEEDING AND MULCHING. SEED TO BE APPLIED WITH BROADCAST SPREADER OR BY HYDRO-SEEDING, THEN ROLLED, RAKED, OR DRAGGED TO ASSURE SEED/SOIL CONTACT.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE BECOME FIRMLY ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE.
- DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, INCLUDING CATCH BASINS, AND SUMPS, DRAIN PIPES AND DITCHES, CURB LINES, ALONG SILT BARRIERS, ETC. RESULTING FROM SOIL AND/OR CONSTRUCTION OPERATIONS.
- SEE WINTER CONSTRUCTION SEQUENCE FOR WORK CONDUCTED AFTER OCTOBER 15TH.

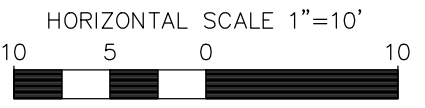
TAX MAP 10 LOT 109
SITE PREPARATION AND DEMOLITION PLAN
BROADWAY AUTO SALES
6 DICKEY STREET, LONDONDERRY, NH

OWNED BY/PREPARED FOR
LEON & TAMARA LAMPES
 6 DICKEY STREET, DERRY, NH 03038

NOVEMBER 6, 2025

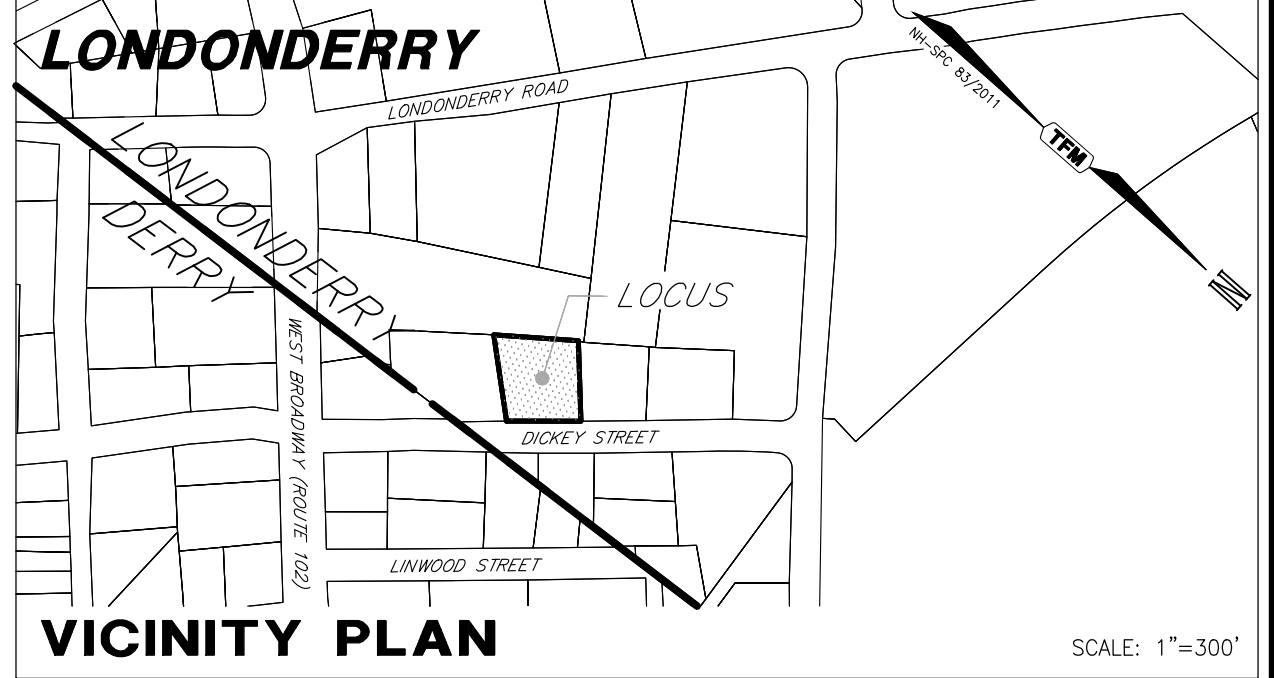


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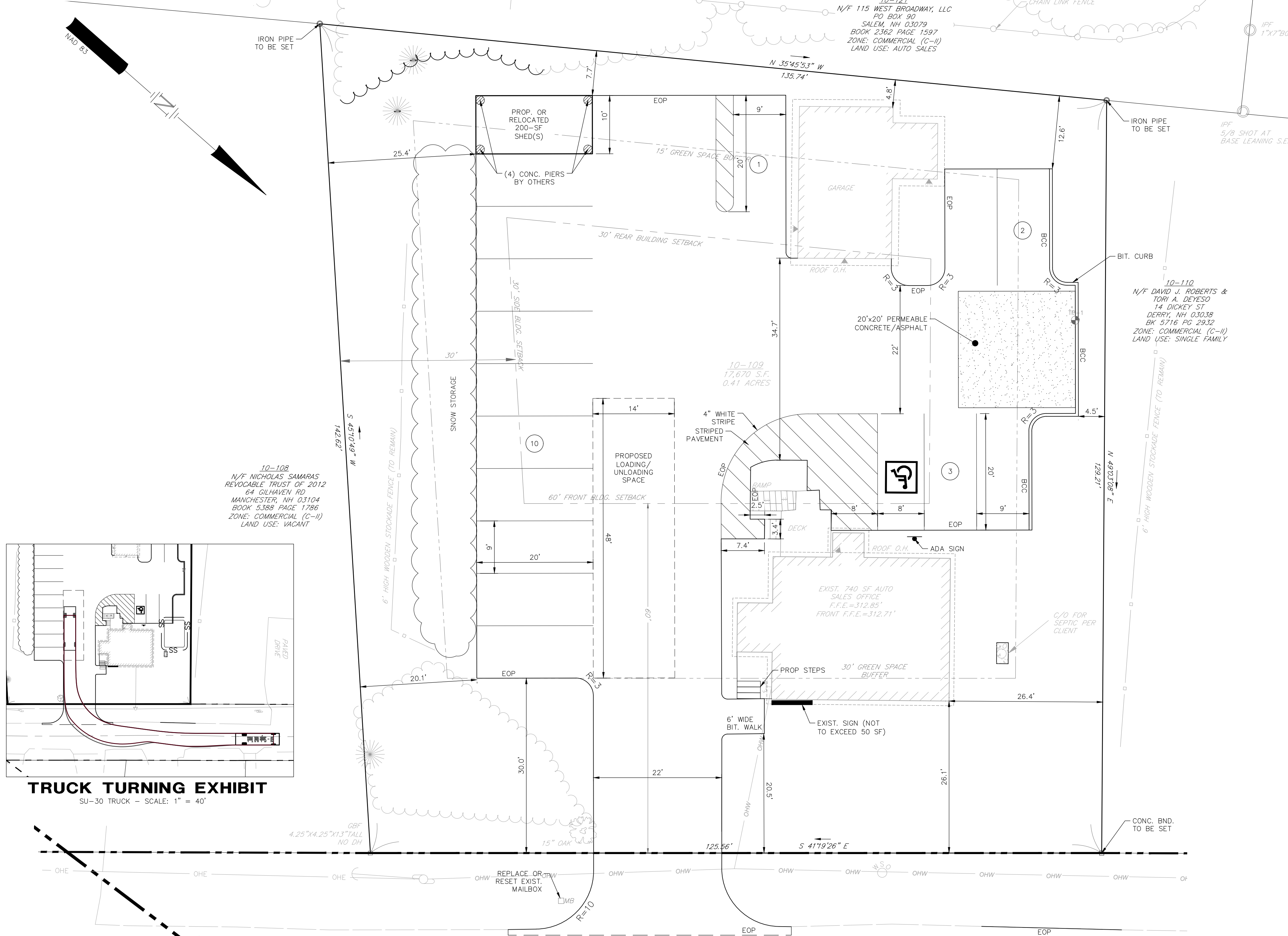
	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com	
	18301.00	DR - CK -	CADFILE 18301-00 DESIGN_LAYOUT



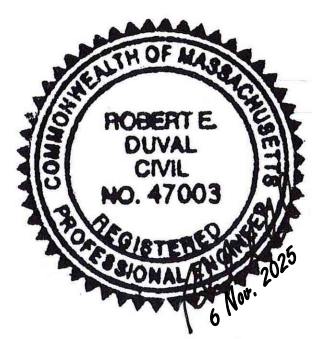
NOTES

- OWNER OF RECORD: LEON H. LAMPES & TAMARA A. LAMPES C/O HARRY L. LAMPES
36 LAWRENCE ROAD
DEED REFERENCE: BK. 6561 PG. 2392
AREA: 17,670 S.F.± OR 0.406 ACRES±
- 10-109 INDICATES TAX MAP AND LOT NUMBER.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE IMPROVEMENTS ON TAX MAP 10, LOT 109, LOCATED AT 6 DICKEY STREET, DERRY NH 03038 AS SHOWN HEREON AND FOR NO OTHER PURPOSE.
- CURRENT ZONING IS COMMERCIAL II ZONING DISTRICT.

	REQUIRED	PROVIDED
MIN. LOT SIZE:	1 ACRE	0.406 ACRES
MIN. LOT FRONTAGE:	150'	125.56'
MIN. BUILDING SETBACKS:		
FRONT	60'	26.1'
SIDE	30'	26.4'
REAR	30'	4.8'
MIN. BUILDING HEIGHT:	50'	24'±
MAX. BUILDING COVERAGE (% OF LOT AREA):	25%	10%
MIN. LOT COVERAGE:	66%	52.5%
LANDSCAPE BUFFER ALONG R.O.W	30'	26.1'
LANDSCAPE BUFFER ALONG PROP. LINES	15'	4.5'
OVERALL GREEN/OPEN SPACE	33%	47.4% (6,376 SF LONDONDERRY)
- THE EXISTING BUILDING IS UTILIZED FOR WHOLESALE AUTO SALES AND IS SERVICED BY ON-SITE SEPTIC AND MUNICIPAL WATER FROM DERRY.
- NORMAL HOURS OF OPERATION WILL BE MONDAY THROUGH SATURDAY 9 AM - 5 PM BY APPOINTMENT ONLY.
- EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR ROCKINGHAM COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS), MAP NUMBER 33015C0339E, EFFECTIVE DATE MAY 17, 2025, INDICATES THAT THE SUBJECT PARCELS ARE NOT LOCATED WITHIN A FLOOD HAZARD AREA.
- HORIZONTAL DATUM: NH SPC 83/2011
VERTICAL DATUM: NAVD83
BENCHMARKS SET: AS NOTED
TBM #1: 5/8" IRON ROD WITH CAP SET FLUSH
ELEVATION: 307.36'
TBM #2: 5/8" IRON ROD WITH CAP
ELEVATION: 304.76'
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL MAY DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. T.F. MORAN INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- THE BASE INFORMATION SHOW HEREON IS FROM AN ACTUAL SURVEY PERFORMED BY THIS OFFICE ON MARCH 21, 2025.
- PARKING CALCULATIONS:
OFFICE - 3 SP./1000 S.F. = 2 SPACES
PROVIDED - 3 SP. (OFFICE INCL. 1 ACCESSIBLE) + 13 SP. (VEHICLE SALES) = 16 TOTAL SPACES
- VARIANCES AND WAIVERS ARE REQUESTED. SEE COVER SHEET.
- IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
- IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF LONDONDERRY SITE PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
- IN ACCORDANCE WITH SECTION 6.01 OF THE LONDONDERRY SITE PLAN REGULATIONS AND RSA 676:13, ALL IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, AND INSPECTED AND APPROVED BY THE TOWN OF LONDONDERRY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- IN ACCORDANCE WITH SECTION 6.01 OF THE LONDONDERRY SITE PLAN REGULATIONS AND RSA § 676:12, ALL OFF-SITE IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, INSPECTED AND APPROVED BY THE TOWN OF LONDONDERRY (AND/OR THE NHDOT, IF APPLICABLE) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THIS PROJECT MEETS THE PERFORMANCE STANDARDS NOTED IN SECTION 5.16 OF THE ZONING ORDINANCE PER ITEM II.7 OF THE CHECKLIST.
- PROPOSED BOUNDARY CORNER MONUMENTS SHALL BE SET BY A NH LICENSED SURVEYOR.



TRUCK TURNING EXHIBIT
SU-30 TRUCK - SCALE: 1" = 40'



TAX MAP 10 LOT 109
SITE LAYOUT PLAN
BROADWAY AUTO SALES
6 DICKEY STREET, LONDONDERRY, NH

OWNED BY/PREPARED FOR
LEON & TAMARA LAMPES
6 DICKEY STREET, DERRY, NH 03038

NOVEMBER 6, 2025

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OWNER'S SIGNATURE

THE PROPERTY WILL BE DEVELOPED IN ACCORDANCE WITH THIS PLAN AND THE ORDINANCES OF THE TOWN OF LONDONDERRY, NEW HAMPSHIRE.

OWNER OR AUTHORIZED AGENT

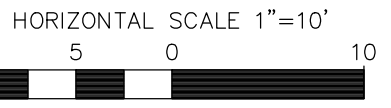
DATE

APPROVED BY THE TOWN OF LONDONDERRY PLANNING BOARD

ON _____

BOARD MEMBER _____ AND _____

BOARD MEMBER _____

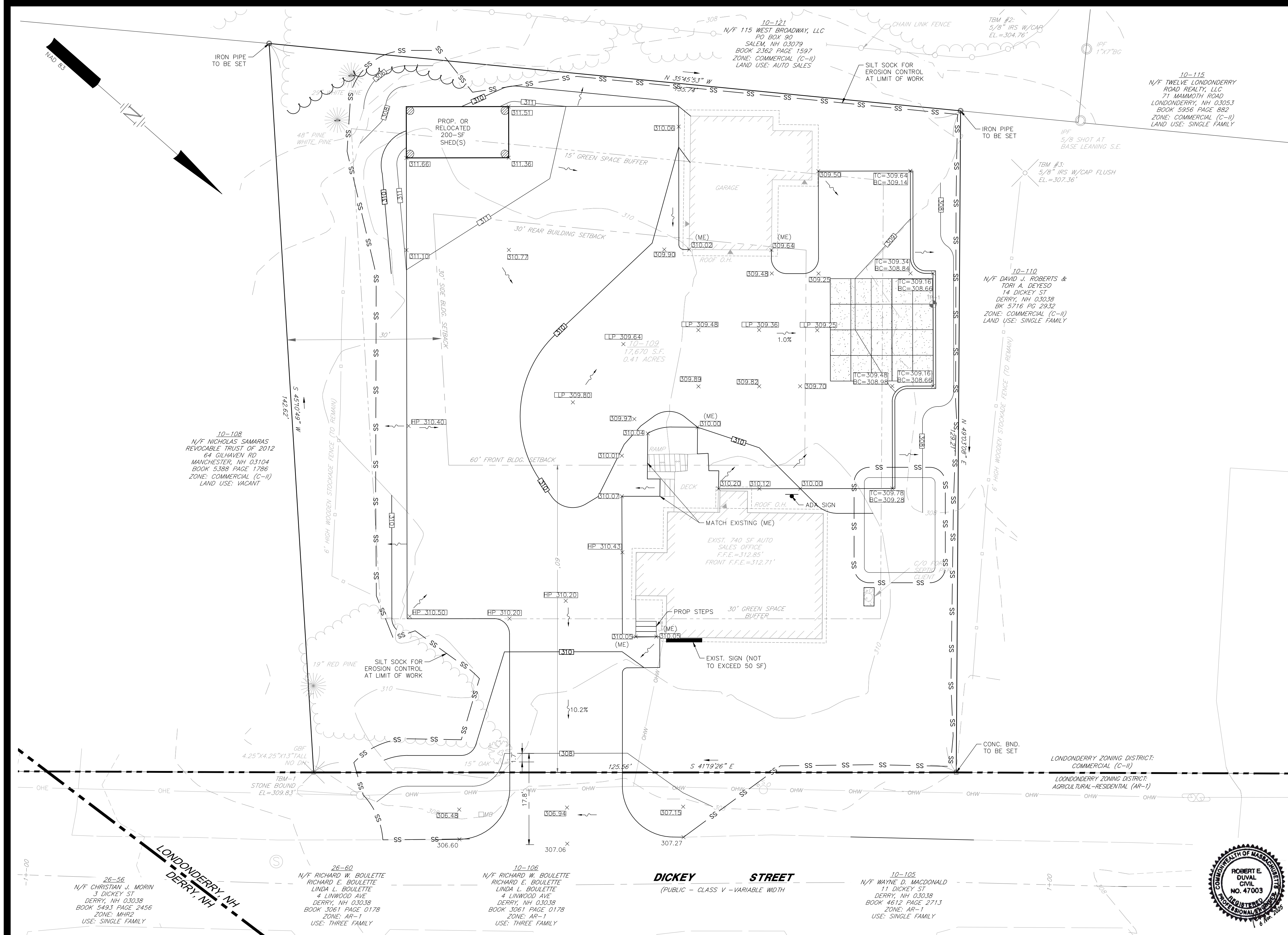


REV	DATE	DESCRIPTION	DR	CK

TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

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- ### NOTES
- SEE NOTES ON SHEET C-02.
 - PROPOSED SPOT GRADES ARE PROVIDED TO THE NEAREST 0.05. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE FINISHED GRADES MEET ADA STANDARDS FOR WHEEL CHAIR RAMPS, HANDICAP SPACES AND ACCESS AISLES, CROSSWALKS, SIDEWALKS, ETC.
 - ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.

NRCS SOILS LEGEND

799 URBAN LAND - CANTON COMPLEX, 3 TO 15 PERCENT SLOPES
 SOURCE: UNITED STATES DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE (NRCS).

TEST PIT DATA

TESTPIT #1
 DATE 08/15/2025 BY M.R.R.
 ELEV.=307.36

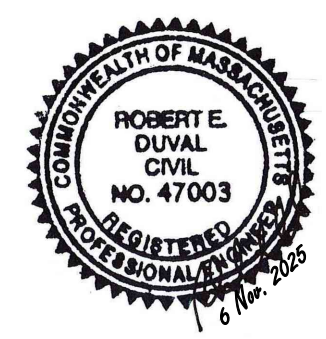
0"	Ap 10YR 3/3, FINE SANDY LOAM, MASSIVE-WEAK, VERY FRIABLE	ELEV.=307.36
12"	B 10YR 5/4, FINE SANDY LOAM, MASSIVE-WEAK, VERY FRIABLE	
28"	C 10YR 6/6, FINE SANDY LOAM BLOCKY-WEAK, FRIABLE, FRACT. LEDGE	ELEV.=301.86
66"		

ESHW: 66"+
 OWT: NOT OBSERVED
 ROOTS: NOT OBSERVED
 LEDGE: 66"
 PERC. TEST: 3 MIN/IN @ 40" OR 20 INCHES/HOUR (SAFETY FACTOR OF 2 =10 INCHES/HOUR)

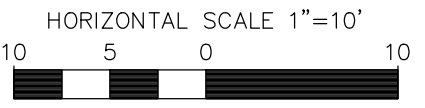
TAX MAP 10 LOT 109
GRADING AND DRAINAGE PLAN
BROADWAY AUTO SALES
6 DICKEY STREET, LONDONDERRY, NH

OWNED BY/PREPARED FOR
LEON & TAMARA LAMPES
 6 DICKEY STREET, DERRY, NH 03038

NOVEMBER 6, 2025

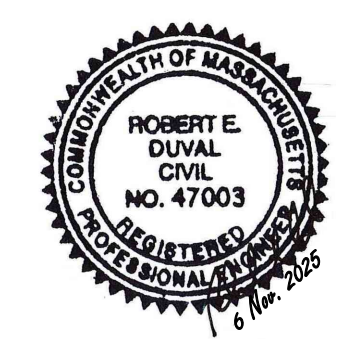
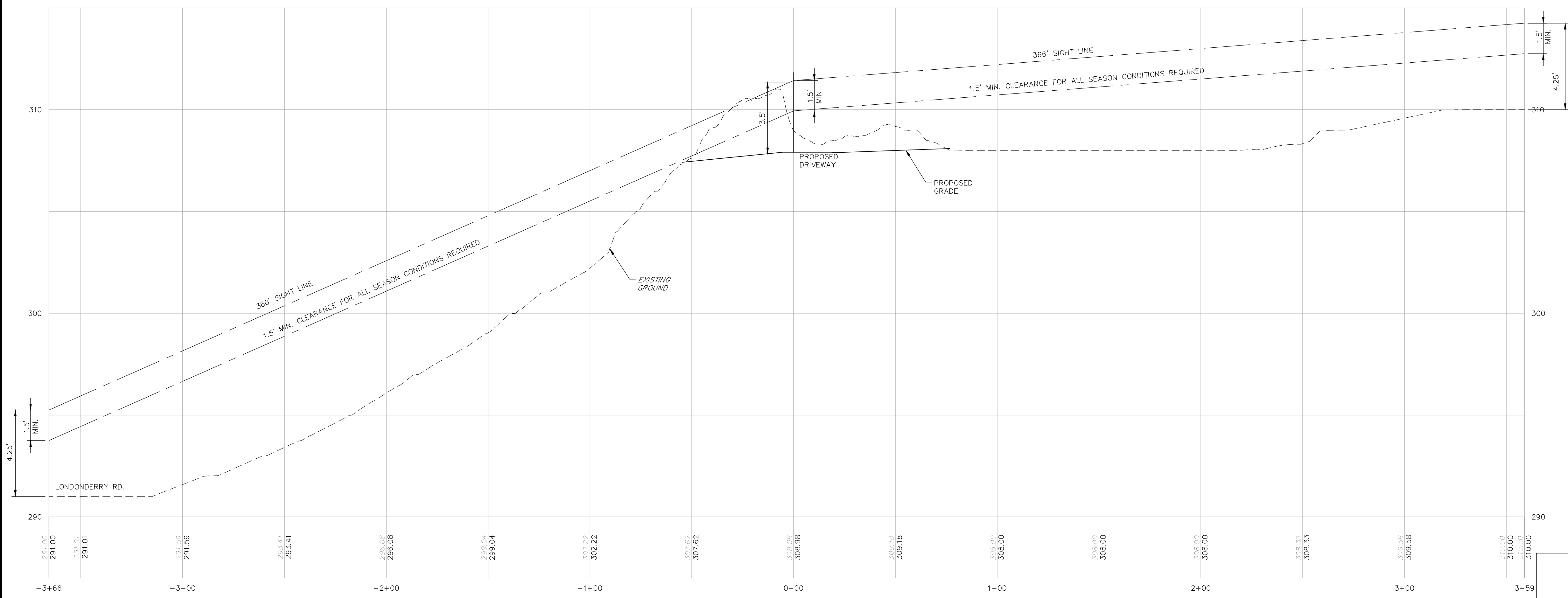
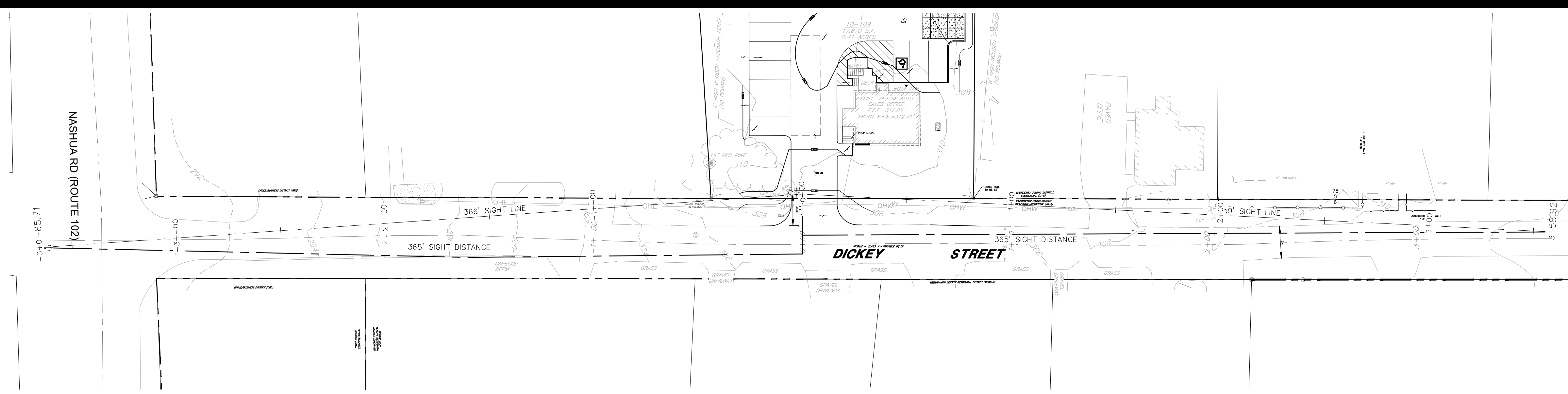
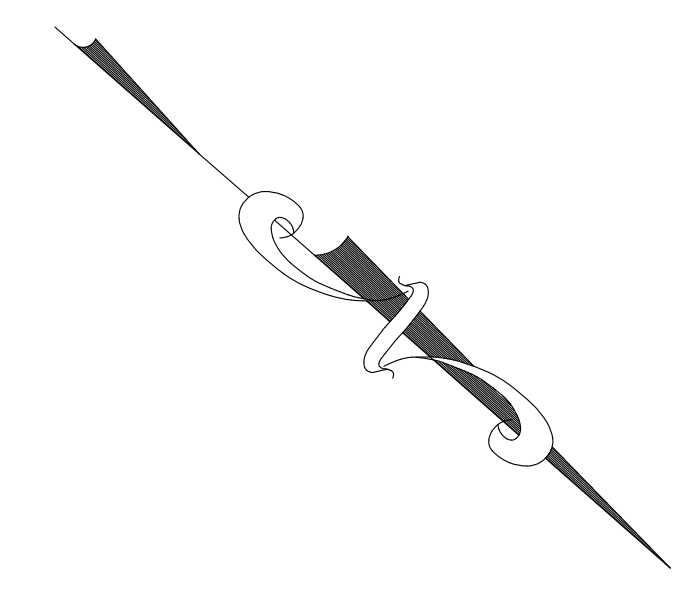


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	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com	
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TAX MAP 10 LOT 109
SIGHT DISTANCE PLAN AND PROFILE
BROADWAY AUTO SALES
6 DICKEY STREET, LONDONDERRY, NH

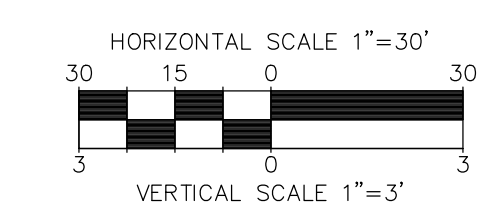
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NOVEMBER 6, 2025

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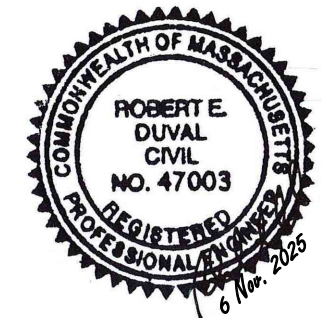
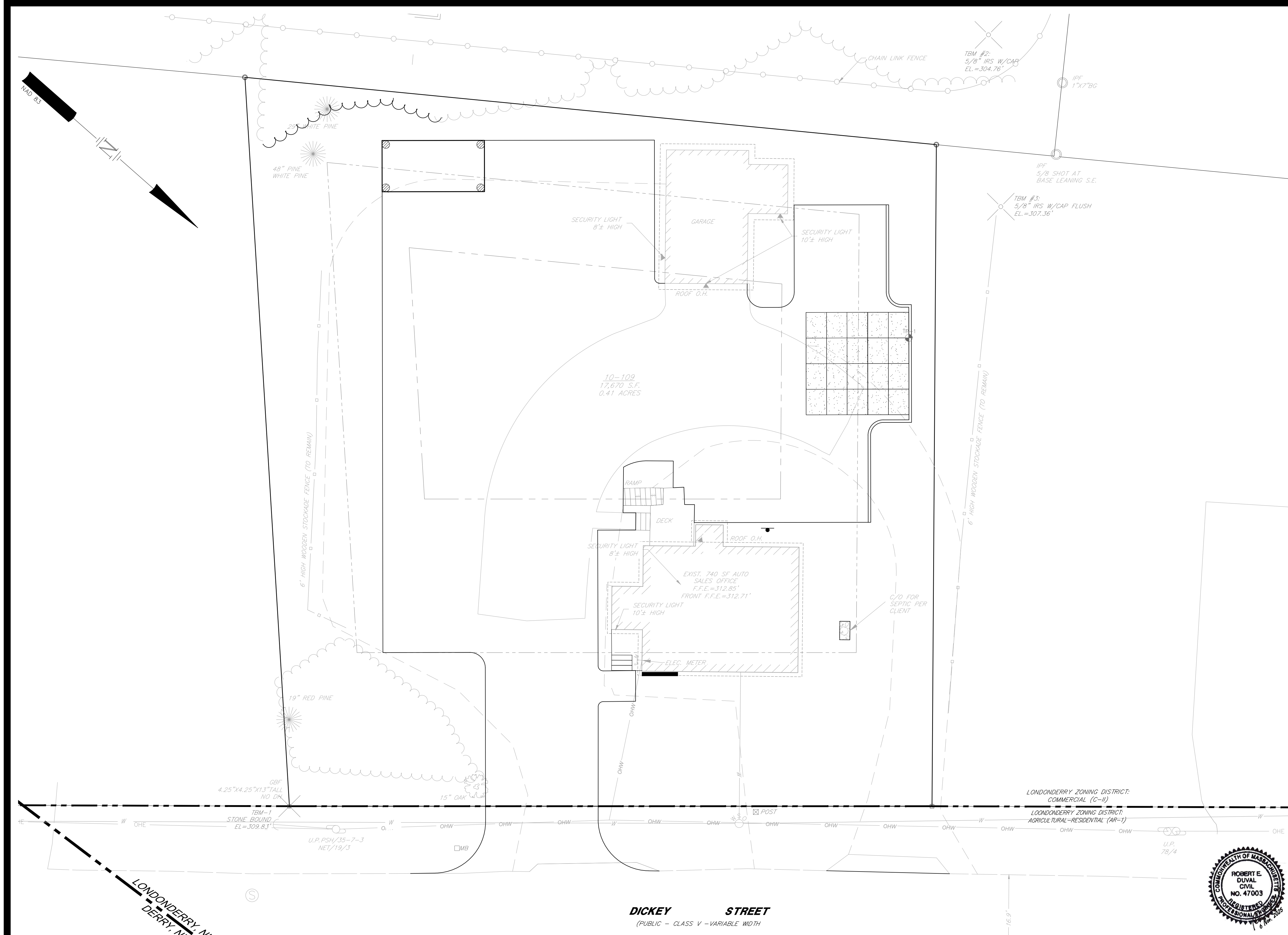
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NOTES

1. SEE NOTES ON SHEET C-2.
2. NO PROPOSED UTILITIES OTHER THAN DRAINAGE IS PROPOSED.
3. REFER TO SHEET C-6 FOR DRAINAGE.
4. EXISTING SECURITY LIGHTING TO REMAIN.

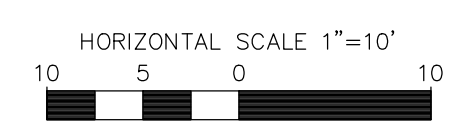


TAX MAP 10 LOT 109
UTILITY PLAN
BROADWAY AUTO SALES
6 DICKEY STREET, LONDONDERRY, NH

OWNED BY/PREPARED FOR
LEON & TAMARA LAMPES
 6 DICKEY STREET, DERRY, NH 03038

NOVEMBER 6, 2025

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LANDSCAPE LEGEND

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
PA	2	PLATANUS X ACREIFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANETREE	2 1/2" TO 3" CAL.	B&B
QR	3	QUERCUS RUBRA RED OAK	2 1/2" TO 3" CAL.	B&B
AC	2	AMELANCHEIR CANADENSIS SHADBLow SERVICEBERRY	2 1/2" TO 3" CAL.	B&B
FL	8	FORSYTHIA 'LYNWOOD GOLD' LYNWOOD GOLD FORSYTHIA	3' TO 4'	B&B

LANDSCAPE REQUIREMENTS

- GREEN SPACE REQUIREMENT:**
30' GREEN SPACE AREA ALONG ROW.
15' GREEN SPACE AREA ALONG SIDE AND REAR LOT LINES. WAIVER REQUIRED
- INTERIOR PARKING LANDSCAPE AREA REQUIREMENTS:**
(3.10g1. OF SITE PLAN REG'S)
FRONT EXISTING PARKING LOT: 10% LANDSCAPE AREA REQUIRED.
REQUIRED: N/A

SIDE EXISTING PARKING LOT (1,064 SF): 8% LANDSCAPE AREA
REQUIRED: SIDE PARKING LOT: 85 SF
PROVIDED: 0 SF (0.0%) WAIVER REQUIRED

REAR PARKING LOT (7,085 SF): 5% LANDSCAPE AREA
REQUIRED: SIDE PARKING LOT: 354 SF
PROVIDED: 491 SF (6.9%)
- INTERNAL PARKING LOT LANDSCAPING:**
(3.10g3. OF SITE PLAN REG'S)
EXISTING PARKING LOT, 1 TREE/15 PARKING SPACES (16 SPACES/15) = 1 TREE
TOTAL TREES REQUIRED = 1
TREES PROVIDED = 1 TREES
- (3.10g4. OF SITE PLAN REG'S)**
ALL LANDSCAPED AREAS SHALL BE PROTECTED FROM ENCROACHMENT BY VEHICLES BY MEANS OF CURBING, LANDSCAPING TIMBERS, CURB STOPS, OR OTHER ACCEPTABLE MEANS. WAIVER REQUIRED
- PARKING LOT PERIMETER LANDSCAPING:**
(3.10g5. OF SITE PLAN REG'S)
PARKING LOT, 1 SHADE TREE/20' OF PARKING PERIMETER = 300' L.F./20' = 15 TREES
TOTAL TREES REQUIRED = 15
TREES PROVIDED = 0 TREES WAIVER REQUIRED

SCREENING
1 SHADE TREE/450' OF PARKING PERIMETER=300' L.F. (42' FACING RIGHT OF WAY)/50' = 6 TREES
*1 TREE PER 50' WHEN SCREENING IS REQUIRED.
TOTAL TREES REQUIRED = 6
TREES PROVIDED = 6 WAIVER REQUIRED
- SCREENING FROM PUBLIC RIGHT-OF-WAY:**
(3.10g6. OF SITE PLAN REG'S)
AT LEAST 50% VERTICAL OPACITY ON AVERAGE UP TO A HEIGHT OF 3-1/2 FEET ABOVE GRADE.
PROVIDED: 8 FORSYTHIA SHRUBS (DICKEY STREET)
- ACCORDING TO THE USDA PLANT HARDINESS ZONE MAP THE ANNUAL MINIMUM TEMPERATURE ZONES FOR SOUTHERN NH ARE BETWEEN ZONE 4 (-30 TO -20 DEGREES) AND ZONE 5 (-20 TO -10 DEGREES). THE PLANT MATERIALS SHOWN ON THIS PLAN HAVE A HARDINESS ZONE TO MEET THAT OF SOUTHERN NH.**
- AT TIME OF PLANTING:**
ALL TREES SHALL BE A MINIMUM OF 2.5" TO 3" CALIPER.
ALL ORNAMENTAL TREES SHALL BE A MINIMUM OF 1.5" TO 2" CALIPER.
ALL EVERGREEN TREES SHALL BE A MINIMUM OF 5' TO 6' HIGH.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE THROUGHOUT CONSTRUCTION OF PROTECTIVE TREE FENCING LOCATED 12" INCHES OFF THE THE DRIPLINE OF ALL TREES TO BE PROTECTED. PRIOR TO CONSTRUCTION THE CONTRACTOR IS REQUIRED TO HAVE ALL NO-CUT ZONES DELINEATED IN THE FIELD.**
- THE CONTRACTOR/APPLICANT IS RESPONSIBLE FOR REPLACEMENT OF "ANY TREES DESIGNATED TO REMAIN, WHICH HAVE BEEN DAMAGED, KILLED OR REMOVED AS A RESULT OF CONSTRUCTION ACTIVITIES". SEE TOWN OF LONDONDERRY "LANDSCAPE DESIGN STANDARDS" SECTION 3.10.D OF THE SITE PLAN REGULATIONS.**
- THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPE AREAS ONCE CONSTRUCTION IS COMPLETED AS OUTLINED IN THE TOWN OF LONDONDERRY, "LANDSCAPE DESIGN STANDARDS" SECTION 3.10.F OF THE SITE PLAN REGULATIONS.**
- NO PLANT CONFLICTS WITH SNOW STORAGE AREAS, LIGHT FIXTURES & UNDERGROUND UTILITIES.**
- NO LANDSCAPING CONFLICTS WITH SIGHT DISTANCE**
- TREES SHALL BE PLANTED NO CLOSER THAN 5' FROM EDGE OF PAVEMENT/CURB LINE.**

LANDSCAPE NOTES

(SEE DETAILS FOR ADDITIONAL NOTES)

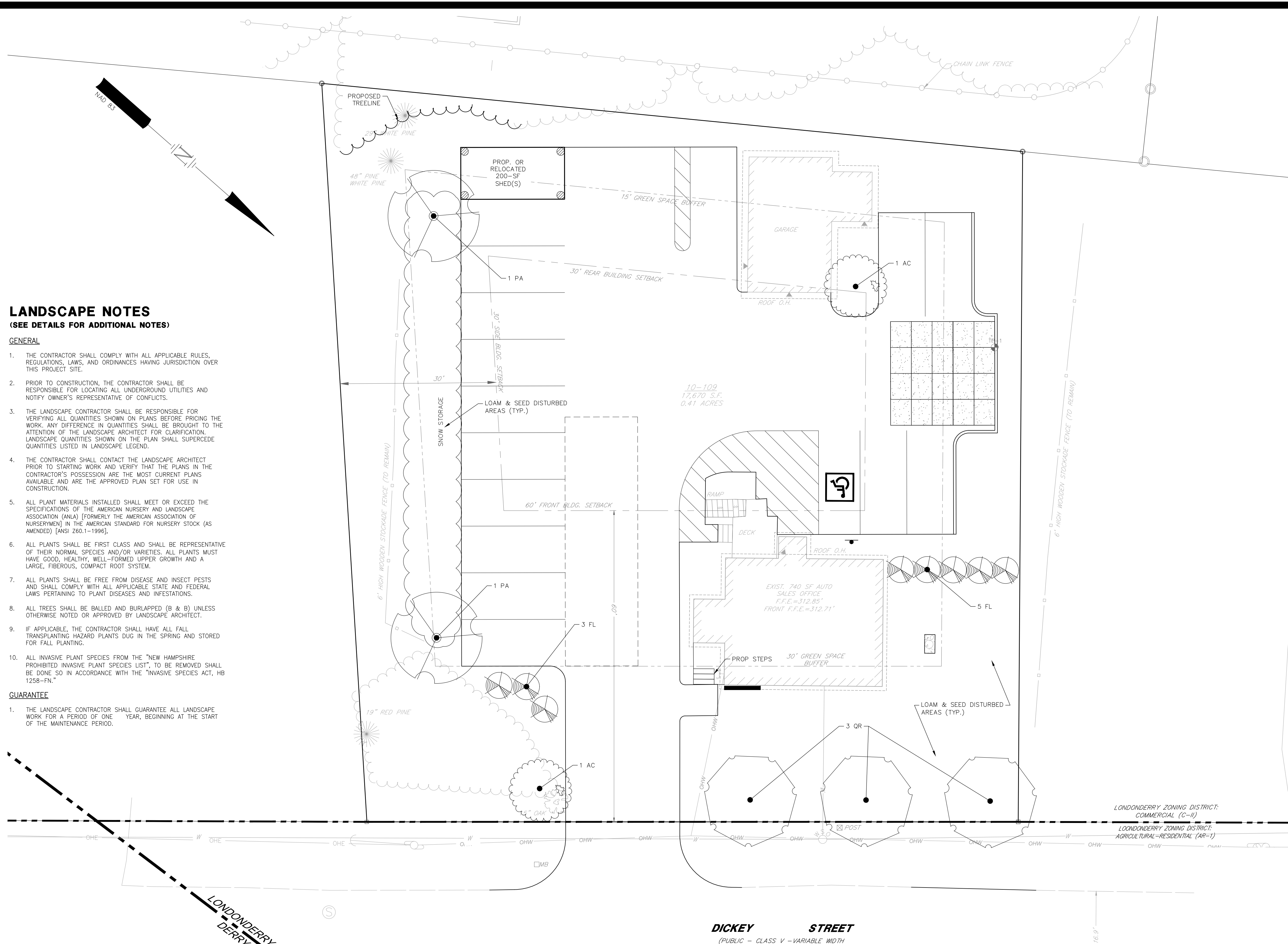
GENERAL

- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES, REGULATIONS, LAWS, AND ORDINANCES HAVING JURISDICTION OVER THIS PROJECT SITE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND NOTIFY OWNER'S REPRESENTATIVE OF CONFLICTS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON PLANS BEFORE PRICING THE WORK. ANY DIFFERENCE IN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION. LANDSCAPE QUANTITIES SHOWN ON THE PLAN SHALL SUPERCEDE QUANTITIES LISTED IN LANDSCAPE LEGEND.
- THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO STARTING WORK AND VERIFY THAT THE PLANS IN THE CONTRACTOR'S POSSESSION ARE THE MOST CURRENT PLANS AVAILABLE AND ARE THE APPROVED PLAN SET FOR USE IN CONSTRUCTION.
- ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) [FORMERLY THE AMERICAN ASSOCIATION OF NURSERMEN] IN THE AMERICAN STANDARD FOR NURSERY STOCK (AS AMENDED) [ANSI Z60.1-1996].
- ALL PLANTS SHALL BE FIRST CLASS AND SHALL BE REPRESENTATIVE OF THEIR NORMAL SPECIES AND/OR VARIETIES. ALL PLANTS MUST HAVE GOOD, HEALTHY, WELL-FORMED UPPER GROWTH AND A LARGE, FIBROUS, COMPACT ROOT SYSTEM.
- ALL PLANTS SHALL BE FREE FROM DISEASE AND INSECT PESTS AND SHALL COMPLY WITH ALL APPLICABLE STATE AND FEDERAL LAWS PERTAINING TO PLANT DISEASES AND INFESTATIONS.
- ALL TREES SHALL BE BALLED AND BURLAPPED (B & B) UNLESS OTHERWISE NOTED OR APPROVED BY LANDSCAPE ARCHITECT.
- IF APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- ALL INVASIVE PLANT SPECIES FROM THE "NEW HAMPSHIRE PROHIBITED INVASIVE PLANT SPECIES LIST", TO BE REMOVED SHALL BE DONE SO IN ACCORDANCE WITH THE "INVASIVE SPECIES ACT, HB 1258-FN."

GUARANTEE

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE WORK FOR A PERIOD OF ONE YEAR, BEGINNING AT THE START OF THE MAINTENANCE PERIOD.

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LONDONDERRY ZONING DISTRICT:
COMMERCIAL (C-1)
LONDONDERRY ZONING DISTRICT:
AGRICULTURAL-RESIDENTIAL (AR-1)

DICKEY STREET
(PUBLIC - CLASS V - VARIABLE WIDTH)

HORIZONTAL SCALE 1"=10'
10 5 0 10

APPROVED BY THE TOWN OF LONDONDERRY PLANNING BOARD

ON _____ AND _____
BOARD MEMBER _____ AND _____
BOARD MEMBER _____ AND _____

REV	DATE	DESCRIPTION	DR	CK

TAX MAP 10 LOT 109
LANDSCAPING PLAN
BROADWAY AUTO SALES
6 DICKEY STREET, LONDONDERRY, NH

OWNED BY/PREPARED FOR
LEON & TAMARA LAMPES
6 DICKEY STREET, DERRY, NH 03038

NOVEMBER 6, 2025

	Civil Engineers	48 Constitution Drive
	Structural Engineers	Bedford, NH 03110
	Traffic Engineers	Phone (603) 472-4488
	Land Surveyors	Fax (603) 472-9747
	Landscape Architects	www.tfmoran.com
	Scientists	

FILE: 18301.00 DR: - CK: - CADFILE: 18301-00 DESIGN_LAYOUT C-8



NOTES

- IT IS BEING PROPOSED TO CONSTRUCT A NEW PARKING LOT AND DRAINAGE IMPROVEMENTS AT 6 DICKEY STREET IN LONDONDERRY, NH AND TAX MAP 10, LOT 109, AS SHOWN HEREON.
- TOTAL SITE AREA: 0.41 AC
TOTAL AREA OF DISTURBANCE: 0.35 AC
- SOILS SHOWN ARE FROM THE SOIL SURVEY OF ROCKINGHAM COUNTY, NH, EASTERN PART, PREPARED BY USDA-SOIL CONSERVATION SERVICES.
799 - URBAN LAND - CANTON COMPLEX, 3 TO 15 PERCENT SLOPES
- STORM WATER DRAINAGE SYSTEM IS SHOWN ON THE PLAN. SEE GRADING & DRAINAGE PLAN FOR RIM, INVERT, PIPE LENGTH, AND SLOPE INFORMATION.
POST-CONSTRUCTION RUNOFF COEFFICIENT: C=0.83
IMPERVIOUS SURFACE AREA: 0.208± AC
- STABILIZATION PRACTICES FOR EROSION AND SEDIMENTATION CONTROLS:**

TEMPORARY STABILIZATION - TOPSOIL STOCKPILES AND DISTURBED AREAS OF THE CONSTRUCTION SITE THAT WILL NOT BE REDISTURBED FOR 14 DAYS OR MORE MUST BE STABILIZED BY THE 14TH DAY AFTER THE LAST DISTURBANCE. THE TEMPORARY SEED SHALL BE ANNUAL RYE APPLIED AT THE RATE OF 1.1 LBS PER 1,000 SF. PRIOR TO SEEDING, A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE OF 10-20 FERTILIZER SHALL BE APPLIED. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH. MULCH TO BE ANCHORED IN PLACE WHERE NECESSARY. AREAS OF THE SITE THAT WILL BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILES AND A STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED. CALCIUM CHLORIDE SHALL BE USED FOR DUST CONTROL IF NEEDED.

PERMANENT STABILIZATION - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 3 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED MIX SHALL BE AS SPECIFIED BY THE LANDSCAPE PLAN NOTES OR MAY OTHERWISE CONSIST OF 0.45 LBS/1,000 SF TALL FESCUE, 0.20 LBS/1,000 SF CREEPING RED FESCUE, AND 0.20 LBS/1,000 SF BIRDSFOOT TREFLOIL. PRIOR TO SEEDING, A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE IF 10-20 FERTILIZER SHALL BE APPLIED. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH. MULCH TO BE ANCHORED IN PLACE WHERE NECESSARY.

STRUCTURAL PRACTICES FOR EROSION AND SEDIMENTATION CONTROL

SILT SOCK - WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE DISTURBED AREAS AND WILL DELINEATE THE LIMITS OF WORK FOR THE PROPOSED CONSTRUCTION. THE SILT SOCK WILL BE INSTALLED BY OTHERS. POSTS SHALL BE USED WITH AT LEAST 6" OF THE POST BURIED BELOW THE GROUND SURFACE TO PREVENT THE SILT SOCK FROM FORMING GAPS NEAR THE GROUND SURFACE. RUNOFF WILL FLOW THROUGH THE OPENINGS IN THE SILT SOCK WHILE RETAINING THE SEDIMENT WITHIN THE CONSTRUCTION AREA.

STABILIZED CONSTRUCTION ENTRANCE - WILL BE INSTALLED IN ACCORDANCE WITH THE DETAIL AT THE ENTRANCE TO THE CONSTRUCTION SITE TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS OFF THE SITE. THE STABILIZED ENTRANCE WILL BE 20'-WIDE AND FLARE AT THE ENTRANCE TO THE PAVED ROAD AND HAVE A DEPTH OF 12" OF STONE. THE STABILIZED ENTRANCE SHALL BE MAINTAINED UNTIL THE REMAINDER OF THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED. THE PAVED STREET ADJACENT TO THE SITE SHALL BE SWEEPED ON A WEEKLY BASIS TO REMOVE EXCESS MUD AND DIRT FROM BEING TRACKED FROM THE SITE. TRUCKS HAULING MATERIAL TO AND/OR FROM THE SITE SHALL BE COVERED WITH A TARPULIN.

STORM WATER MANAGEMENT

STORM WATER DRAINAGE FOR DEVELOPED AREAS WILL BE SURFACE DRAINED TO A PERMEABLE PAVEMENT SECTION. APPROXIMATELY 0.035 ACRES OF THE 0.41 ACRE SITE WILL REMAIN UNTOUCHED AND IN ITS ORIGINAL STATE. WHEN CONSTRUCTION IS COMPLETE THE CIRCUMFERENCE OF THE SITE WILL DRAIN TO THE PROPOSED INFILTRATION SYSTEM (PERMEABLE PAVEMENT.)

ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURE DUMPSTERS OR APPROVED ENCLOSURE AND REMOVED FROM THE SITE ON A WEEKLY BASIS. NO CONSTRUCTION WASTE SHALL BE BURIED ON SITE. PORTABLE TOILET SANITARY WASTE FACILITIES WILL BE PROVIDED DURING CONSTRUCTION AND MAINTAINED/DISPOSED OF ON A REGULAR BASIS IN ACCORDANCE WITH TOWN AND STATE REGULATIONS.

THRUST BLOCK SHALL BE PROVIDED WHERE WATER LINE CHANGES DIRECTION OR TAPS INTO EXISTING WATER LINE.

A LIST OF CONSTRUCTION ITEMS AND OTHER PRODUCTS USED ON THIS PROJECT SHALL BE KEPT ON RECORD WITH THIS PLAN ONSITE. ALL CHEMICALS, PETROLEUM PRODUCTS AND OTHER MATERIALS USED DURING CONSTRUCTION SHALL BE STORED IN A SECURE AREA, AND PRECAUTIONS USED TO PREVENT POTENTIAL SOURCES OF CONTAMINATION OR POLLUTION. ANY SPILL OF THESE TYPES OF SUBSTANCES SHALL BE CLEANED UP AND DISPOSED OF IN A LEGAL MANNER AS SPECIFIED BY STATE REGULATIONS AND THE MANUFACTURER. ANY SPILL IN AMOUNTS EQUAL TO OR EXCEEDING REPORTABLE QUANTITY AS DEFINED BY THE EPA SHALL TAKE THE FOLLOWING STEPS:

- NOTIFY THE NATIONAL RESPONSE CENTER IMMEDIATELY AT (888) 424-8802; IN WASHINGTON, D.C., CALL (202) 426-2675.
- WITHIN 14 DAYS, SUBMIT A WRITTEN DESCRIPTION OF THE RELEASE TO THE EPA REGIONAL OFFICE PROVIDING THE DATE AND CIRCUMSTANCES OF THE RELEASE AND THE STEPS TO BE TAKEN TO PREVENT ANOTHER RELEASE.
- MODIFY THE POLLUTION PREVENTION PLAN TO INCLUDE THE INFORMATION LISTED ABOVE.

GOOD HOUSEKEEPING:
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.

- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
- ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.
- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
- MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- TRASH DUMPSTERS SHALL BE GASKETED OR HAVE A SECURE, WATERTIGHT LID AND BE PLACED AWAY FROM STORMWATER CONVEYANCES AND DRAINS.
- THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.

HAZARDOUS PRODUCTS:
THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:

- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE;
- ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION;
- IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES:
THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:

PETROLEUM PRODUCTS:
ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

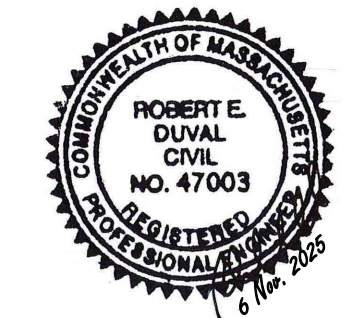
FERTILIZERS:
FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

SPILL CONTROL PRACTICES:
IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE.
- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
- THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THEY WILL DESIGNATE AT LEAST THREE OTHER SITE PERSONNEL WHO WILL EACH RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

11. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN RECORDS OF CONSTRUCTION ACTIVITIES, INCLUDING DATES OF MAJOR GRADING ACTIVITIES, DATES WHEN CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED ON A PORTION OF THE SITE, DATES WHEN WORK IS COMPLETED ON A PORTION OF THE SITE, AND DATES WHEN STABILIZATION MEASURES ARE INITIATED ONSITE.

12. THE CONTRACTOR SHALL PERFORM INSPECTIONS OR HAVE A CONSULTING ENGINEER PERFORM INSPECTIONS EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER A STORM OF 0.5" OR GREATER. INSPECTION REPORTS ARE TO BE KEPT ON FILE AT THE SITE WITH THIS PLAN. MAINTENANCE OR MODIFICATION SHALL BE IMPLEMENTED AND ADDED TO THE PLAN AS RECOMMENDED BY THE QUALIFIED INSPECTOR.



TAX MAP 10 LOT 109
STORMWATER MANAGEMENT PLAN
BROADWAY AUTO SALES
6 DICKEY STREET, LONDONDERRY, NH

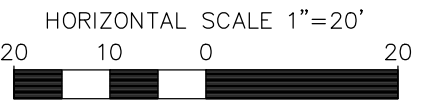
OWNED BY/PREPARED FOR
LEON & TAMARA LAMPES
6 DICKEY STREET, DERRY, NH 03038

NOVEMBER 6, 2025

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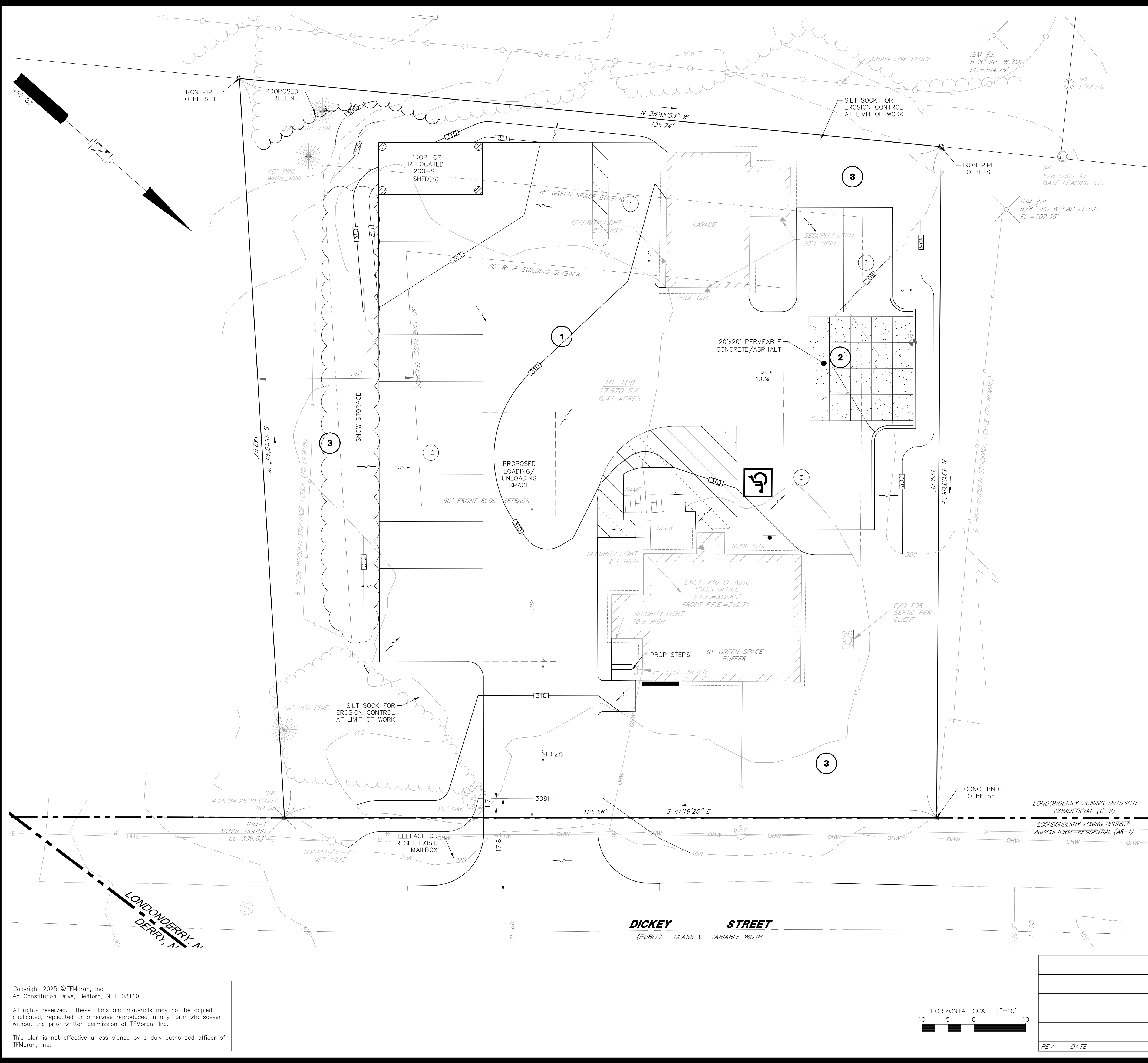
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REV	DATE	DESCRIPTION	DR	CK

FILE	18301.00	DR	-	CADFILE	-	18301-00 DESIGN_LAYOUT	C-9
							Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists
48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com							18301-00 DESIGN_LAYOUT



LEGEND

2 INSPECTION CHECKLIST ITEM

SNOW REMOVAL & DE-ICING NOTES

- IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- WINTER MAINTENANCE SHALL BE PERFORMED BY A GREEN SNO-PRO CERTIFIED (OR FUNCTIONAL EQUIVALENT CERTIFICATION) CONTRACTOR.
- SNOW MELT SEDIMENT WILL BE CAPTURED IN GRASS AREAS & CATCH BASIN SUMPS DURING SPRING SNOW MELT. PROPERTY OWNER SHALL INSPECT ONSITE SUMPS AND WATER QUALITY UNITS AND CONTRACT A VAC TRUCK SERVICE TO REMOVE ANY SEDIMENT. ALL SNOW MELT SEDIMENT IN LANDSCAPE AREAS SHALL BE SWEEP UP AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS FOR TRANSPORT AND DISPOSAL TO A PERMITTED LANDFILL.

STORMWATER SYSTEM ANNUAL REPORTING

THE LANDOWNER SHALL BE RESPONSIBLE FOR SUBMITTING AN ANNUAL REPORT TO THE DPW/EPD BY EACH YEAR THAT ALL STORMWATER MANAGEMENT AND EROSION CONTROL MEASURES ARE FUNCTIONING PER THE APPROVED STORMWATER MANAGEMENT PLAN AND I&M PLAN. THE INSPECTION AND MAINTENANCE LOG AND DEICING LOG SHALL BE INCLUDED WITH THE REPORT. THE ANNUAL REPORT SHALL NOTE IF ANY STORMWATER INFRASTRUCTURE HAS NEEDED ANY REPAIRS OTHER THAN ROUTINE MAINTENANCE AND THE RESULTS OF THOSE REPAIRS. IF THE STORMWATER INFRASTRUCTURE IS NOT FUNCTIONING PER THE APPROVED STORMWATER MANAGEMENT PLAN AND I&M PLAN, THE LANDOWNER SHALL MAKE ANY REPAIRS NECESSARY TO RESTORE THE FUNCTION AS DESIGNED WITHIN 90 DAYS OF DISCOVERING THE DEFICIENCY OR PROVIDE DOCUMENTATION TO DPW/EPD DESCRIBING WHY THE SYSTEM CANNOT BE REPAIRED WITHIN 90 DAYS AND A PROPOSED SCHEDULE FOR SUCH REPAIRS. THE LANDOWNER OF A SITE FOR WHICH A SOURCE CONTROL PLAN IS REQUIRED SHALL UPDATE THE SOURCE CONTROL PLAN AS NECESSARY TO REFLECT ANY CHANGES AND SUBMIT THE UPDATED SOURCE CONTROL PLAN TO DPW/EPD WITH ITS ANNUAL REPORT. IF NO CHANGES HAVE BEEN MADE, THE LANDOWNER SHALL DOCUMENT THIS IN THE ANNUAL REPORT. RECORDS MUST ALSO BE MADE AVAILABLE TO THE CITY OR DPW/EPD UPON REQUEST.

DESCRIPTION OF PROJECT

THE PROPOSED DEVELOPMENT IS THE CONSTRUCTION OF A PARKING LOT ON TAX MAP 10 LOT 109. IMPROVEMENTS WILL CONSIST OF GRADING, A STORMWATER MANAGEMENT SYSTEM AND LANDSCAPING. THE PROPOSED AREA OF WORK IS LOCATED PREDOMINANTLY ON TAX MAP 10 LOT 109. ACCESS TO THE SITE IS FROM DICKEY STREET. THE SITE IS LOCATED DIRECTLY ADJACENT TO THE TOWN LINE SHARED WITH DERRY, NH. IN LONDONDERRY, THE SITE IS ABUTTED BY DEVELOPED COMMERCIAL II (C-II) PARCELS TO THE NORTH, EAST, SOUTH, AND WEST. IN DERRY, THE SITE IS ABUTTED BY DEVELOPED OFFICE BUSINESS DISTRICT PARCELS TO THE SOUTH AND SOUTHEAST. AN OPEN DRAINAGE SYSTEM IS PROPOSED TO ATTENUATE, CONVEY, AND TREAT RUNOFF FROM THE PROPOSED DEVELOPMENT. A PERMEABLE CONCRETE/ASPHALT INFILTRATION BED IS STRATEGICALLY LOCATED TO PROVIDE PRETREATMENT/TREATMENT AND MANAGE RUNOFF.

RESPONSIBLE PARTY

BROADWAY AUTO SALES
 6 DICKEY STREET
 LONDONDERRY, NH 03053
 CONTACT: LEO LAMPES
 PHONE: (617) 549-1478
 EMAIL: PEGASUS.I@COMCAST.NET

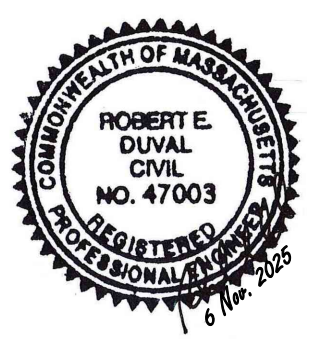
REFER TO C-11 FOR SCHEDULE OF MAINTENANCE

DEICING LOG											
DATE	OPERATOR	LOCATION	EVENT BEGAN	EVENT END	EVENT TYPE	TOTAL PRECIP.	PAVEMENT TEMP.	TEMP. TREND	MATERIAL USED	AMOUNT USED	APPLICATION RATE

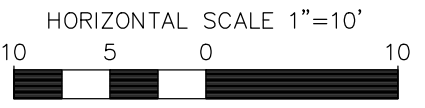
TAX MAP 10 LOT 109
INSPECTION AND MAINTENANCE PLAN 1
BROADWAY AUTO SALES
6 DICKEY STREET, LONDONDERRY, NH

OWNED BY/PREPARED FOR
LEON & TAMARA LAMPES
 6 DICKEY STREET, DERRY, NH 03038

NOVEMBER 6, 2025



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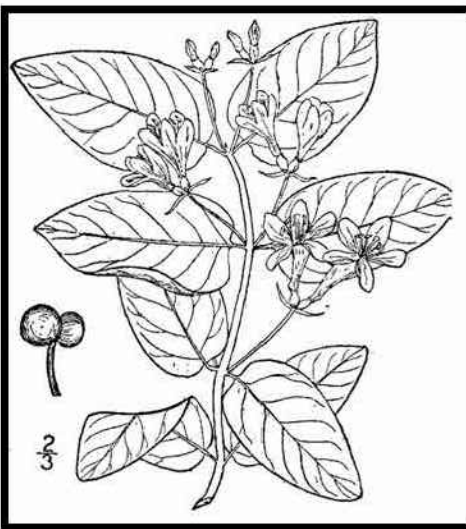
REV	DATE	DESCRIPTION	DR	CK

TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists

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18301.00 DR CK CADFILE 18301-00 DESIGN_LAYOUT C-10

Prepared by the Invasives Species Outreach Group, volunteers interested in helping people control invasive plants. Assistance provided by the Piscataquis Land Conservancy and the NH Invasives Species Committee. Edited by Karen Bennett, Extension Forestry Professor and Specialist.



Tatarian honeysuckle
Lonicera tatarica
USDA-NRCS PLANTS Database / Britton, N.L., and A. Brown, 1913. An illustrated flora of the northern United States, Canada and the British Possessions. Vol. 3: 282.

Non-native invasive plants crowd out natives in natural and managed landscapes. They cost taxpayers billions of dollars each year from lost agricultural and forest crops, decreased biodiversity, impacts to natural resources and the environment, and the cost to control and eradicate them.

Invasive plants grow well even in less than desirable conditions such as sandy soils along roadsides, shaded wooded areas, and in wetlands. In ideal conditions, they grow and spread even faster. There are many ways to remove these non-native invasives, but once removed, care is needed to dispose the removed plant material so the plants don't grow where disposed.

Knowing how a particular plant reproduces indicates its method of spread and helps determine the appropriate disposal method. Most are spread by seed and are dispersed by wind, water, animals, or people. Some reproduce by vegetative means from pieces of stems or roots forming new plants. Others spread through both seed and vegetative means.

Because movement and disposal of viable plant parts is restricted (see NH Regulations), viable invasive parts can't be brought to most transfer stations in the state. Check with your transfer station to see if there is an approved, designated area for invasives disposal. This fact sheet gives recommendations for rendering plant parts non-viable.

Control of invasives is beyond the scope of this fact sheet. For information about control visit www.nhinvasives.org or contact your UNH Cooperative Extension office.

New Hampshire Regulations

Prohibited invasive species shall only be disposed of in a manner that renders them nonliving and nonviable. (Agr. 3802.04)

No person shall collect, transport, import, export, move, buy, sell, distribute, propagate or transplant any living and viable portion of any plant species, which includes all of their cultivars and varieties, listed in Table 3800.1 of the New Hampshire prohibited invasive species list. (Agr. 3802.01)

How and When to Dispose of Invasives?

To prevent seed from spreading remove invasive plants before seeds are set (produced). Some plants continue to grow, flower and set seed even after pulling or cutting. Seeds can remain viable in the ground for many years. If the plant has flowers or seeds, place the flowers and seeds in a heavy plastic bag "head first" at the weeding site and transport to the disposal site. The following are general descriptions of disposal methods. See the chart for recommendations by species.

Burning: Large woody branches and trunks can be used as firewood or burned in piles. For outside burning, a written fire permit from the local forest fire warden is required unless the ground is covered in snow. Brush larger than 5 inches in diameter can't be burned. Invasive plants with easily airborne seeds like black swallow-wort with mature seed pods (indicated by their brown color) shouldn't be burned as the seeds may disperse by the hot air created by the fire.



Japanese knotweed
Polygonum cuspidatum
USDA-NRCS PLANTS Database / Britton, N.L., and A. Brown, 1913. An illustrated flora of the northern United States, Canada and the British Possessions. Vol. 1: 676.

Bagging (solarization): Use this technique with softer-tissue plants. Use heavy black or clear plastic bags (contractor grade), making sure that no parts of the plants poke through. Allow the bags to sit in the sun for several weeks and on dark pavement for the best effect.

Tarping and Drying: Pile material on a sheet of plastic and cover with a tarp, fastening the tarp to the ground and monitoring it for escapes. Let the material dry for several weeks, or until it is clearly nonviable.

Chipping: Use this method for woody plants that don't reproduce vegetatively.

Burying: This is risky, but can be done with watchful diligence. Lay thick plastic in a deep pit before placing the cut up plant material in the hole. Place the material away from the edge of the plastic before covering it with more heavy plastic. Eliminate as much air as possible and toss in soil to weight down the material in the pit. Note that the top of the buried material should be at least three feet underground. Japanese knotweed should be at least 5 feet underground!

Drowning: Fill a large barrel with water and place soft-tissue plants in the water. Check after a few weeks and look for rotted plant material (roots, stems, leaves, flowers). Well-rotted plant material may be composted. A word of caution- seeds may still be viable after using this method. Do this before seeds are set. This method isn't used often. Be prepared for an awful stink!

Composting: Invasive plants can take root in compost. Don't compost any invasives unless you know there is no viable (living) plant material left. Use one of the above techniques (bagging, tarping, drying, chipping, or drowning) to render the plants nonviable before composting. Closely examine the plant before composting and avoid composting seeds.

Suggested Disposal Methods for Non-Native Invasive Plants

This table provides information concerning the disposal of removed invasive plant material. If the infestation is treated with herbicide and left in place, these guidelines don't apply. Don't bring invasives to a local transfer station, unless there is a designated area for their disposal, or they have been rendered non-viable. This listing includes wetland and upland plants from the New Hampshire Prohibited Invasive Species List. The disposal of aquatic plants isn't addressed.

Woody Plants	Method of Reproducing	Methods of Disposal
Norway maple (<i>Acer platanoides</i>) European barberry (<i>Berberis vulgaris</i>) Japanese barberry (<i>Berberis thunbergii</i>) autumn olive (<i>Elaeagnus umbellata</i>) burning bush (<i>Euonymus alatus</i>) Morrow's honeysuckle (<i>Lonicera morrowii</i>) Tatarian honeysuckle (<i>Lonicera tatarica</i>) showy bush honeysuckle (<i>Lonicera x bella</i>) common buckthorn (<i>Rhamnus cathartica</i>) glossy buckthorn (<i>Frangula alnus</i>)	Fruit and Seeds ↑	Prior to fruit/seed ripening Seedlings and small plants ▪ Pull or cut and leave on site with roots exposed. No special care needed. Larger plants ▪ Use as firewood. ▪ Make a brush pile. ▪ Chip. ▪ Burn. After fruit/seed is ripe Don't remove from site. ▪ Burn. ▪ Make a covered brush pile. ▪ Chip once all fruit has dropped from branches. ▪ Leave resulting chips on site and monitor.
oriental bittersweet (<i>Celastrus orbiculatus</i>) multiflora rose (<i>Rosa multiflora</i>)	Fruits, Seeds, Plant Fragments ↑	Prior to fruit/seed ripening Seedlings and small plants ▪ Pull or cut and leave on site with roots exposed. No special care needed. Larger plants ▪ Make a brush pile. ▪ Burn. After fruit/seed is ripe Don't remove from site. ▪ Burn. ▪ Make a covered brush pile. ▪ Chip – only after material has fully dried (1 year) and all fruit has dropped from branches. Leave resulting chips on site and monitor.

Non-Woody Plants	Method of Reproducing	Methods of Disposal
garlic mustard (<i>Alliaria petiolata</i>) spotted knapweed (<i>Centaurea maculosa</i>) ▪ Sap of related knapweed can cause skin irritation and tumors. Wear gloves when handling. black swallow-wort (<i>Cynanchum nigricum</i>) ▪ May cause skin rash. Wear gloves and long sleeves when handling. pale swallow-wort (<i>Cynanchum rossicum</i>) giant hogweed (<i>Heracleum mantegazzianum</i>) ▪ Can cause major skin rash. Wear gloves and long sleeves when handling. dame's rocket (<i>Hesperis matronalis</i>) perennial pepperweed (<i>Lepidium latifolium</i>) purple loosestrife (<i>Lythrum salicaria</i>) Japanese stilt grass (<i>Microstegium vimineum</i>) mile-a-minute weed (<i>Polygonum perfoliatum</i>)	Fruits and Seeds ↑	Prior to flowering Depends on scale of infestation Small infestation ▪ Pull or cut plant and leave on site with roots exposed. Large infestation ▪ Pull or cut plant and pile. (You can pile onto or cover with plastic sheeting). ▪ Monitor. Remove any re-sprouting material. During and following flowering Do nothing until the following year or remove flowering heads and bag and let rot. Small infestation ▪ Pull or cut plant and leave on site with roots exposed. Large infestation ▪ Pull or cut plant and pile remaining material. (You can pile onto plastic or cover with plastic sheeting). ▪ Monitor. Remove any re-sprouting material.
common reed (<i>Phragmites australis</i>) Japanese knotweed (<i>Polygonum cuspidatum</i>) Bohemian knotweed (<i>Polygonum x bohemicum</i>)	Fruits, Seeds, Plant Fragments ↑	Small infestation ▪ Bag all plant material and let rot. ▪ Never pile and use resulting material as compost. ▪ Burn. Large infestation ▪ Remove material to unsuitable habitat (dry, hot and sunny or dry and shaded location) and scatter or pile. ▪ Monitor and remove any sprouting material. ▪ Pile, let dry, and burn.

January 2010

STORMWATER PRACTICES - SCHEDULE OF MAINTENANCE

THE FOLLOWING PRACTICES SHALL BE INSPECTED TWICE ANNUALLY, ONCE FOLLOWING SNOWMELT (SPRING) AND ONCE FOLLOWING LEAF-DROP (FALL):
• PERMEABLE PAVEMENT/CONCRETE
• PAVEMENT/WALKWAY
THE FOLLOWING PRACTICES SHALL BE INSPECTED ANNUALLY FOLLOWING SNOWMELT (SPRING):
• LAWNS/LANDSCAPE AREAS

STORMWATER PRACTICES - MAINTENANCE GUIDELINES

(INSPECTED TWICE A YEAR)
PERMEABLE PAVEMENT/CONCRETE
MAINTENANCE REQUIREMENTS:
ROUTINE MAINTENANCE:
• SHOULD INCLUDE VISUAL INSPECTION OF THE PVIOUS PAVEMENT TO ENSURE THAT IT IS CLEAN OF DEBRIS AND SEDIMENTS, AND THAT IT WILL DEWATER BETWEEN STORMS.
• ROUTINE MAINTENANCE CLEANING PROCEDURES WOULD INCLUDE BLOWING (WITH LEAF BLOWER OR SIMILAR EQUIPMENT), TRUCK-SWEEPING AND/OR DRY VACUUMING.
• MAINTENANCE SHOULD BE PERFORMED AS NEEDED TO KEEP THE ENTIRE PVIOUS CONCRETE AREA CLEAN. VISUALLY INSPECT THE PAVEMENT PERIODICALLY DURING OR IMMEDIATELY FOLLOWING A RAIN EVENT. PONDING OR PUDDLES ARE SIGNS THAT IT IS TIME TO CLEAN THE PAVEMENT. IN SOME AREAS.
• MOSS GROWTH CAN BE AN ISSUE. MOSS CAN BE CONTROLLED BY SPRINKLING BAKING SODA ON THE SURFACE, FOLLOWED BY A DRY VACUUMING WITHIN A FEW WEEKS. MOSS GROWTH CAN BE RETARDED/ELIMINATED WITH LIME WATER APPLICATIONS.

PERIODIC MAINTENANCE:

- PERFORM PERIODIC MAINTENANCE JUST BEFORE WINTER TO INSURE THAT THE PVIOUS CONCRETE VOIDS ARE CLEAN AND FREE OF NON COMPRESSIBLE MATERIALS THAT MAY INHIBIT DRAINING AND, THEREFORE, COULD CONTRIBUTE TO FREEZE-THAW DAMAGE.
- PERIODIC MAINTENANCE MAY BE REQUIRED FOLLOWING WINTER TO REMOVE ANY ANTI-SKID MATERIALS THAT MAY HAVE BEEN USED. PROPER CLEANING PROCEDURES WOULD INCLUDE PRESSURE WASHING AND/OR VACUUMING THE AREA WITH EITHER A DRY VACUUM OR A REGENERATIVE VACUUM SWEEPER. CARE SHOULD BE TAKEN TO AVOID EXTREMELY HIGH PRESSURES WITH A PRESSURE WASHER, AS THIS CAN DEGRADE THE BONDING CEMENT PASTE AND INCREASE RAVELING. CLEANING EQUIPMENT SHOULD ALLOW FOR THE DEBRIS TO BE BAGGED AND REMOVED FROM THE UNIT SO IT CAN BE WEIGHED

WINTER MAINTENANCE REQUIREMENTS:

- PVIOUS CONCRETE SHOULD NEVER BE USED AS A STORAGE AREA TO PILE SNOW FROM OTHER AREAS.
- ANTI-ICING PRE-TREATMENTS SHOULD NEVER BE USED ON PVIOUS CONCRETE PAVEMENTS. IF THESE PRODUCTS ARE USED ON ADJACENT PAVEMENTS, CARE SHOULD BE TAKEN TO PREVENT THE ADJACENT RUNOFF FROM INFILTRATING THE PVIOUS CONCRETE.
- DEICERS CONTAINING MAGNESIUM CHLORIDE, CALCIUM MAGNESIUM ACETATE OR POTASSIUM ACETATE SHOULD NEVER BE USED ON PVIOUS CONCRETE PAVEMENT.
- DEICING AGENTS THAT CONTAIN FERTILIZER INGREDIENTS SUCH AS AMMONIUM SULFATE AND AMMONIUM NITRATE CAUSE CHEMICAL DETERIORATION TO ANY PORTLAND CEMENT-BASED CONCRETE PAVEMENT AND SHOULD NEVER BE USED.
- CALCIUM CHLORIDE IMPREGNATED SAND CAN BE USED FOR DEICING PAVEMENTS AFTER THE FIRST YEAR.
- COARSE SAND (MINIMUM 1/8"), OR SMALL CRUSHED AGGREGATE (1/4 - 10, OR SIMILAR GRADATION) CAN BE USED AS AN ANTI-SKID MATERIAL WITH THE UNDERSTANDING THAT VACUUM CLEANING WILL BE PERFORMED AFTER THE WINTER SEASON. FINE SANDS SUCH AS MASONRY SAND OR PLAY SAND SHOULD NOT BE USED ON PVIOUS CONCRETE PAVEMENTS!
- SNOW PLOWING CAN BE PERFORMED WITH TRUCKS MOUNTED WITH PLOWS, BUT THE PLOW SHOULD BE FITTED WITH A POLYURETHANE CUTTING EDGE. USE OF SNOW BLOWERS MAY BE A BETTER ALTERNATIVE TO PLOWING, IF AVAILABLE
- A SITE MAINTENANCE LOG WILL BE KEPT. THIS LOG WILL RECORD THE DATES WHEN MAINTENANCE TASKS WERE COMPLETED, THE PERSON WHO COMPLETED THE TASK, AND ANY OBSERVATIONS OF MALFUNCTIONS IN COMPONENTS OF THE STORMWATER MANAGEMENT SYSTEM AND INCLUDE A PHOTOGRAPH OF THE BASIN.

SYSTEM COMPONENTS

DRIVEWAY, SIDEWALK, AND PARKING AREAS:

- MAINTENANCE REQUIREMENTS:
- SEDIMENTS AND DEBRIS SHOULD BE REMOVED AND DISPOSED FROM IMPERVIOUS AREAS BY POWER-BROOM SWEEPING.
 - SWEEP AT LEAST TWO (2) TIMES PER YEAR AND ON A MORE FREQUENT BASIS DEPENDING ON SANDING OPERATIONS.
 - ALL RESULTING SWEEPINGS SHALL BE COLLECTED AND PROPERLY DISPOSED OF OFFSITE IN ACCORDANCE WITH NHDES AND OTHER APPLICABLE REQUIREMENTS.

LAWNS AND LANDSCAPING AREAS:

- MAINTENANCE REQUIREMENTS:
- INSPECT, MAINTAIN, AND REPAIR AS NECESSARY DEVELOPMENT AREA LAWNS AND LANDSCAPED AREAS TO ENSURE A STABILIZED SURFACE.
 - MAINTAIN LAWN AREAS WITH HEALTHY TURF. TAKE STEPS TO NECESSARY TO RESTORE DISTRESSED TURF TO GOOD HEALTH.
 - ENSURE THAT LANDSCAPE MULCH MATERIALS IS REFRESHED AS NECESSARY, AND DOES NOT WASH ONTO SIDEWALKS OR OTHER ADJACENT SURFACES.

CONTROL OF INVASIVE PLANTS

- DURING MAINTENANCE ACTIVITIES, CHECK FOR THE PRESENCE OF INVASIVE PLANTS. IF INVASIVE PLANTS ARE FOUND, THEY SHALL BE CONTROLLED AND REMOVED IN A SAFE MANNER AS DESCRIBED ON THE FOLLOWING PAGES. INVASIVE PLANTS ARE INTRODUCED, ALIEN, OR NON-NATIVE PLANTS, WHICH HAVE BEEN MOVED BY PEOPLE FROM THEIR NATIVE HABITAT TO A NEW AREA. SOME EXOTIC PLANTS ARE IMPORTED FOR HUMAN USE SUCH AS LANDSCAPING, EROSION CONTROL OR FOOD CROPS. THEY ALSO CAN ARRIVE AS "HITCHHIKERS" AMONG SHIPMENTS OF OTHER PLANTS, SEEDS, PACKING MATERIALS OR FRESH PRODUCE. INVASIVE PLANTS CAN CAUSE HARM BY:
- BECOMING WEEDY AND OVERGROWN;
 - KILLING ESTABLISHED SHADE TREES;
 - OBSTRUCTING PIPES AND DRAINAGE SYSTEMS
 - FORMING DENSE BEDS IN WATER
 - LOWERING WATER LEVELS IN LAKES, STREAMS, AND WETLANDS
 - DESTROYING NATURAL COMMUNITIES
 - PROMOTING EROSION ON STREAM BANKS AND HILLSIDES
 - RESISTING CONTROL EXCEPT BY HAZARDOUS CHEMICALS.

INSPECTION CHECKLIST			
Date:	Project Name:		
Inspector's Name:			
Inspector's Contact Information:			
<input type="checkbox"/> 1st Yearly Inspector	BMPs to be inspected: All		
<input type="checkbox"/> 2nd Yearly Inspector	BMPs to be inspected: Treatment and Pretreatment Practices		
BMP Refer to following Inspection & Maintenance Plan for BMP Location	Maintenance Required	Corrective Action Needed and Notes	
1	PARKING LOT SWEEPING	YES/NO	
2	PERMEABLE PAVEMENT/CONCRETE	YES/NO	
3	LAWNS & LANDSCAPE AREA	YES/NO	

DE-ICING NOTE:

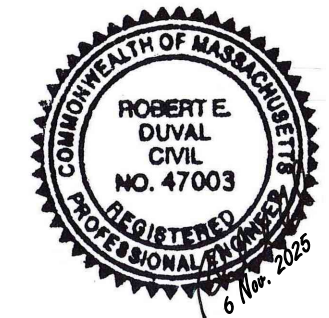
A DE-ICING LOG SHOULD BE IMPLEMENTED DURING WINTER MONTHS TO KEEP RECORDS OF THE SNOW/ICE MAINTENANCE NEEDED DURING STORM EVENTS. A NEW HAMPSHIRE CERTIFIED GREEN SNOPRO SALT APPLICATOR SHALL BE EMPLOYED TO MANAGE THE SNOW AND ICE REMOVAL FOR THE SITE. DEICING MATERIALS AND APPLICATION RATES SHALL BE REPORTED USING UNH TECHNOLOGY TRANSFER CENTER ONLINE TOOL ([HTTP://WWW.ROADSALT.UNH.EDU/SALT/](http://www.roadsalt.unh.edu/salt/))

ADDITIONAL INFORMATION ON SALT REDUCTION INITIATIVES CAN BE OBTAINED AT: [HTTP://WWW.DES.NH.GOV/ORGANIZATION/DIVISIONS/WATER/WMB/WAS/SALT-REDUCTION-INITIATIVE/DOCUMENTS/WMB-26.PDF](http://www.des.nh.gov/organization/divisions/water/wmb/was/salt-reduction-initiative/documents/wmb-26.pdf)

TAX MAP 10 LOT 109
INSPECTION AND MAINTENANCE PLAN 2
BROADWAY AUTO SALES
6 DICKEY STREET, LONDONDERRY, NH

OWNED BY/PREPARED FOR
LEON & TAMARA LAMPES
6 DICKEY STREET, DERRY, NH 03038

NOVEMBER 6, 2025



Be diligent looking for seedlings for years in areas where removal and disposal took place.

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This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.

REV	DATE	DESCRIPTION	DR	CK

TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com

18301.00 DR CK CADFILE 18301-00 DESIGN_LAYOUT C-11

Nov 06, 2025 - 6:49pm \\TFM-BEDFORD\Projects\Civil-Survey\TFM Projects\18301 Dickey St - Londonderry, NH\18301-00 Lampes-6 Dickey St - Londonderry, NH\18301-00 C3D\PRODUCTION\18301-00 COVER-DETAILS.dwg

CONSTRUCTION SEQUENCE NOTES

- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- CUT AND CLEAR TREES WITHIN AREA OF DISTURBANCE UNLESS OTHERWISE NOTED.
- CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES PRIOR TO ANY EARTH MOVING OPERATION.
- ROUGH GRADE SITE OR PHASED WORK AREA. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING. ALL DISTURBED AREAS SHALL BE STABILIZED NO LATER THAN 72 HOURS AFTER CONSTRUCTION ACTIVITY CEASES. IF EARTHWORK TEMPORARILY CEASES ON A PORTION OF OR THE ENTIRE SITE, AND WILL NOT RESUME WITHIN 21 DAYS, THE AREA SHALL BE STABILIZED.
- AN AREA SHALL BE CONSIDERED STABILIZED IF:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED, OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- CONSTRUCT PARKING BINDER COURSE AND FINISH GRADE SITE ACCORDING TO PLAN. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- INSTALL PERMEABLE PAVER SECTIONS AND CONCRETE PAVEMENT.
- INSTALL PAVEMENT WEARING COURSE.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL MEASURES PERIODICALLY AND IMMEDIATELY AFTER STORM EVENTS.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE ALL AREAS ARE STABILIZED WITH A SUITABLE STAND OF GRASS, PAVEMENT OR COMPACTED GRAVELS.

GENERAL NOTES

- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE NHDES STANDARDS. THESE DETAILS SERVE AS A GUIDE ONLY.
- REFER TO THE TOWN STANDARD DETAILS, LATEST REVISION, FOR ADDITIONAL INFORMATION AND CRITERIA.
- THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS PRIOR TO DIRECTING FLOW TO THEM.
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.

WINTER CONSTRUCTION

IN ADDITION TO THE OTHER NOTES CONTAINED ON THIS PLAN, THE FOLLOWING MUST BE IMPLEMENTED:

- WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED AS SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- AN AREA WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIER.
- TEMPORARY MULCH MUST BE APPLIED WITHIN 7 DAYS OF SOIL EXPOSURE OR PRIOR TO ANY STORM EVENT, BUT AFTER EVERY WORKDAY IN AREAS WITHIN 100 FEET FROM A PROTECTED NATURAL RESOURCE.
- AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE MUST BE PERMANENTLY MULCHED THE SAME DAY.
- IN THE EVENT OF A SNOWFALL GREATER THAN 1 INCH (FRESH OR CUMULATIVE), THE SNOW SHALL BE REMOVED FROM THE AREAS DUE TO BE SEEDED AND MULCHED.
- LOAM SHALL BE FREE OF FROZEN CLUMPS BEFORE IT IS APPLIED.
- A DITCH THAT WILL BE CONSTRUCTED DURING THE WINTER MUST BE STABILIZED WITH RIPRAP.

OVERWINTER STABILIZATION

- PERMANENT STABILIZATION CONSISTS OF AT LEAST 85% VEGETATION, PAVEMENT/GRAVEL BASE OR RIPRAP.
- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE, THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DISTURBED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- DO NOT EXPOSE SLOPES OR LEAVE SLOPES EXPOSED OVER THE WINTER OR FOR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS FULLY PROTECTED WITH MULCH.
- APPLY HAY MULCH AT TWICE THE STANDARD RATE (150 LBS. PER 1,000 SF). THE MULCH MUST BE THICK ENOUGH SUCH THAT THE GROUND SURFACE WILL NOT BE VISIBLE AND MUST BE ANCHORED.
- USE MULCH AND MULCH NETTING OR AN EROSION CONTROL MULCH BLANKET OR MIX FOR ALL SLOPES GREATER THAN 8% OR OTHER AREAS EXPOSED TO DIRECT WIND.
- INSTALL AN EROSION CONTROL BLANKET IN ALL DRAINAGE WAYS (BOTTOM AND SIDES) WITH A SLOPE GREATER THAN 3%.
- SEE THE VEGETATION MEASURES FOR MORE INFORMATION ON SEEDING DATES AND TYPES.

EROSION CONTROL NOTES

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED:

- INSTALLATION OF SILTATION FENCES AND OTHER EROSION CONTROL MEASURES SHALL BE COMPLETED PRIOR TO THE START OF SITE WORK IN ANY GIVEN AREA. PREFABRICATED SILTATION FENCES SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- SILTATION FENCES AND OTHER EROSION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL SLOPES HAVE A VEGETATIVE COVER OF GREATER THAN 85%. EROSION CONTROL MEASURES SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EVERY RAINFALL.
- EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
- THE AREA OF LAND EXPOSED AND THE TIME OF EXPOSURE SHALL BE MINIMIZED. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.

EROSION CONTROL NOTES (CONT.)

- ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF 4" OF LOAM. ACCEPTABLE SEED MIXES ARE AS FOLLOWS:

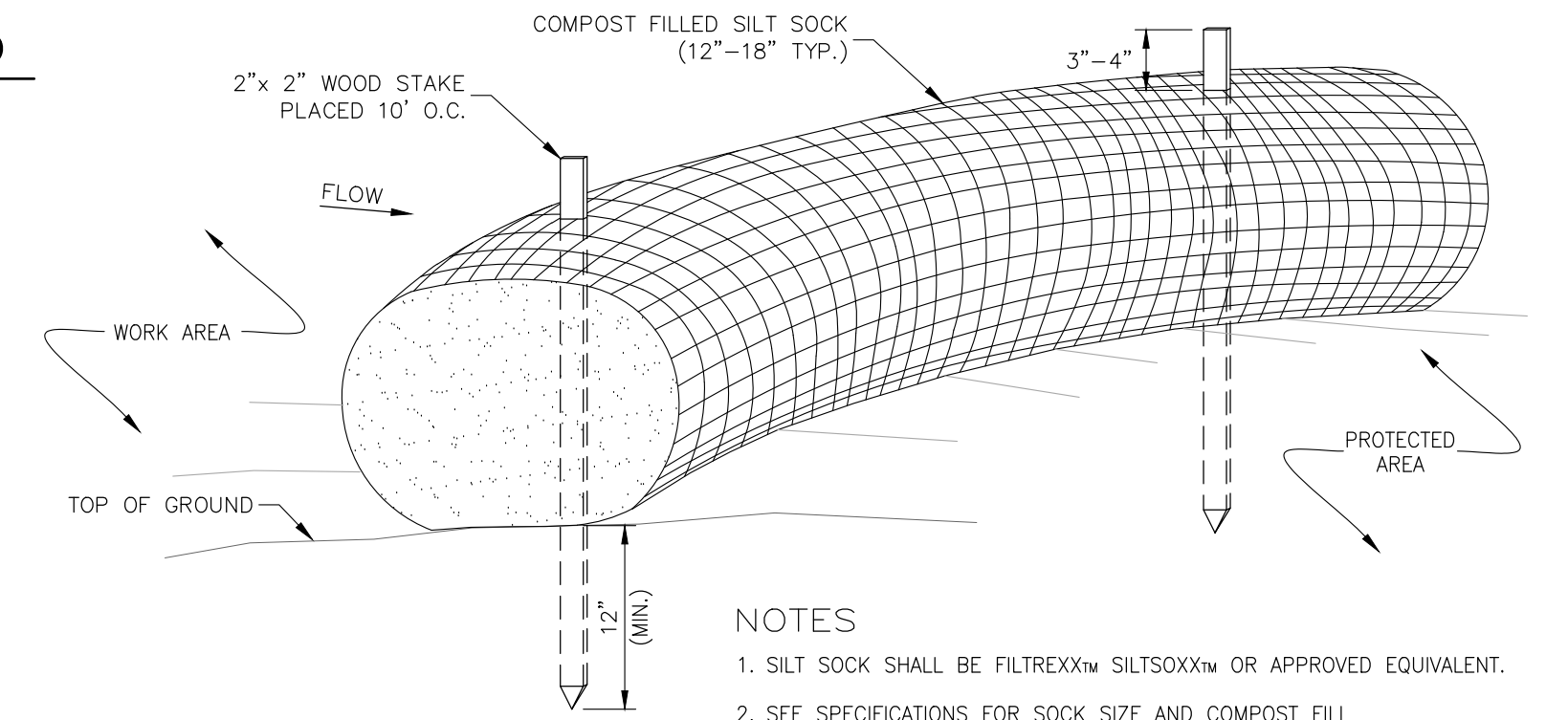
TYPICAL LAWN MIX (MIN. 200 LBS/ACRE):
 33% CREEPING RED FESCUE (MIN. 66 LBS/ACRE)
 42% PERENNIAL RYEGRASS (MIN. 84 LBS/ACRE)
 21% KENTUCKY BLUEGRASS (MIN. 42 LBS/ACRE)
 4% REDTOP (MIN. 8 LBS/ACRE)

TEMPORARY LAWN MIX (MIN. 47 LBS/ACRE):
 100% ANNUAL RYE

- PLACING LOAM ON SITE
 - ALL SUBGRADE ELEVATIONS SHOULD BE UNIFORMLY GRADED TO RECEIVE LOAM AND SHALL BE INSPECTED AND APPROVED BY THE GENERAL CONTRACTOR PRIOR TO PLACEMENT OF LOAM.
 - PLACE LOAM TO FORM A MINIMUM DEPTH OF 4" WHEN ROLLED, UNLESS OTHERWISE INDICATED. ALL DEPRESSIONS EXPOSED DURING THE ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM.
- SEED BED PREPARATION
 - AFTER FINISH GRADING AND JUST BEFORE SEEDING, THE AREAS TO BE SEEDED SHALL BE LOOSENEED TO PROVIDE A ROUGH, FIRM BUT FINELY PULVERIZED SEEDBED. THE INTENT IS A TEXTURE CAPABLE OF RETAINING WATER, SEED AND FERTILIZER WHILE REMAINING STABLE AND ALLOWING SEED TIME TO GERMINATE. SEED SHALL BE APPLIED TO THE CONDITIONED SEEDBED NOT MORE THAN 48 HOURS AFTER THE SEEDBED HAS BEEN PREPARED.
- LIME AND FERTILIZER SHALL BE INCORPORATED INTO THE SOIL PRIOR TO OR AT THE TIME OF AT THE TIME OF SEEDING. A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS. PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. SEEDING PRACTICES SHALL COMPLY WITH LOCAL USDA SOIL CONSERVATION SERVICES RECOMMENDATIONS.
- HAY MULCH OR JUTE MATTING SHALL BE USED WHERE INDICATED ON THE PLANS. A MINIMUM OF 1.5 TONS OF MULCH PER ACRE SHALL BE APPLIED. MULCH SHALL BE ANCHORED IN PLACE WHERE NECESSARY. JUTE MATTING SHALL BE LAID IN THE DIRECTION OF RUNOFF FLOW AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 15 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING WINTER MONTHS.
- WATER SHALL BE USED FOR DUST CONTROL IN APPROPRIATE AREAS.

STOCKPILE NOTES

- LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CONCENTRATED FLOWS OF STORMWATER, DRAINAGE COURSES AND INLETS.
- PROTECT ALL STOCKPILES FROM STORMWATER RUN-ON USING TEMPORARY PERIMETER MEASURES SUCH AS DIVERSIONS, BERMS, SANDBAGS OR OTHER APPROVED PRACTICES.
- STOCKPILES SHOULD BE SURROUNDED BY SEDIMENT BARRIERS, SUCH AS SILT FENCE OR SILT SOCK, TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.
- IMPLEMENT WIND EROSION CONTROL PRACTICES AS APPROPRIATE ON ALL STOCKPILED MATERIAL.
- PLACE BAGGED MATERIALS ON PALLETS AND UNDER COVER.
- INACTIVE STOCKPILES
 - INACTIVE SOIL STOCKPILES SHOULD BE COVERED WITH ANCHORED TARPS OR PROTECTED WITH SOIL STABILIZATION MEASURES (TEMPORARY SEED AND MULCH OR OTHER TEMPORARY PRACTICE) AND TEMPORARY PERIMETER SEDIMENT BARRIERS AT ALL TIMES.
 - INACTIVE STOCKPILES OF CONCRETE RUBBLE, ASPHALT CONCRETE RUBBLE, AGGREGATE MATERIALS AND OTHER SIMILAR MATERIALS SHOULD BE PROTECTED WITH TEMPORARY SEDIMENT PERIMETER BARRIERS AT ALL TIMES. IF THE MATERIALS ARE A SOURCE OF DUST, THEY SHOULD ALSO BE COVERED.
- ACTIVE STOCKPILES
 - ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY LINEAR SEDIMENT BARRIERS PRIOR TO THE ONSET OF PRECIPITATION. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
 - WHEN A STORM EVENT IS PREDICTED, STOCKPILES SHOULD BE PROTECTED WITH AN ANCHORED PROTECTIVE COVERING.



NOTES

- SILT SOCK SHALL BE FILTREXXSM SILT SOCKSM OR APPROVED EQUIVALENT.
- SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL REQUIREMENTS.
- SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED.
- COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.

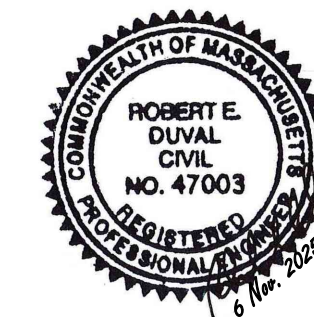
SILT SOCK

NOT TO SCALE

TAX MAP 10 LOT 109
SITE PREPARATION DETAILS
BROADWAY AUTO SALES
6 DICKEY STREET, LONDONDERRY, NH

OWNED BY/PREPARED FOR
LEON & TAMARA LAMPES
 6 DICKEY STREET, DERRY, NH 03038

NOVEMBER 6, 2025



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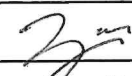
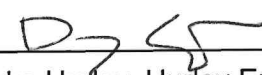
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REV	DATE	DESCRIPTION	DR	CK

	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com		
			F I 18301.00	DR CK

E. Design Firm: The Dubay Group, Inc
 Name: _____
 Address: 136 Harvey Road, B101, Londonderry, NH 03053
 Phone: 603-458-6462
 Fax: _____
 E-Mail: doug@thedubaygroup.com

F. Name of Licensed Land Surveyor: Joel Connolly, LLS
 (in responsible charge) Signature: 
 G. Name of Licensed Professional Engineer: Doug MacGuire, PE
 (in responsible charge) Signature: 
 H. Name of Certified Soil Scientist: Luke Hurley, Hurley Environmental
 I. Name of Certified Wetland Scientist: Luke Hurley, Hurley Environmental
 J. Date of Submittal to Planning Department: _____

II. General Requirements (All Applications):

	Provided	N/A
1. Executed Subdivision Formal Application Request Form (Exhibit 2)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Executed Subdivision Design Review Request Form (Exhibit 3)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Complete abutters list	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. All Required Fees	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Four (4) sets of plans and electronic "PDF" plans (12 sets if electronic plans not possible) submitted with all required information in accordance with the site plan regulations and this checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Copies of any proposed easement deeds, protective Covenants or other legal documents	<input type="checkbox"/>	<input type="checkbox"/>
7. Any waiver request(s) submitted with justification in writing	<input type="checkbox"/>	<input type="checkbox"/>
8. Technical reports and supporting documents (see Sections X & XI of this checklist)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Completed Subdivision Application Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>

		Provided	N/A
10.	Letter explaining how DRC comments have been addressed and two (2) sets of highlighted, revised drawings (applicable if pre-application design review process was followed).	<input type="checkbox"/>	<input type="checkbox"/>
III. General Plan Information (All Plans):			
1.	Size and presentation of sheet(s) per requirements of the subdivision regulations	<input type="checkbox"/>	<input type="checkbox"/>
2.	Title block information:		
	a. Drawing title	<input type="checkbox"/>	<input type="checkbox"/>
	b. Name of site plan	<input type="checkbox"/>	<input type="checkbox"/>
	c. Location of site plan	<input type="checkbox"/>	<input type="checkbox"/>
	d. Tax map & lot #s of subject parcel(s)	<input type="checkbox"/>	<input type="checkbox"/>
	e. Name & address of owner(s)	<input type="checkbox"/>	<input type="checkbox"/>
	f. Date of plan	<input type="checkbox"/>	<input type="checkbox"/>
	g. Scale of plan	<input type="checkbox"/>	<input type="checkbox"/>
	h. Sheet number	<input type="checkbox"/>	<input type="checkbox"/>
	i. Name, address, & telephone number of design firm	<input type="checkbox"/>	<input type="checkbox"/>
	j. Name and address of Applicant	<input type="checkbox"/>	<input type="checkbox"/>
3.	Revision block	<input type="checkbox"/>	<input type="checkbox"/>
4.	Planning Board approval block provided on appropriate sheets (Cover sheet, boundary plans only)	<input type="checkbox"/>	<input type="checkbox"/>
5.	Certification block (for engineer, surveyor, soil scientist, or wetland scientist)	<input type="checkbox"/>	<input type="checkbox"/>
6.	Match lines (if any)	<input type="checkbox"/>	<input type="checkbox"/>
IV. Title Sheet:			
(may be consolidated with Boundary Plan)			
1.	The following notes shall be provided:		
	a. Purpose of plan	<input type="checkbox"/>	<input type="checkbox"/>
	b. Tax map and lot #s of all subject parcels	<input type="checkbox"/>	<input type="checkbox"/>
	c. Area (existing & proposed) of subject parcel(s)	<input type="checkbox"/>	<input type="checkbox"/>
	d. Zoning designation of subject parcel(s)	<input type="checkbox"/>	<input type="checkbox"/>
	e. Min. lot area, frontages & setback dimensions	<input type="checkbox"/>	<input type="checkbox"/>
	f. Existing and proposed use	<input type="checkbox"/>	<input type="checkbox"/>
	g. Sanitary sewer source (name of provider (company) if offsite)	<input type="checkbox"/>	<input type="checkbox"/>
	h. Water supply source (name of provider (company) if offsite)	<input type="checkbox"/>	<input type="checkbox"/>
	i. Zoning variances/special exceptions with conditions	<input type="checkbox"/>	<input type="checkbox"/>
	j. List FEMA sheet(s) used to identify 100-year flood elevation. (Note if no flood zone present as applicable)	<input type="checkbox"/>	<input type="checkbox"/>
	k. List of required permits and permit approval numbers	<input type="checkbox"/>	<input type="checkbox"/>
	l. List of Planning Board waivers (if applicable)	<input type="checkbox"/>	<input type="checkbox"/>
	m. Note identifying # of bedrooms per dwelling for residential use	<input type="checkbox"/>	<input type="checkbox"/>

		Provided	N/A
n.	Phasing notes, as required, under Section 4.18i as applicable	<input type="checkbox"/>	<input type="checkbox"/>
o.	Note identifying which plans are to be recorded and which are on file at the town	<input type="checkbox"/>	<input type="checkbox"/>
p.	Note the following: "If, during construction, it becomes apparent that deficiencies exist in the approved design drawings, the Owner shall be required to correct the deficiencies to meet the requirements of the regulations at no expense to the Town."	<input type="checkbox"/>	<input type="checkbox"/>
q.	Note the following: "If, during construction, it becomes apparent that additional erosion control measures are required to stop any erosion on the construction site due to actual site conditions, the Owner shall be required to install the necessary erosion protection at no expense to the Town."	<input type="checkbox"/>	<input type="checkbox"/>
r.	Note the following: "All materials and methods of construction shall conform to Town of Londonderry Subdivision Regulations and the latest edition of the New Hampshire Department of Transportation's Standard Specifications for Road & Bridge Construction."	<input type="checkbox"/>	<input type="checkbox"/>

2.	Tax map sketch plan (or detail) showing proposed lot configuration at a scale 1" = 400'	<input type="checkbox"/>	<input type="checkbox"/>
3.	Vicinity plan (at a scale of 1"=2500')	<input type="checkbox"/>	<input type="checkbox"/>
4.	Plan index indicating all sheets	<input type="checkbox"/>	<input type="checkbox"/>

V. Boundary Plan (Subdivision, Consolidation and Lot Line Adjustment:

1.	Surveyor's certification stamped and signed by LLS	<input type="checkbox"/>	<input type="checkbox"/>
2.	Boundary of entire property by metes and bounds	<input type="checkbox"/>	<input type="checkbox"/>
3.	Proposed lot configuration defined by metes and bounds	<input type="checkbox"/>	<input type="checkbox"/>
4.	Boundary monuments:		
	a. Monuments found	<input type="checkbox"/>	<input type="checkbox"/>
	b. Monuments to be set	<input type="checkbox"/>	<input type="checkbox"/>
5.	Map # and Lot #, name addresses, and zoning of all abutting land owners	<input type="checkbox"/>	<input type="checkbox"/>
6.	Existing streets:		
	a. Name labeled	<input type="checkbox"/>	<input type="checkbox"/>
	b. Status noted or labeled	<input type="checkbox"/>	<input type="checkbox"/>
	c. Right-of-way dimensioned	<input type="checkbox"/>	<input type="checkbox"/>
	d. Pavement width dimensioned	<input type="checkbox"/>	<input type="checkbox"/>
7.	Municipal boundaries (if any)	<input type="checkbox"/>	<input type="checkbox"/>
8.	Existing easements (identified by type)	<input type="checkbox"/>	<input type="checkbox"/>

		Provided	N/A
9.	Proposed easements defined by metes & bounds. Check each type of proposed easement applicable to this application:		
	a. Drainage easement(s)	<input type="checkbox"/>	<input type="checkbox"/>
	b. Slope easement(s)	<input type="checkbox"/>	<input type="checkbox"/>
	c. Utility easement(s)	<input type="checkbox"/>	<input type="checkbox"/>
	d. Temporary easement(s) (such as temporary turnaround)	<input type="checkbox"/>	<input type="checkbox"/>
	e. No-cut zone(s), including those along streams & wetlands (as may be requested by the Conservation Commission)	<input type="checkbox"/>	<input type="checkbox"/>
	f. Vehicular & pedestrian access easement(s)	<input type="checkbox"/>	<input type="checkbox"/>
	g. Visibility easements	<input type="checkbox"/>	<input type="checkbox"/>
	h. Fire pond/cistern easement(s)	<input type="checkbox"/>	<input type="checkbox"/>
	i. Roadway widening easement(s)	<input type="checkbox"/>	<input type="checkbox"/>
	j. Walking trail easement(s)	<input type="checkbox"/>	<input type="checkbox"/>
	k. Other easement(s) _____ Note type(s) _____	<input type="checkbox"/>	<input type="checkbox"/>
10.	Designation of each proposed lot (by map & lot #s as provided by the assessor)	<input type="checkbox"/>	<input type="checkbox"/>
11.	Area of each lot (in acres & square feet):		
	a. Existing lot(s)	<input type="checkbox"/>	<input type="checkbox"/>
	b. Proposed lot(s)	<input type="checkbox"/>	<input type="checkbox"/>
12.	North Arrow	<input type="checkbox"/>	<input type="checkbox"/>
13.	Locus map (at a scale of 1" = 2,500)	<input type="checkbox"/>	<input type="checkbox"/>
14.	Limits of wetlands & CO District Boundary	<input type="checkbox"/>	<input type="checkbox"/>
15.	Wetland delineation:		
	a. Wetland delineation criteria & Certification	<input type="checkbox"/>	<input type="checkbox"/>
16.	Owner(s) signature(s)	<input type="checkbox"/>	<input type="checkbox"/>
17.	Proposed streets:		
	a. Name(s) labeled	<input type="checkbox"/>	<input type="checkbox"/>
	b. Width of right-of-way dimensioned	<input type="checkbox"/>	<input type="checkbox"/>
18.	All required setbacks (including any applicable buffers)	<input type="checkbox"/>	<input type="checkbox"/>
19.	Physical features:		
	a. Existing features --		
	Buildings	<input type="checkbox"/>	<input type="checkbox"/>
	Wells	<input type="checkbox"/>	<input type="checkbox"/>
	Septic systems	<input type="checkbox"/>	<input type="checkbox"/>
	Stonewalls	<input type="checkbox"/>	<input type="checkbox"/>
	Paved drives	<input type="checkbox"/>	<input type="checkbox"/>
	Gravel drives	<input type="checkbox"/>	<input type="checkbox"/>
20.	Location & name (if any) of any streams or waterbodies	<input type="checkbox"/>	<input type="checkbox"/>
21.	Location & elevation(s) of 100-year flood zone per FEMA Flood Insurance Study or as determined by drainage study	<input type="checkbox"/>	<input type="checkbox"/>
22.	Location of existing overhead utility lines, poles, towers, etc.	<input type="checkbox"/>	<input type="checkbox"/>

	Provided	N/A
23. Plan and deed references	<input type="checkbox"/>	<input type="checkbox"/>
24. Zoning District boundary lines (if any)	<input type="checkbox"/>	<input type="checkbox"/>
VI. Topographical/HISS Plan Requirements):		
1. Surveyor's stamp and signature by LLS	<input type="checkbox"/>	<input type="checkbox"/>
2. Boundary of entire property to be subdivided	<input type="checkbox"/>	<input type="checkbox"/>
3. Proposed lot configuration defined by metes and bounds	<input type="checkbox"/>	<input type="checkbox"/>
4. Boundary monuments:		
a. Monuments found	<input type="checkbox"/>	<input type="checkbox"/>
b. Monuments to be set	<input type="checkbox"/>	<input type="checkbox"/>
5. Map # and lot #, name addresses, and zoning of all abutting land owners	<input type="checkbox"/>	<input type="checkbox"/>
6. Existing streets:		
a. Name labeled	<input type="checkbox"/>	<input type="checkbox"/>
b. Status noted or labeled	<input type="checkbox"/>	<input type="checkbox"/>
c. Right-of-way dimensioned	<input type="checkbox"/>	<input type="checkbox"/>
d. Pavement width dimensioned	<input type="checkbox"/>	<input type="checkbox"/>
7. Municipal boundaries (if any)	<input type="checkbox"/>	<input type="checkbox"/>
8. Existing easements (identified by type)	<input type="checkbox"/>	<input type="checkbox"/>
9. Proposed easements defined by metes & bounds. Check each type of proposed easement applicable to this application:		
a. Drainage easement(s)	<input type="checkbox"/>	<input type="checkbox"/>
b. Slope easement(s)	<input type="checkbox"/>	<input type="checkbox"/>
c. Utility easement(s)	<input type="checkbox"/>	<input type="checkbox"/>
d. Temporary easement(s) (such as temporary turnaround)	<input type="checkbox"/>	<input type="checkbox"/>
e. No-cut zone(s) along streams & wetlands (as may be requested by the Conservation Commission)	<input type="checkbox"/>	<input type="checkbox"/>
f. Vehicular & pedestrian access easement(s)	<input type="checkbox"/>	<input type="checkbox"/>
g. Visibility easements	<input type="checkbox"/>	<input type="checkbox"/>
h. Fire pond/cistern easement(s)	<input type="checkbox"/>	<input type="checkbox"/>
i. Roadway widening easement(s)	<input type="checkbox"/>	<input type="checkbox"/>
j. Walking trail easement(s)	<input type="checkbox"/>	<input type="checkbox"/>
k. Other easement(s) _____ Note type(s) _____	<input type="checkbox"/>	<input type="checkbox"/>
10. Designation of each proposed lot (by map & lot #s as provided by the assessor)	<input type="checkbox"/>	<input type="checkbox"/>
11. Area of each lot (in acres & square feet):		
a. Existing lot(s)	<input type="checkbox"/>	<input type="checkbox"/>
b. Proposed lot(s)	<input type="checkbox"/>	<input type="checkbox"/>
12. North arrow	<input type="checkbox"/>	<input type="checkbox"/>

	Provided	N/A
13. Locus map (at a scale of 1" = 2,500) shown	<input type="checkbox"/>	<input type="checkbox"/>
14. Limits of wetlands	<input type="checkbox"/>	<input type="checkbox"/>
15. Wetland delineation:		
a. Wetland delineation criteria	<input type="checkbox"/>	<input type="checkbox"/>
b. Wetland scientist certification	<input type="checkbox"/>	<input type="checkbox"/>
16. Owner(s) signature(s)	<input type="checkbox"/>	<input type="checkbox"/>
17. Proposed streets:		
a. Name(s) labeled	<input type="checkbox"/>	<input type="checkbox"/>
b. Width of right-of-way dimensioned	<input type="checkbox"/>	<input type="checkbox"/>
c. Pavement width dimensioned	<input type="checkbox"/>	<input type="checkbox"/>
18. All required setbacks (including any applicable buffers)	<input type="checkbox"/>	<input type="checkbox"/>
19. Physical features (Existing Features):		
a. Buildings	<input type="checkbox"/>	<input type="checkbox"/>
b. Wells	<input type="checkbox"/>	<input type="checkbox"/>
c. Septic systems	<input type="checkbox"/>	<input type="checkbox"/>
d. Stone walls	<input type="checkbox"/>	<input type="checkbox"/>
e. Paved drives	<input type="checkbox"/>	<input type="checkbox"/>
f. Gravel drives	<input type="checkbox"/>	<input type="checkbox"/>
20. Location & name (if any) of any streams or waterbodies	<input type="checkbox"/>	<input type="checkbox"/>
21. Location & elevation(s) of 100-year flood zone per FEMA Flood Insurance Study or as determined by drainage study	<input type="checkbox"/>	<input type="checkbox"/>
22. Location of existing overhead utility lines, poles, towers, etc.	<input type="checkbox"/>	<input type="checkbox"/>
23. Plan and deed references	<input type="checkbox"/>	<input type="checkbox"/>
24. Two-foot contour interval topography shown over all subject parcels	<input type="checkbox"/>	<input type="checkbox"/>
25. Source and datum of topographic information (USGS required)	<input type="checkbox"/>	<input type="checkbox"/>
26. Show at least one benchmark per sheet (min.) and per 5 acres (min.) of total site area	<input type="checkbox"/>	<input type="checkbox"/>
27. USDA-SCS soil survey information (where municipal sewer is to be provided)	<input type="checkbox"/>	<input type="checkbox"/>
28. Location, type, size & inverts of the following (as applicable):		
a. Existing water systems	<input type="checkbox"/>	<input type="checkbox"/>
b. Existing sewer systems	<input type="checkbox"/>	<input type="checkbox"/>
c. Existing drainage systems	<input type="checkbox"/>	<input type="checkbox"/>
d. Existing utilities	<input type="checkbox"/>	<input type="checkbox"/>

	Provided	N/A
29. 4K Areas with test pits on all proposed lots (meeting NHDES & Town setback requirements)	<input type="checkbox"/>	<input type="checkbox"/>
30. Location of all water wells with protective radii as required by the NHDES (meeting Town and NHDES setback requirements)	<input type="checkbox"/>	<input type="checkbox"/>
31. Existing treelines	<input type="checkbox"/>	<input type="checkbox"/>
32. Existing ledge outcroppings & other significant natural features	<input type="checkbox"/>	<input type="checkbox"/>
33. HISS requirements:		
a. Criteria for HISS delineation	<input type="checkbox"/>	<input type="checkbox"/>
b. Soil scientist certification on plan (if HISS required)	<input type="checkbox"/>	<input type="checkbox"/>
c. HISS mapping shown over all subject parcels (where no municipal sewer exists)	<input type="checkbox"/>	<input type="checkbox"/>
34. Plan as submitted to the NHDES	<input type="checkbox"/>	<input type="checkbox"/>

VII. Improvement Plans (Stamped by Engineer Licensed in NH):

1. Grading and Drainage:		
a. Existing topography (two-foot contour interval minimum)	<input type="checkbox"/>	<input type="checkbox"/>
b. Proposed contours	<input type="checkbox"/>	<input type="checkbox"/>
c. Existing spot elevations	<input type="checkbox"/>	<input type="checkbox"/>
d. Proposed spot elevations	<input type="checkbox"/>	<input type="checkbox"/>
e. Existing edge of pavement	<input type="checkbox"/>	<input type="checkbox"/>
f. Proposed edge of pavement	<input type="checkbox"/>	<input type="checkbox"/>
g. Existing curb line	<input type="checkbox"/>	<input type="checkbox"/>
h. Proposed curb line	<input type="checkbox"/>	<input type="checkbox"/>
i. Existing buildings and structures	<input type="checkbox"/>	<input type="checkbox"/>
j. Proposed buildings and structures	<input type="checkbox"/>	<input type="checkbox"/>
k. Existing retaining walls	<input type="checkbox"/>	<input type="checkbox"/>
l. Proposed retaining walls	<input type="checkbox"/>	<input type="checkbox"/>
m. Existing stone walls	<input type="checkbox"/>	<input type="checkbox"/>
n. Reconstructed stone walls	<input type="checkbox"/>	<input type="checkbox"/>
o. Existing treeline	<input type="checkbox"/>	<input type="checkbox"/>
p. Proposed treeline	<input type="checkbox"/>	<input type="checkbox"/>
q. Benchmarks	<input type="checkbox"/>	<input type="checkbox"/>
r. Existing drainage systems:		
1.) Pipes/culverts (each location):		
i. Type	<input type="checkbox"/>	<input type="checkbox"/>
ii. Size	<input type="checkbox"/>	<input type="checkbox"/>
iii. Length and slope	<input type="checkbox"/>	<input type="checkbox"/>
iv. Inverts	<input type="checkbox"/>	<input type="checkbox"/>
v. End sections/Headwalls	<input type="checkbox"/>	<input type="checkbox"/>
2.) Structures (catchbasins, drain manholes, special structures):		
i. Location (sta. and off-set)	<input type="checkbox"/>	<input type="checkbox"/>
ii. Type	<input type="checkbox"/>	<input type="checkbox"/>
iii. Size	<input type="checkbox"/>	<input type="checkbox"/>
iv. Rim Elevations	<input type="checkbox"/>	<input type="checkbox"/>
v. Inverts	<input type="checkbox"/>	<input type="checkbox"/>

		Provided	N/A
3.)	Swales/Ditches/Waterways:		
	i. Flow arrows (direction of flow)	<input type="checkbox"/>	<input type="checkbox"/>
	ii. Topography	<input type="checkbox"/>	<input type="checkbox"/>
	iii. Spot elevations	<input type="checkbox"/>	<input type="checkbox"/>
t.	Proposed Drainage Systems:		
1.)	Pipes/culverts (each location):		
	i. Type	<input type="checkbox"/>	<input type="checkbox"/>
	ii. Size	<input type="checkbox"/>	<input type="checkbox"/>
	iii. Length and slope	<input type="checkbox"/>	<input type="checkbox"/>
	iv. Inverts	<input type="checkbox"/>	<input type="checkbox"/>
	v. End sections/headwalls	<input type="checkbox"/>	<input type="checkbox"/>
	vi. Identify minimum cover and location	<input type="checkbox"/>	<input type="checkbox"/>
	vii. Outlet erosion protection	<input type="checkbox"/>	<input type="checkbox"/>
2.)	Structures (catchbasins, drain manholes, special structures):		
	i. Location (sta. and off-set)	<input type="checkbox"/>	<input type="checkbox"/>
	ii. Type	<input type="checkbox"/>	<input type="checkbox"/>
	iii. Size	<input type="checkbox"/>	<input type="checkbox"/>
	iv. Rim elevations	<input type="checkbox"/>	<input type="checkbox"/>
	v. Inverts	<input type="checkbox"/>	<input type="checkbox"/>
3.)	Swales/ditches/waterways:		
	i. Flow arrows (direction of flow)	<input type="checkbox"/>	<input type="checkbox"/>
	ii. Grading	<input type="checkbox"/>	<input type="checkbox"/>
	iii. Spot elevations	<input type="checkbox"/>	<input type="checkbox"/>
	iv. Erosion protection (riprap, matting, etc.)	<input type="checkbox"/>	<input type="checkbox"/>
u.	Temporary erosion protection during construction:		
1.)	Silt fence, haybales, etc.	<input type="checkbox"/>	<input type="checkbox"/>
2.)	Matting, mulch, etc.	<input type="checkbox"/>	<input type="checkbox"/>
2.	Utilities:		
a.	Existing sanitary sewer system:		
1.)	Pipes:		
	i. Type	<input type="checkbox"/>	<input type="checkbox"/>
	ii. Size	<input type="checkbox"/>	<input type="checkbox"/>
	iii. Length and slope	<input type="checkbox"/>	<input type="checkbox"/>
2.)	Structures:		
	i. Location (sta. and off-set)	<input type="checkbox"/>	<input type="checkbox"/>
	ii. Type	<input type="checkbox"/>	<input type="checkbox"/>
	iii. Size	<input type="checkbox"/>	<input type="checkbox"/>
	iv. Rim elevations	<input type="checkbox"/>	<input type="checkbox"/>
	v. Inverts	<input type="checkbox"/>	<input type="checkbox"/>
b.	Proposed sanitary sewer system:		
1.)	Pipes (gravity):		
	i. Type	<input type="checkbox"/>	<input type="checkbox"/>
	ii. Size	<input type="checkbox"/>	<input type="checkbox"/>
	iii. Length and slope	<input type="checkbox"/>	<input type="checkbox"/>
	iv. Separation (18" below water)	<input type="checkbox"/>	<input type="checkbox"/>
	v. Identify minimum cover and locations	<input type="checkbox"/>	<input type="checkbox"/>

		Provided	N/A
2.)	Force Main:		
	i. Type	<input type="checkbox"/>	<input type="checkbox"/>
	ii. Size	<input type="checkbox"/>	<input type="checkbox"/>
	iii. Direction of flow (flow arrows)	<input type="checkbox"/>	<input type="checkbox"/>
	iv. Bends and thrust blocking	<input type="checkbox"/>	<input type="checkbox"/>
	v. Air relief valves and structures	<input type="checkbox"/>	<input type="checkbox"/>
	vi. Clean-out structures	<input type="checkbox"/>	<input type="checkbox"/>
	vii. Identify minimum cover and locations	<input type="checkbox"/>	<input type="checkbox"/>
3.)	Structures:		
	i. Location (sta. and off-set)	<input type="checkbox"/>	<input type="checkbox"/>
	ii. Type	<input type="checkbox"/>	<input type="checkbox"/>
	iii. Size	<input type="checkbox"/>	<input type="checkbox"/>
	iv. Rim elevations	<input type="checkbox"/>	<input type="checkbox"/>
	v. Inverts	<input type="checkbox"/>	<input type="checkbox"/>
4.)	Service laterals to each individual lot:		
	i. Type	<input type="checkbox"/>	<input type="checkbox"/>
	ii. Size	<input type="checkbox"/>	<input type="checkbox"/>
	iii. Length and slope	<input type="checkbox"/>	<input type="checkbox"/>
	iv. Separation (18" below water)	<input type="checkbox"/>	<input type="checkbox"/>
	v. Minimum cover and locations identified	<input type="checkbox"/>	<input type="checkbox"/>
	vi. Location of connection	<input type="checkbox"/>	<input type="checkbox"/>
c.	Existing Water System:		
1.)	Pipes:		
	i. Type	<input type="checkbox"/>	<input type="checkbox"/>
	ii. Size	<input type="checkbox"/>	<input type="checkbox"/>
2.)	Hydrants	<input type="checkbox"/>	<input type="checkbox"/>
3.)	Valves	<input type="checkbox"/>	<input type="checkbox"/>
4.)	Bends and thrust blocks	<input type="checkbox"/>	<input type="checkbox"/>
5.)	Tees	<input type="checkbox"/>	<input type="checkbox"/>
d.	Proposed Water System:		
1.)	Pipes:		
	i. Type	<input type="checkbox"/>	<input type="checkbox"/>
	ii. Size	<input type="checkbox"/>	<input type="checkbox"/>
2.)	Hydrants		
	i. Locations approved by Fire Department	<input type="checkbox"/>	<input type="checkbox"/>
3.)	Valves	<input type="checkbox"/>	<input type="checkbox"/>
4.)	Bends and thrust blocks	<input type="checkbox"/>	<input type="checkbox"/>
5.)	Tees	<input type="checkbox"/>	<input type="checkbox"/>
e.	Existing Gas Lines:		
1.)	Pipes:		
	i. Type	<input type="checkbox"/>	<input type="checkbox"/>
	ii. Size	<input type="checkbox"/>	<input type="checkbox"/>
2.)	Valves	<input type="checkbox"/>	<input type="checkbox"/>
f.	Proposed Gas Lines:		
1.)	Pipes:		
	i. Type	<input type="checkbox"/>	<input type="checkbox"/>
	ii. Size	<input type="checkbox"/>	<input type="checkbox"/>
2.)	Valves	<input type="checkbox"/>	<input type="checkbox"/>

	Provided	N/A
3.) Services to each lot	<input type="checkbox"/>	<input type="checkbox"/>
g. Telephone/Electrical/Cable:		
1.) U-poles	<input type="checkbox"/>	<input type="checkbox"/>
2.) Pedestals/transformers	<input type="checkbox"/>	<input type="checkbox"/>
3.) Overhead lines	<input type="checkbox"/>	<input type="checkbox"/>
4.) Underground lines	<input type="checkbox"/>	<input type="checkbox"/>
5.) Services to each lot	<input type="checkbox"/>	<input type="checkbox"/>
3. Roadways:		
a. Plan and profile drawings (stamped by engineer licensed in NH)	<input type="checkbox"/>	<input type="checkbox"/>
1.) All items required above under a. Grading and Drainage	<input type="checkbox"/>	<input type="checkbox"/>
2.) All items required above under b. Utilities	<input type="checkbox"/>	<input type="checkbox"/>
3.) Profile grid (station and elevation) with horizontal To vertical scale (ratio = 10:1) and datum	<input type="checkbox"/>	<input type="checkbox"/>
4.) Existing grade profile	<input type="checkbox"/>	<input type="checkbox"/>
5.) Proposed profile:		
i. PVIs (station and elevation)	<input type="checkbox"/>	<input type="checkbox"/>
ii. PVCs (station and elevation)	<input type="checkbox"/>	<input type="checkbox"/>
iii. PVTs (station and elevation)	<input type="checkbox"/>	<input type="checkbox"/>
iv. Length of vertical curve	<input type="checkbox"/>	<input type="checkbox"/>
v. K-values	<input type="checkbox"/>	<input type="checkbox"/>
vi. Tangent slopes	<input type="checkbox"/>	<input type="checkbox"/>
vii. Drainage system	<input type="checkbox"/>	<input type="checkbox"/>
viii. Sewer system	<input type="checkbox"/>	<input type="checkbox"/>
ix. Water system	<input type="checkbox"/>	<input type="checkbox"/>
x. Crest stations identified (stations and elevations)	<input type="checkbox"/>	<input type="checkbox"/>
xi. Sag station identified (stations and elevations)	<input type="checkbox"/>	<input type="checkbox"/>
xii. Existing and proposed grades at fifty (50) foot stations	<input type="checkbox"/>	<input type="checkbox"/>
6.) Road intersection (equation of stations)	<input type="checkbox"/>	<input type="checkbox"/>
7.) Label street name	<input type="checkbox"/>	<input type="checkbox"/>
8.) Right-of-way lines	<input type="checkbox"/>	<input type="checkbox"/>
9.) Easement lines:		
i. Drainage	<input type="checkbox"/>	<input type="checkbox"/>
ii. Sewer	<input type="checkbox"/>	<input type="checkbox"/>
iii. Visibility	<input type="checkbox"/>	<input type="checkbox"/>
iv. Utility	<input type="checkbox"/>	<input type="checkbox"/>
v. Access	<input type="checkbox"/>	<input type="checkbox"/>
vi. Slope	<input type="checkbox"/>	<input type="checkbox"/>
10.) Wetlands Mapping:		
i. Wetland limits identified	<input type="checkbox"/>	<input type="checkbox"/>
ii. Impact area identified in square feet for each individual location	<input type="checkbox"/>	<input type="checkbox"/>
11.) Driveway shown to each individual lot (with grading and culverts if required)	<input type="checkbox"/>	<input type="checkbox"/>

	Provided	N/A
12.) Centerline geometry including:		
i. Bearings and distances labeled	<input type="checkbox"/>	<input type="checkbox"/>
ii. Tangents	<input type="checkbox"/>	<input type="checkbox"/>
iii. Curve data	<input type="checkbox"/>	<input type="checkbox"/>
iv. PC's	<input type="checkbox"/>	<input type="checkbox"/>
v. PT's	<input type="checkbox"/>	<input type="checkbox"/>
13.) Pavement:		
i. Width	<input type="checkbox"/>	<input type="checkbox"/>
ii. Corner radius (edge of pavement)	<input type="checkbox"/>	<input type="checkbox"/>
iii. Curbing	<input type="checkbox"/>	<input type="checkbox"/>
14.) Existing and proposed lot lines	<input type="checkbox"/>	<input type="checkbox"/>
15.) Lot designations	<input type="checkbox"/>	<input type="checkbox"/>
16.) Underdrain location (beginning and end stations)	<input type="checkbox"/>	<input type="checkbox"/>
17.) Guardrail Location (beginning and end stations, off-set)	<input type="checkbox"/>	<input type="checkbox"/>
18.) Traffic control signs (stop, street, etc.)	<input type="checkbox"/>	<input type="checkbox"/>
19.) Pavement markings	<input type="checkbox"/>	<input type="checkbox"/>

VIII. Construction Detail Drawings:

Note: Construction details to conform with NHDOT Standards & Specifications for Roads & Bridges, Town of Londonderry Department of Public Works requirements, and Subdivision Regulations

1.	Typical cross-section of pavement	<input type="checkbox"/>	<input type="checkbox"/>
2.	Typical driveway apron detail	<input type="checkbox"/>	<input type="checkbox"/>
3.	Curbing detail	<input type="checkbox"/>	<input type="checkbox"/>
4.	Guardrail detail	<input type="checkbox"/>	<input type="checkbox"/>
5.	Sidewalk detail	<input type="checkbox"/>	<input type="checkbox"/>
6.	Traffic signs and pavement markings	<input type="checkbox"/>	<input type="checkbox"/>
7.	Typical underdrain trench detail	<input type="checkbox"/>	<input type="checkbox"/>
8.	Drainage structure(s):		
a.	Catchbasin (including frame and grate)	<input type="checkbox"/>	<input type="checkbox"/>
b.	Manhole (including frame and cover)	<input type="checkbox"/>	<input type="checkbox"/>
c.	Outlet structure (detention basins)	<input type="checkbox"/>	<input type="checkbox"/>
d.	Headwalls	<input type="checkbox"/>	<input type="checkbox"/>
e.	Flared end sections	<input type="checkbox"/>	<input type="checkbox"/>
9.	Outlet protection riprap apron	<input type="checkbox"/>	<input type="checkbox"/>
10.	Level spreader	<input type="checkbox"/>	<input type="checkbox"/>
11.	Treatment swale	<input type="checkbox"/>	<input type="checkbox"/>
12.	Typical section at detention basin	<input type="checkbox"/>	<input type="checkbox"/>

		Provided	N/A
13.	Typical pipe trench:		
	a. Drainage	<input type="checkbox"/>	<input type="checkbox"/>
	b. Sewer	<input type="checkbox"/>	<input type="checkbox"/>
	c. Water	<input type="checkbox"/>	<input type="checkbox"/>
	d. Utilities	<input type="checkbox"/>	<input type="checkbox"/>
14.	Sewer structures:		
	a. Manholes (including frame and cover, inverts)	<input type="checkbox"/>	<input type="checkbox"/>
	b. Drop manholes	<input type="checkbox"/>	<input type="checkbox"/>
	c. Special structures (pump stations, blowoffs, etc.)	<input type="checkbox"/>	<input type="checkbox"/>
	d. Pipe manhole joint details	<input type="checkbox"/>	<input type="checkbox"/>
15.	Typical sewer lateral service connection detail	<input type="checkbox"/>	<input type="checkbox"/>
16.	Typical chimney detail	<input type="checkbox"/>	<input type="checkbox"/>
17.	Project specific sewer details (sleeves, etc.)	<input type="checkbox"/>	<input type="checkbox"/>
18.	Typical sewer notes (as per NHDES and Sewer Division requirements)	<input type="checkbox"/>	<input type="checkbox"/>
19.	Hydrant detail	<input type="checkbox"/>	<input type="checkbox"/>
20.	Thrust block details	<input type="checkbox"/>	<input type="checkbox"/>
21.	Valve box detail	<input type="checkbox"/>	<input type="checkbox"/>
22.	Typical water connection service detail	<input type="checkbox"/>	<input type="checkbox"/>
23.	Erosion control details:		
	a. Haybale barriers at waterways	<input type="checkbox"/>	<input type="checkbox"/>
	b. Silt fence	<input type="checkbox"/>	<input type="checkbox"/>
	c. Stone check dam	<input type="checkbox"/>	<input type="checkbox"/>
	d. Stone construction entrance	<input type="checkbox"/>	<input type="checkbox"/>
	e. Inlet filter basket	<input type="checkbox"/>	<input type="checkbox"/>
	f. Haybale barrier at catchbasin	<input type="checkbox"/>	<input type="checkbox"/>
24.	Notes:		
	a. General notes as required by the Department of Public Works	<input type="checkbox"/>	<input type="checkbox"/>
	b. Construction sequence	<input type="checkbox"/>	<input type="checkbox"/>
	c. Erosion control notes	<input type="checkbox"/>	<input type="checkbox"/>
	d. Turf establishment notes	<input type="checkbox"/>	<input type="checkbox"/>
	e. Sewer construction notes (as required by Sewer Ordinance)	<input type="checkbox"/>	<input type="checkbox"/>
	f. Water system construction notes (as required by local water company)	<input type="checkbox"/>	<input type="checkbox"/>

IX. Cross-Sections:

1.	Roadway cross sections at 50-foot intervals	<input type="checkbox"/>	<input type="checkbox"/>
2.	Roadway cross sections at culvert locations (inlet/outlet)	<input type="checkbox"/>	<input type="checkbox"/>

		Provided	N/A
3.	Scale of sections at 1" = 5' H & V	<input type="checkbox"/>	<input type="checkbox"/>
4.	Existing & finish centerline grades	<input type="checkbox"/>	<input type="checkbox"/>
5.	Proposed pavement, crushed gravel and bank run gravel limits	<input type="checkbox"/>	<input type="checkbox"/>
6.	Right-of-way and easement limits	<input type="checkbox"/>	<input type="checkbox"/>
7.	Roadway & shoulder cross slopes	<input type="checkbox"/>	<input type="checkbox"/>
8.	Embankment slopes	<input type="checkbox"/>	<input type="checkbox"/>
9.	Underdrains	<input type="checkbox"/>	<input type="checkbox"/>
10.	Drainage piping and structures	<input type="checkbox"/>	<input type="checkbox"/>
11.	Sewer piping and structures	<input type="checkbox"/>	<input type="checkbox"/>
12.	Utilities:		
	a. Water lines	<input type="checkbox"/>	<input type="checkbox"/>
	b. Gas lines	<input type="checkbox"/>	<input type="checkbox"/>
	c. Telephone/electric/cable	<input type="checkbox"/>	<input type="checkbox"/>
13.	Guardrail	<input type="checkbox"/>	<input type="checkbox"/>

X. Supporting Documentation:

1.	Lot sizing calculations	<input type="checkbox"/>	<input type="checkbox"/>
2.	Test pit/perc.test data	<input type="checkbox"/>	<input type="checkbox"/>
3.	Stormwater management report including the following:		
	a. Table of contents	<input type="checkbox"/>	<input type="checkbox"/>
	b. Narrative statement (including conclusions)	<input type="checkbox"/>	<input type="checkbox"/>
	c. Summary table comparing existing and post-development conditions	<input type="checkbox"/>	<input type="checkbox"/>
	d. Summary table of data for each pipe & piping system:		
	1.) Discharge	<input type="checkbox"/>	<input type="checkbox"/>
	2.) Depth of flow	<input type="checkbox"/>	<input type="checkbox"/>
	3.) Velocity	<input type="checkbox"/>	<input type="checkbox"/>
	e. Summary table of data for each swale & channel:		
	1.) Discharge	<input type="checkbox"/>	<input type="checkbox"/>
	2.) Depth of flow	<input type="checkbox"/>	<input type="checkbox"/>
	3.) Velocity	<input type="checkbox"/>	<input type="checkbox"/>
	f. Project location plan (on USGS quadrangle)	<input type="checkbox"/>	<input type="checkbox"/>
	g. Watershed area plan for existing condition	<input type="checkbox"/>	<input type="checkbox"/>
	h. Watershed area plan for post-development condition	<input type="checkbox"/>	<input type="checkbox"/>
	i. Runoff calculations for existing & post-development conditions	<input type="checkbox"/>	<input type="checkbox"/>
	j. Flood routing calculations for each detention basin	<input type="checkbox"/>	<input type="checkbox"/>

		Provided	N/A
k.	Design for water quality treatment facilities (level spreaders, treatment swales, etc.)	<input type="checkbox"/>	<input type="checkbox"/>
l.	Riprap design calculations	<input type="checkbox"/>	<input type="checkbox"/>
m.	Report stamped by licensed professional engineer in NH	<input type="checkbox"/>	<input type="checkbox"/>
4.	Traffic Impact Analysis:		
a.	Traffic Impact analysis as required by Section 3.14	<input type="checkbox"/>	<input type="checkbox"/>
5.	Fiscal impact study provided (if required)	<input type="checkbox"/>	<input type="checkbox"/>
6.	Off-site improvements:		
a.	Design plans included in the project drawings	<input type="checkbox"/>	<input type="checkbox"/>
b.	Arrangements and agreements	<input type="checkbox"/>	<input type="checkbox"/>
c.	Easements	<input type="checkbox"/>	<input type="checkbox"/>
7.	Utility clearance letters (as applicable):		
a.	Electric	<input type="checkbox"/>	<input type="checkbox"/>
b.	Telephone	<input type="checkbox"/>	<input type="checkbox"/>
c.	Cable television	<input type="checkbox"/>	<input type="checkbox"/>
d.	Gas	<input type="checkbox"/>	<input type="checkbox"/>
e.	Water	<input type="checkbox"/>	<input type="checkbox"/>
f.	Sewer	<input type="checkbox"/>	<input type="checkbox"/>
8.	Other project-specific information as required by the Design Review Committee (DRC)	<input type="checkbox"/>	<input type="checkbox"/>

XI. Required Project Permits (as applicable to applications):

	Provided	N/A	App Submitted
1. NHDES subdivision approval	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. NHDES site-specific approval	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. NHDES wetlands permit	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. NHDES sewer discharge permit	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. NHDES water supply permit	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. NHDES dam permit	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. NHDOT driveway permit	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Londonderry ZBA variance(s)/special exception(s)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Londonderry sewer discharge permit	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Army Corps of Engineers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Federal Aviation Administration	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. Other federal, state or local permits (if applicable) for project	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

XII. Acknowledgment and Signature:

The undersigned acknowledges he/she has read and understands all of the Town's current zoning, subdivision, site plan, and health regulations and requirements for obtaining all required local, state, and federal permits.

(Signature of person preparing plans)

(Name)

(Title)

(Date)

GENERAL NOTES

- The purpose of this plan is to consolidate & subdivide the existing undeveloped Tax Map 5 Lots 39 & 39-5 into ELEVEN house lots; Ten of which have frontage on Elwood Road and one with frontage on Dan Hill Road. Also as part of the project, Tax Map 5 Lots 40 & 72 are proposed to be consolidated & subdivided into FIVE House lots. Houses are anticipated to be 4 bedrooms.
- The parcels are Tax Map 5, Lot 39 (35 Elwood Road); Lots 40 & 72 (54 Elwood Road); & Lot 39-5 (16 Dan Hill Road).
- The existing parcels areas are as follows: Tax Map 5 Lot 39 is 2,077,616 square feet or 47.696 acres, Tax Map 5 Lot 39-5 is 117,790 square feet or 2.704 acres, Tax Map 5 Lot 40 is 2,546,217 square feet or 58.453 acres and Tax Map 5 Lot 72 is 712,026 square feet or 16.346 acres.
- Proposed lot areas:

- 005-39 = 512,586 square feet or 11.767 acres
- 005-39-6 = 68,324 square feet or 1.568 acres
- 005-39-7 = 75,742 square feet or 1.739 acres
- 005-39-8 = 93,312 square feet or 2.142 acres
- 005-39-9 = 115,727 square feet or 2.657 acres
- 005-39-10 = 157,563 square feet or 3.617 acres
- 005-39-11 = 130,663 square feet or 3.000 acres
- 005-39-12 = 99,902 square feet or 2.293 acres
- 005-39-13 = 89,076 square feet or 2.045 acres
- 005-39-14 = 108,332 square feet or 2.487 acres
- 005-39-5 = 744,179 square feet or 17.084 acres
- 005-40 = 89,292 square feet or 2.050 acres
- 005-40-15 = 331,469 square feet or 7.610 acres
- 005-40-16 = 57,117 square feet or 1.311 acres
- 005-40-17 = 67,170 square feet or 1.542 acres
- 005-72 = 2,713,194 square feet or 62.289 acres

- The lot is in the Agricultural-Residential (AR-1) zoning district.
- Dimensional Requirements:
 - Minimum Lot Area:
SOILS BASED (soils based) (min. req'd & provided)
 - Frontage:
150 LF (min. req'd & provided)
 - Effective Setbacks & Buffers:
Front 40 FT (min req'd & provided)
Side 15 FT (min req'd & provided)
Rear 15 Ft (min req'd & provided)
- Lots shall be serviced by on-site wells and septic systems.
- A portion of Tax Map 5 Lot 39 is within a special flood hazard area (100 year flood) and Tax Map 5 Lots 40, 72, & 39-5 are not located within a special flood hazard area (100 year flood) per Flood Insurance Rate Map 33015C0508E and the flood insurance study for Rockingham County with effective dates of May 17, 2005.
- The subdivision plan (sheets 10-15 of 40) will be recorded at the Rockingham County Registry of Deeds and all sheets will be on file at the Town.

Required Notes:

- "If, during construction, it becomes apparent that deficiencies exist in the approved design drawings, the owner shall be required to correct the deficiencies to meet the requirements of the regulations at no expense to the Town."
- "If, during construction, it becomes apparent that additional erosion control measures are required to stop any erosion on the construction site due to actual site conditions, the Owner shall be required to install the necessary erosion protection at no expense to the Town."
- "All materials and methods of construction shall conform to Town of Londonderry Subdivision Regulations and the latest edition of the New Hampshire Department of Transportation's Standard Specifications for Road and Bridge Construction."

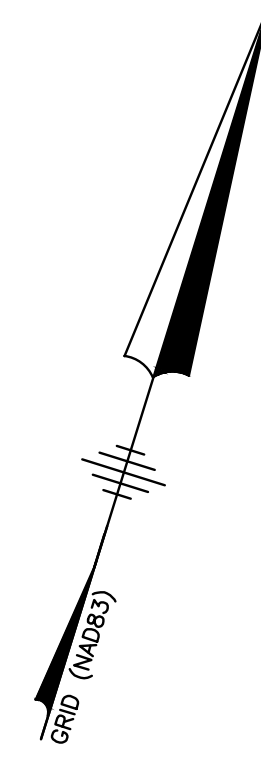
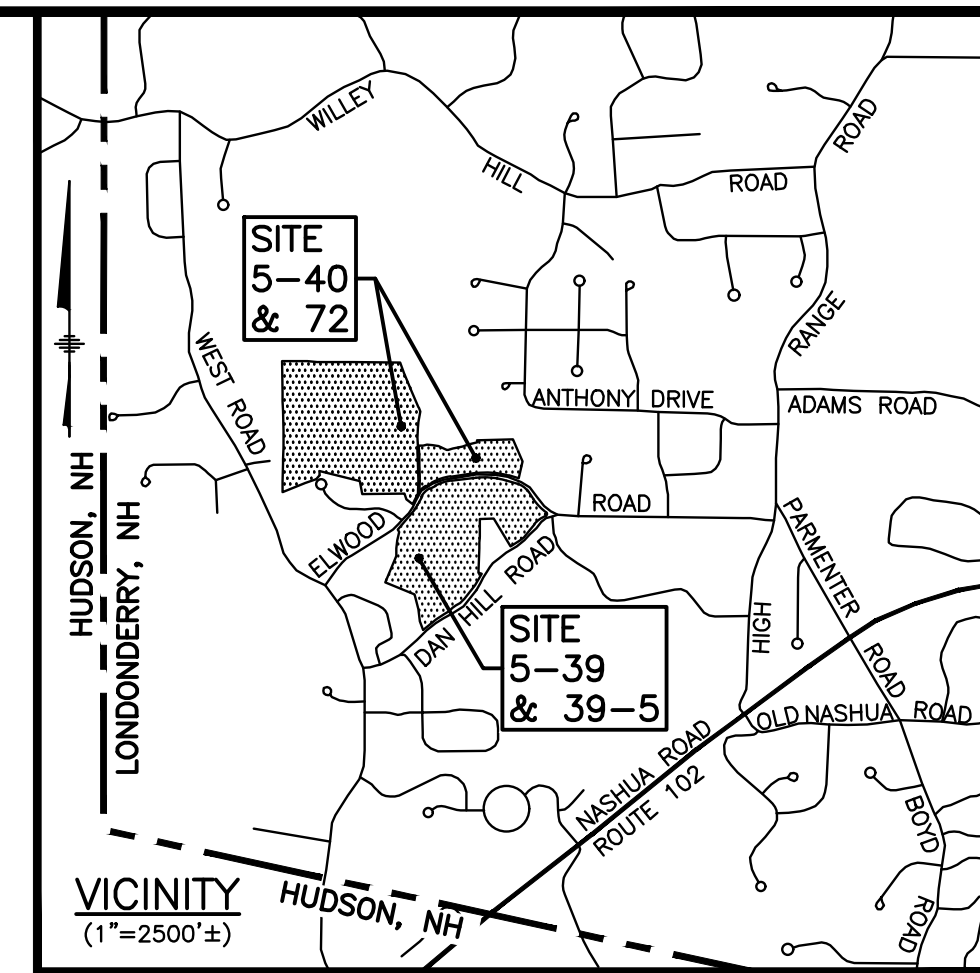
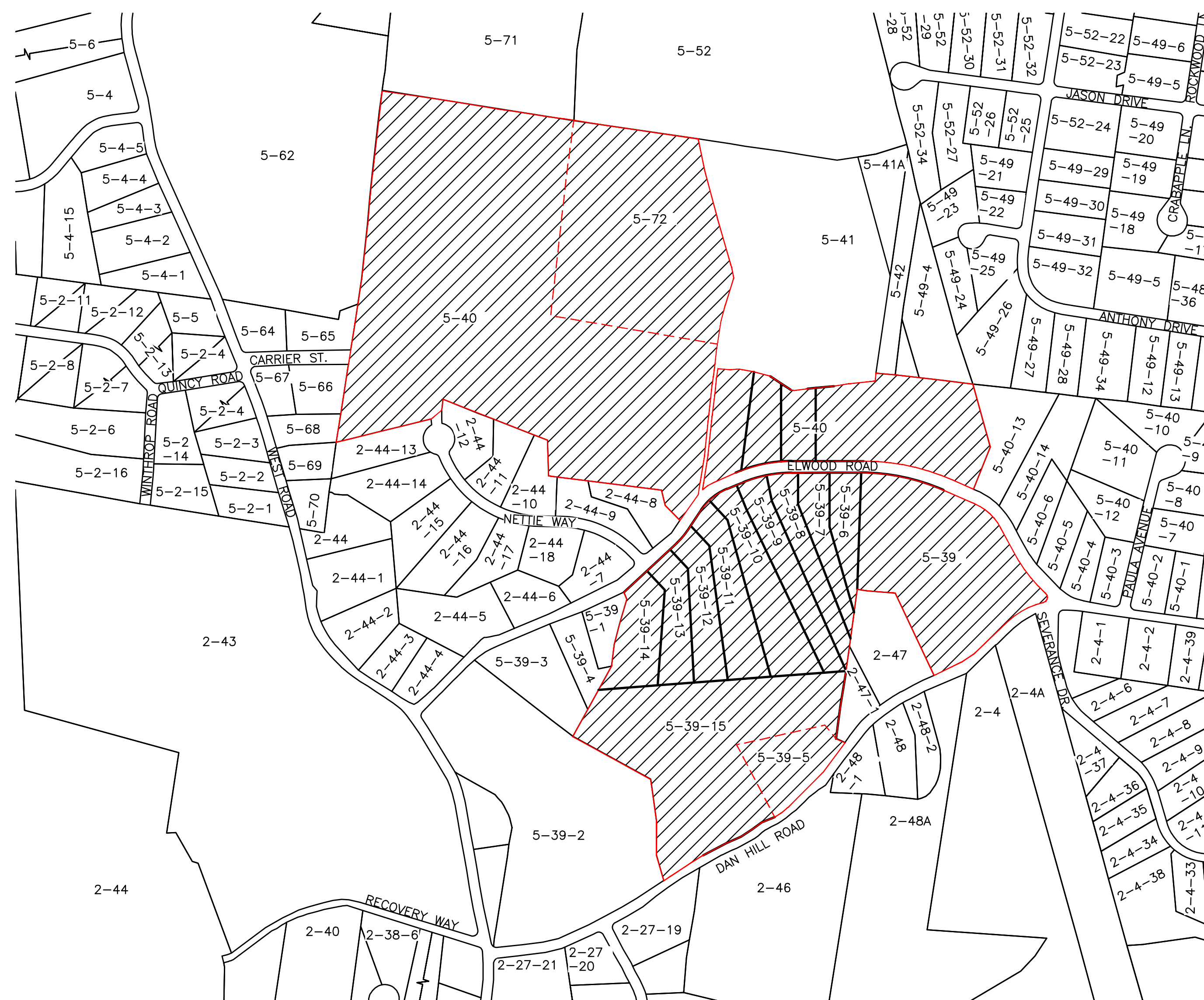
GENERAL AND SUBSEQUENT CONDITIONS:

- No construction or site work for the subdivision may be undertaken until a pre-construction meeting with Town staff has taken place, filing of an NPDES - EPA permit (if required), and posting of the appropriate financial guaranty with the Town. Contact the Department of Public Works to arrange the pre-construction meeting.
- The project must be built and executed as specified in the approved application package unless modifications are approved by the Planning Department & Department of Public Works, or, if Staff deems applicable, the Planning Board.
- All of the documentation submitted in the application package by the applicant and any requirements imposed by other agencies are part of this approval unless otherwise updated, revised, clarified in some manner, or superseded in full or in part. In the case of conflicting information between documents, the most recent documentation and this notice herein shall generally be determining.
- Prior to issuance of a certificate of occupancy, all site improvements and offsite improvements, if any, shall be completed.
- It is the responsibility of the applicant to obtain all other local, state, and federal permits, licenses, and approvals which may be required as part of this project (that were not received prior to certification of the plans). Contact the Building Division at extension 115 regarding building permits.

SUBDIVISION PLAN

MAP 5 LOT 39, 39-5, 40 & 72

35 & 54 ELWOOD ROAD
LONDONDERRY, NEW HAMPSHIRE



OWNER'S SIGNATURE

Linda Elwood
LINDA ELWOOD DATE: 12-15-2025

Christina Elwood
CHRISTINA ELWOOD DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

Permits & Approvals:

	Permit #	Date
Subdivision Approval		
NHDES Subdivision		
Londonderry Stormwater Permit		

SHEET INDEX

1	TITLE SHEET
2-3	EXISTING CONDITIONS PLAN
4-9	HIGH INTENSITY SOILS PLAN
10-15	SUBDIVISION PLAN
16-21	TOPOGRAPHICAL SUBDIVISION PLAN
22-24	PROTOTYPICAL LOT GRADING
25-40	SIGHT DISTANCE PLANS AND PROFILES
41-42	SITE DETAILS

TITLE SHEET

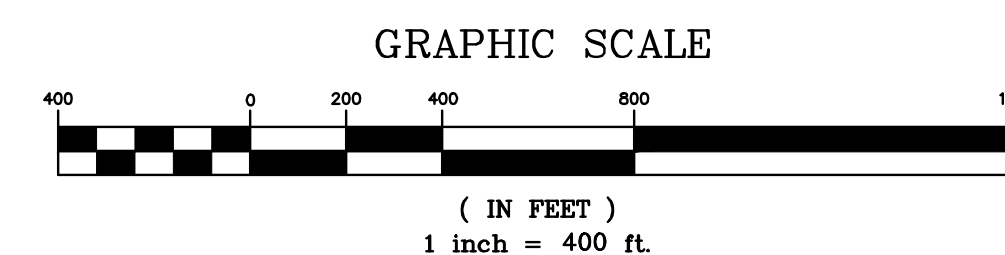
TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: AS NOTED

DATE: DEC. 12, 2025



APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____
ON DATE _____

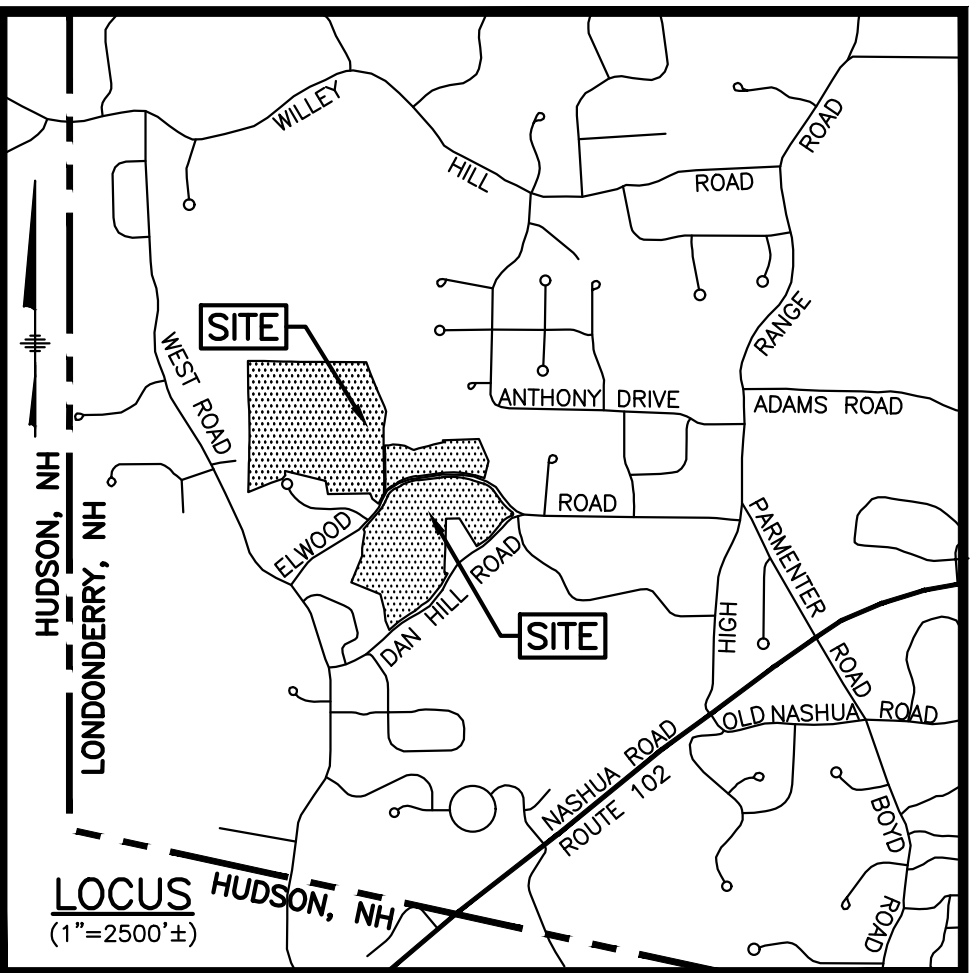
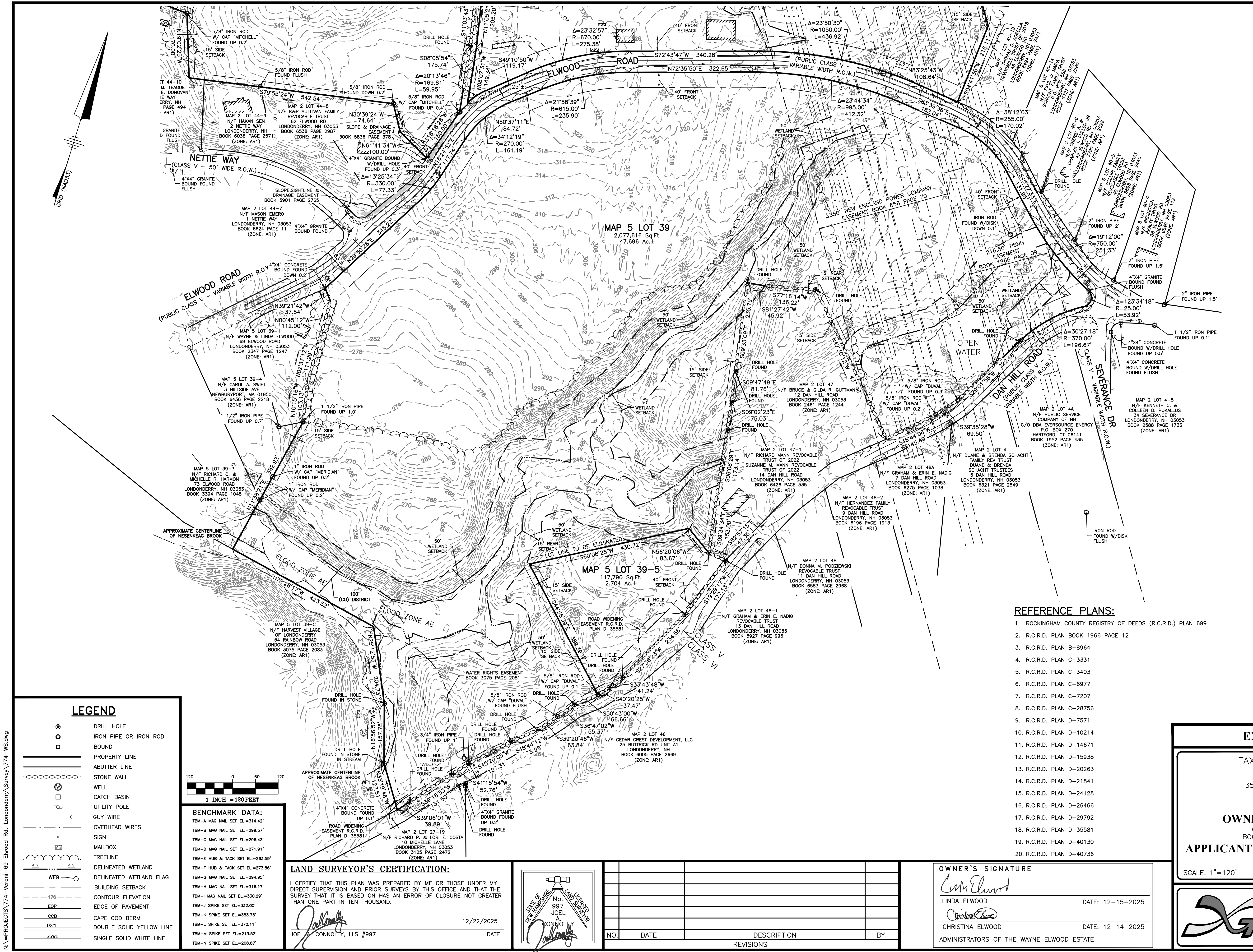
CERTIFIED BY:
CHAIRMAN _____
SECRETARY _____

NO.	DATE	DESCRIPTION	BY
REVISIONS			

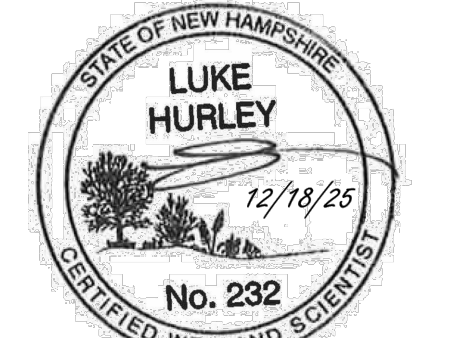
The Dubay Group, Inc.
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462 - www.thedubaygroup.com
Engineers | Planners | Surveyors

Drawn By: DSJ
Checked By: JAC
Project: 774
File: 774-COVER

SHEET 1 of 42



- NOTES:**
- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING SITE CONDITIONS OF MAP 5 LOTS 39, 40 & 72 BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN JUNE AND JULY 2025 AND SUPPLEMENTED WITH DATA EXTRACTED FROM UAS (DRONE) IMAGERY AND LIDAR COLLECTED BY THIS OFFICE ON JUNE 16, 2025.
 - THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN JUNE AND JULY, 2025 AND PLAN REFERENCES LISTED HEREON.
 - THE HORIZONTAL DATUM IS BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JULY, 2025.
 - THE VERTICAL DATUM IS BASED ON NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JULY, 2025.
 - UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RECORD DESIGN PLANS, DIG SAFE FLAGGING, AND/OR INFORMATION PROVIDED BY THE TOWN OF LONDONDERRY, NH, AND ABOVE GROUND FEATURES LOCATED BY THIS OFFICE. SAID UNDERGROUND UTILITIES ARE NOT WARRANTED TO BE EXACT OR INCLUSIVE OF ALL EXISTING UTILITIES.
 - A PORTION OF MAP 5 LOT 39 IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) AND TAX MAP 5 LOTS 40 & 72 ARE NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP 33015C0508E, WITH AN EFFECTIVE DATE OF MAY 17, 2005.
 - MAP 5 LOT 39, 40 & 72 IS ZONED AGRICULTURAL-RESIDENTIAL (AR-1) PER THE TOWN OF LONDONDERRY ZONING MAP.
- MIN LOT SIZE: SOIL BASE
 MIN LOT FRONTAGE: 150 FT
 MIN FRONT YARD: 40 FT
 MIN SIDE YARD: 15 FT
 MIN REAR YARD: 15 FT
- REFER TO THE TOWN OF LONDONDERRY ZONING ORDINANCE FOR ADDITIONAL INFORMATION AND RESTRICTIONS.
8. 54 ELWOOD ROAD BENEFITS FROM SIGN EASEMENT LOCATED ON MAP 2 LOT 8, 2 HIGH RANGE ROAD AS RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS IN BOOK 6502 PAGE 1525.



- WETLAND NOTES**
- THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY HURLEY ENVIRONMENTAL & LAND PLANNING, LLC IN JUNE 2025 IN ACCORDANCE WITH:
- US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-12-1, JANUARY 2012, VERSION 2.0.
 - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2010).
 - NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.

REFERENCE PLANS:

- ROCKINGHAM COUNTY REGISTRY OF DEEDS (R.C.R.D.) PLAN 699
- R.C.R.D. PLAN BOOK 1966 PAGE 12
- R.C.R.D. PLAN B-8964
- R.C.R.D. PLAN C-3331
- R.C.R.D. PLAN C-3403
- R.C.R.D. PLAN C-6977
- R.C.R.D. PLAN C-7207
- R.C.R.D. PLAN C-28756
- R.C.R.D. PLAN D-7571
- R.C.R.D. PLAN D-10214
- R.C.R.D. PLAN D-14671
- R.C.R.D. PLAN D-15938
- R.C.R.D. PLAN D-20263
- R.C.R.D. PLAN D-21841
- R.C.R.D. PLAN D-24128
- R.C.R.D. PLAN D-26466
- R.C.R.D. PLAN D-29792
- R.C.R.D. PLAN D-35581
- R.C.R.D. PLAN D-40130
- R.C.R.D. PLAN D-40736

EXISTING CONDITIONS PLAN

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE

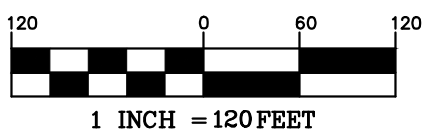
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APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=120' DATE: DEC. 12, 2025

LEGEND

- DRILL HOLE
- IRON PIPE OR IRON ROD
- BOUND
- PROPERTY LINE
- ABUTTER LINE
- STONE WALL
- WELL
- CATCH BASIN
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRES
- SIGN
- MAILBOX
- TREELINE
- DELINEATED WETLAND
- DELINEATED WETLAND FLAG
- BUILDING SETBACK
- CONTOUR ELEVATION
- EOP
- CCB
- DSYL
- SSWL
- SINGLE SOLID WHITE LINE



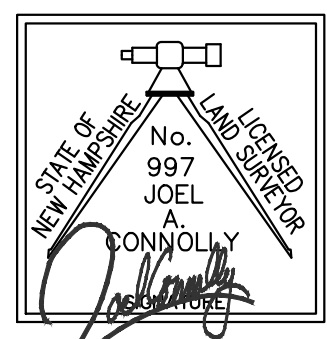
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 TBM-C MAG NAIL SET EL-296.43'
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 TBM-F HUB & TACK SET EL-273.86'
 TBM-G MAG NAIL SET EL-294.95'
 TBM-H MAG NAIL SET EL-316.17'
 TBM-I MAG NAIL SET EL-330.29'
 TBM-J SPIKE SET EL-332.00'
 TBM-K SPIKE SET EL-363.75'
 TBM-L SPIKE SET EL-372.11'
 TBM-M SPIKE SET EL-213.52'
 TBM-N SPIKE SET EL-208.87'

LAND SURVEYOR'S CERTIFICATION:

I CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND PRIOR SURVEYS BY THIS OFFICE AND THAT THE SURVEY THAT IT IS BASED ON HAS AN ERROR OF CLOSURE NOT GREATER THAN ONE PART IN TEN THOUSAND.

Joel A. Connolly
 JOEL A. CONNOLLY, LLS #997
 12/22/2025
 DATE



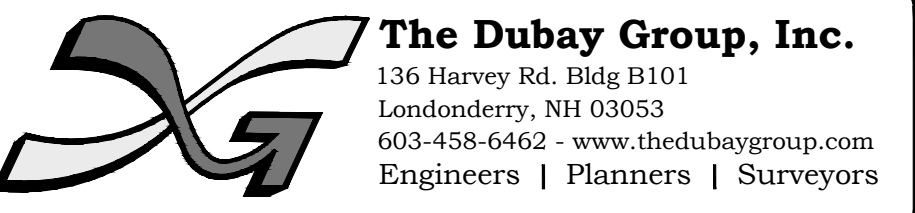
NO.	DATE	DESCRIPTION	BY

OWNER'S SIGNATURE

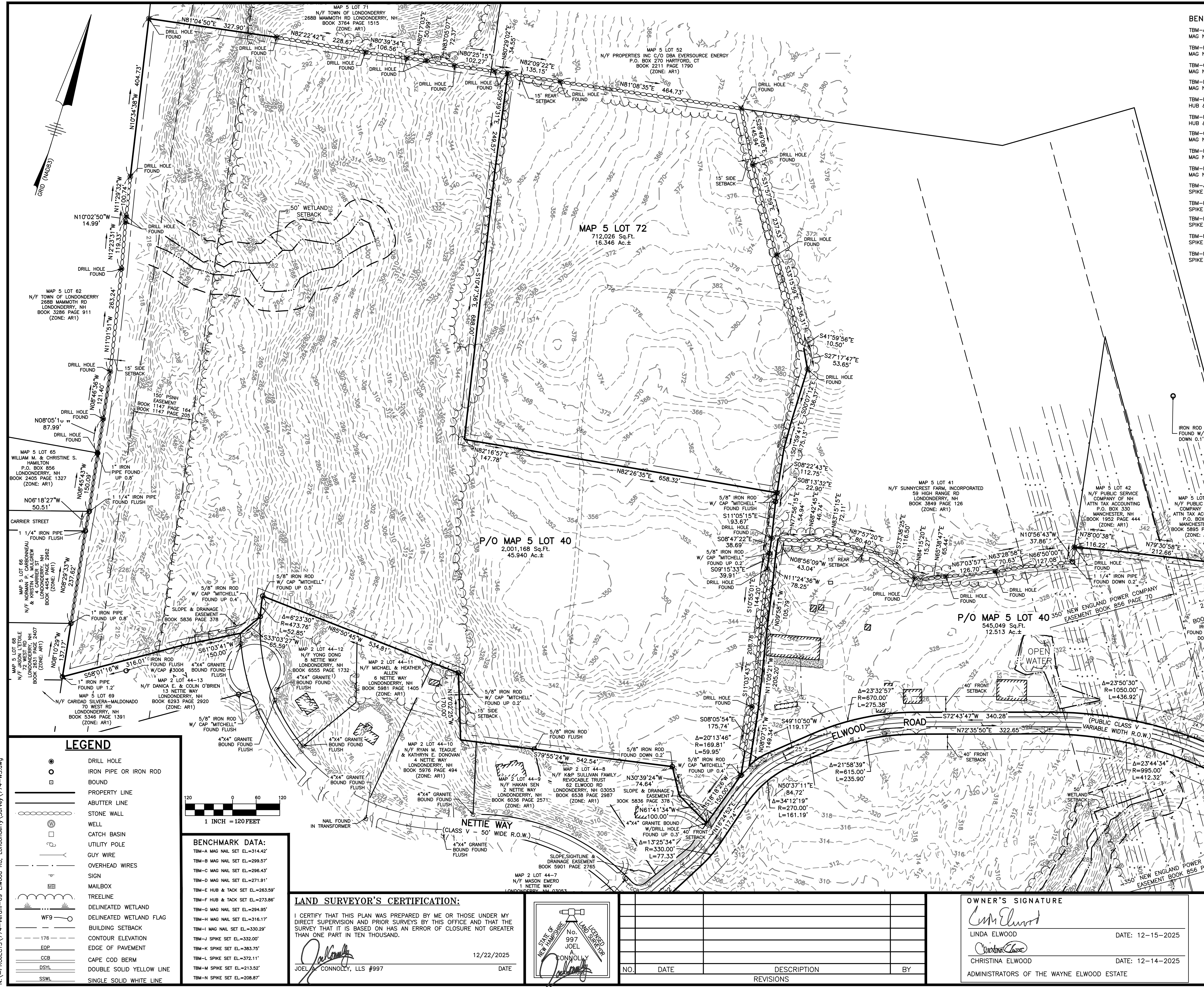
Linda Elwood
 LINDA ELWOOD DATE: 12-15-2025

Christina Elwood
 CHRISTINA ELWOOD DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

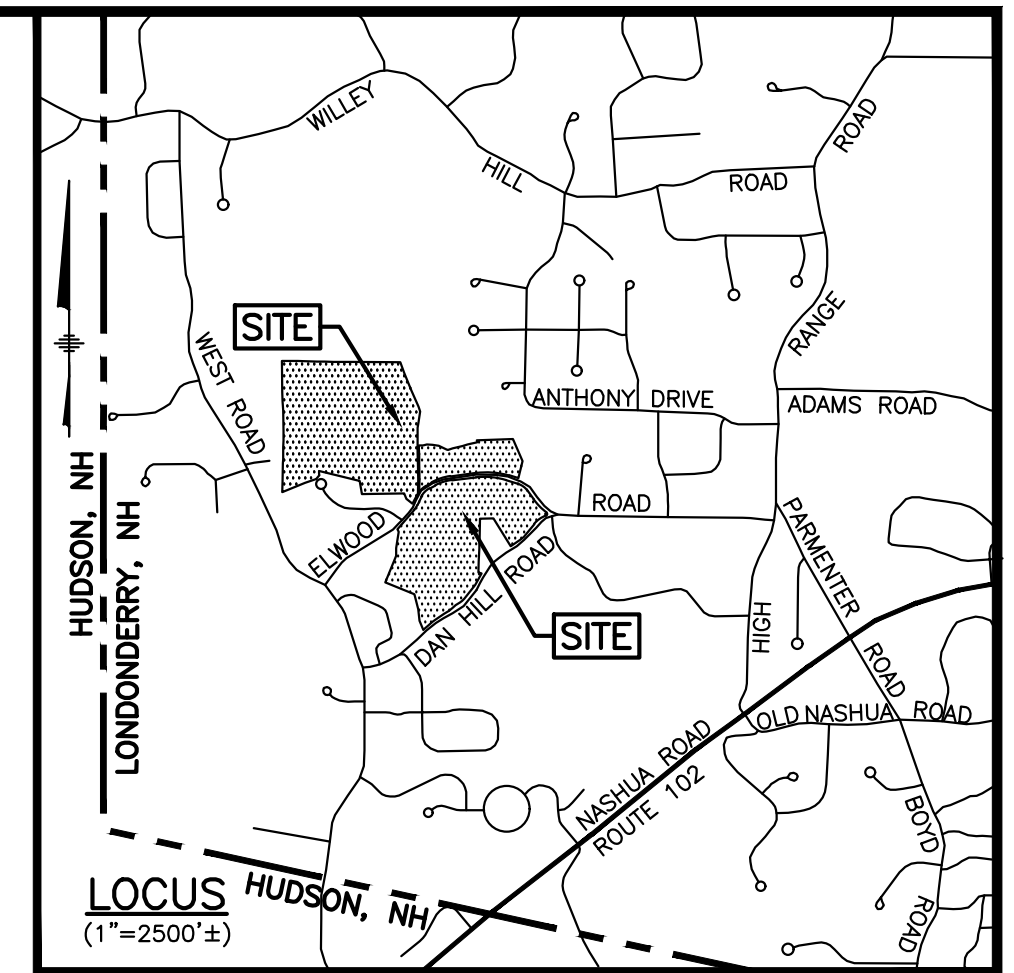


Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS
 SHEET 2 of 42



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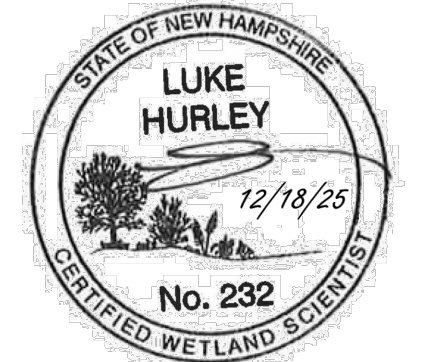
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WETLAND NOTES

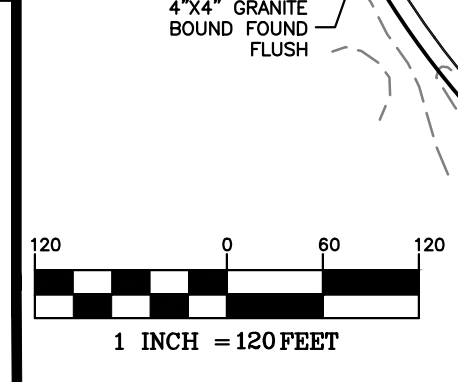
THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY HURLEY ENVIRONMENTAL & LAND PLANNING, LLC IN JUNE 2025 IN ACCORDANCE WITH:

1. US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERCO/EL TR-12-1, JANUARY 2012, VERSION 2.0.
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3. NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.



LEGEND

○	DRILL HOLE
○	IRON PIPE OR IRON ROD
□	BOUND
—	PROPERTY LINE
—	ABUTTER LINE
—	STONE WALL
○	WELL
□	CATCH BASIN
○	UTILITY POLE
—	GUY WIRE
—	OVERHEAD WIRES
—	SIGN
—	MAILBOX
—	TREELINE
—	DELINEATED WETLAND
—	DELINEATED WETLAND FLAG
—	BUILDING SETBACK
—	CONTOUR ELEVATION
—	EDGE OF PAVEMENT
—	CAPE COD BERM
—	DOUBLE SOLID YELLOW LINE
—	SINGLE SOLID WHITE LINE



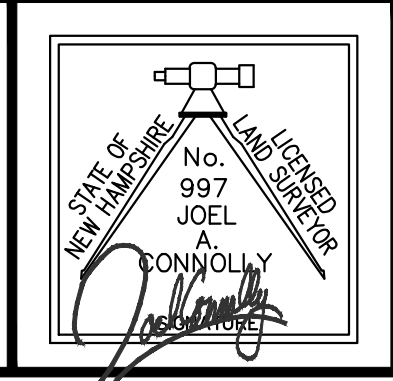
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TBM-N	SPIKE SET	EL.=208.87'

LAND SURVEYOR'S CERTIFICATION:

I CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND PRIOR SURVEYS BY THIS OFFICE AND THAT THE SURVEY THAT IT IS BASED ON HAS AN ERROR OF CLOSURE NOT GREATER THAN ONE PART IN TEN THOUSAND.

Joel A. Connolly
 JOEL A. CONNOLLY, LLS #997
 DATE: 12/22/2025



NO.	DATE	DESCRIPTION	BY

OWNER'S SIGNATURE

Wayne Elwood
 LINDA ELWOOD
 DATE: 12-15-2025

Christina Elwood
 CHRISTINA ELWOOD
 DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

EXISTING CONDITIONS PLAN

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
 69 ELWOOD ROAD LONDONDERRY, NH 03053
 BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=120' DATE: DEC. 12, 2025

The Dubay Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462 - www.thedubaygroup.com
 Engineers | Planners | Surveyors

Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS
 SHEET 3 of 42

NA=PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\Survey\774-WS.dwg

PROPOSED LOT 5-39				
Area # (see plan)	HISS Type	Area (SF)	Factor (App-A1)	Lot Yield
1	321CH	20,083	60,500	0.33
2	221EH	12,892	67,500	0.19
3	228BH	12,043	67,500	0.18
4	228DH	8,752	86,750	0.10
5	228EH	17,076	104,500	0.16
6	228EH	7,352	104,500	0.07
7	321CH	4,547	60,500	0.08
8	321BH	16,533	54,500	0.30
9	621BH	6,072	N/A	0.00
Easement		407,236		
TOTAL		512,586		1.41

Lot 5-39-6				
Area # (see plan)	HISS Type	Area (SF)	Factor (App-A1)	Lot Yield
10	321CH	53,268	60,500	0.88
11	221DH	2,043	54,500	0.04
12	221EH	2,957	67,500	0.04
13	228DH	2,081	86,750	0.02
14	228EH	5,533	104,500	0.05
15	621BH	2,442	N/A	0.00
TOTAL		68,324		1.04

Lot 5-39-7				
Area # (see plan)	HISS Type	Area (SF)	Factor (App-A1)	Lot Yield
16	321CH	54,274	60,500	0.90
17	221DH	6,806	54,500	0.12
18	228DH	4,884	86,750	0.06
19	228EH	5,034	104,500	0.05
20	228CH	2,709	74,750	0.04
21	621BH	2,035	N/A	0.00
TOTAL		75,742		1.16

Lot 5-39-8				
Area # (see plan)	HISS Type	Area (SF)	Factor (App-A1)	Lot Yield
22	221CH	58,895	46,000	1.28
23	221EH	3,956	54,500	0.07
24	221EH	2,849	67,500	0.04
25	228DH	8,913	86,750	0.10
26	228DH	145	86,750	0.00
26A	228EH	446	104,500	0.00
27	228EH	7,881	104,500	0.08
28	228CH	8,804	74,750	0.12
29	621BH	1,423	N/A	0.00
TOTAL		93,512		1.70

Lot 5-39-9				
Area # (see plan)	HISS Type	Area (SF)	Factor (App-A1)	Lot Yield
30	321CH	74,723	60,500	1.24
31	221EH	5,784	60,500	0.10
32	228DH	12,709	86,750	0.15
33	228EH	91	106,000	0.00
34	228EH	262	106,000	0.12
35	228EH	6,325	106,000	0.06
36	323CH	10,946	60,500	0.18
37	228CH	827	74,750	0.01
38	228CH	1,745	74,750	0.02
39	621BH	2,315	N/A	0.00
TOTAL		115,727		1.76

Lot 5-39-10				
Area # (see plan)	HISS Type	Area (SF)	Factor (App-A1)	Lot Yield
40	321CH	99,076	60,500	1.64
41	221EH	10,273	60,500	0.17
42	228DH	7,514	86,750	0.09
43	228DH	1,036	86,750	0.01
44	228DH	280	86,750	0.00
45	228DH	96	86,750	0.00
46	228EH	12,885	104,500	0.12
47	228EH	2,588	104,500	0.02
48	323BH	6,720	54,500	0.12
49	323CH	10,576	60,500	0.17
50	621BH	6,519	N/A	0.00
TOTAL		157,563		2.36

Lot 5-39-11				
Area # (see plan)	HISS Type	Area (SF)	Factor (App-A1)	Lot Yield
51	321CH	109,014	60,500	1.80
52	221EH	388	60,500	0.01
53	221EH	837	60,500	0.01
54	228CH	1,208	74,750	0.02
55	228DH	8,296	86,750	0.10
56	228EH	7,861	104,500	0.08
57	621BH	3,059	N/A	0.00
TOTAL		130,663		2.01

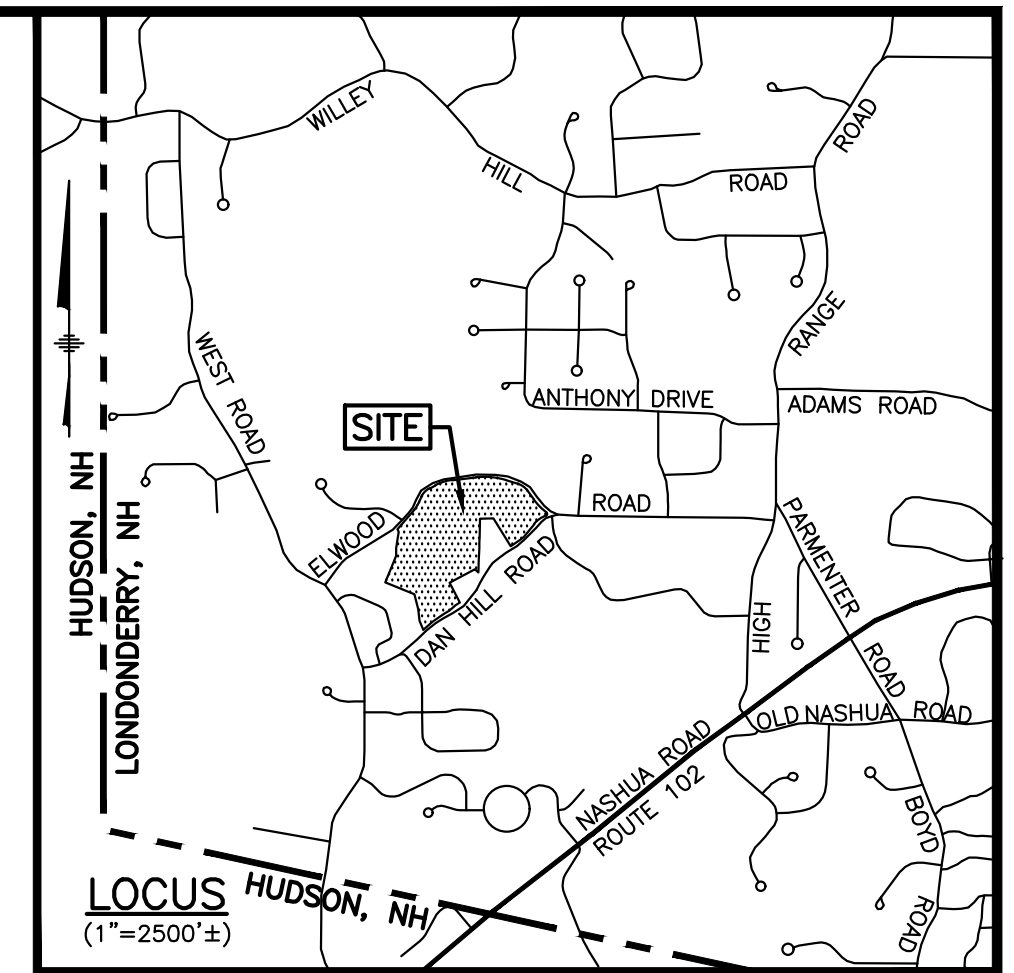
Lot 5-39-12				
Area # (see plan)	HISS Type	Area (SF)	Factor (App-A1)	Lot Yield
58	321BH	14,342	54,500	0.26
59	321CH	82,514	60,500	1.36
60	228CH	620	74,750	0.01
61	228EH	2,277	104,500	0.02
62	228DH	149	86,750	0.00
TOTAL		99,902		1.66

Lot 5-39-13				
Area # (see plan)	HISS Type	Area (SF)	Factor (App-A1)	Lot Yield
63	321BH	31,300	54,500	0.57
64	321CH	47,643	60,500	0.79
65	228CH	9,660	74,750	0.13
66	228CH	473	74,750	0.01
TOTAL		89,076		1.50

Lot 5-39-14				
Area # (see plan)	HISS Type	Area (SF)	Factor (App-A1)	Lot Yield
67	321BH	33,552	54,500	0.62
68	321CH	44,343	60,500	0.73
69	228CH	23,828	74,750	0.32
70	228DH	6,609	86,750	0.08
TOTAL		108,332		1.74

SOIL MAPPING NOTES

1. HIGH INTENSITY SOIL MAPPING WAS PERFORMED HURLEY ENVIRONMENTAL AND LAND PLANNING, LLC IN JULY 2025 TO THE STANDARDS OF THE SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND, SPECIAL PUBLICATION NUMBER 1, HIGH INTENSITY SOIL MAPS FOR NEW HAMPSHIRE, APRIL 2017.



KEY TO SOIL TYPES

THE SOIL TYPES ARE DEFINED BY SOIL CHARACTERISTICS, AND DESIGNATED WITH A FIVE PART SYMBOL.

PARENT MATERIAL RESTRICTIVE FEATURE
DRAINAGE CLASS SLOPE CLASS
A B C D E MAP INTENSITY

- SYMBOL: A DRAINAGE CLASS
- 1- EXCESSIVELY DRAINED
 - 2- WELL DRAINED
 - 3- MODERATELY WELL DRAINED
 - 4- SOMEWHAT POORLY DRAINED
 - 5- POORLY DRAINED
 - 6- VERY POORLY DRAINED
 - 7- NOT DETERMINABLE (TO BE USED ONLY WITH SYMBOL B-6)
- SYMBOL: B PARENT MATERIAL

- 1- GLACIOFLUVIAL DEPOSITS (OUTWASH/TERRACES OF SAND OR SAND AND GRAVEL)
- 2- GLACIAL TILL MATERIAL (ACTIVE ICE) MARINE OR GLACIOACUSTRINE DEPOSITS (S4 OR S)
- 3- VERY FINE SAND AND SILT DEPOSITS (GLACIAL LAKES)
- 4- LOAMY/SANDY OVER SILT/CLAY DEPOSITS
- 5- SILT AND CLAY DEPOSITS (OCEAN PLAINS)
- 6- EXCAVATED, REGRADED OR FILLED (SEE ADDENDUM ITEM #1)
- 7- ALLUVIAL DEPOSITS (FLOOD PLAINS)
- 8- ORGANIC MATERIALS - FRESH WATER BOGS, ETC.
- 9- ORGANIC MATERIALS - TIDAL MARSH

SYMBOL: C MOST RESTRICTIVE FEATURES (IF MORE THAN ONE APPLIES, LIST THE MOST RESTRICTIVE)

- 1- NONE
- 2- BOULDERY, WITH MORE THAN 15% OF THE SURFACE COVERED WITH BOULDERS (LARGER THAN 24 INCHES IN DIAMETER).
- 3- MINERAL RESTRICTIVE LAYER(S) ARE PRESENT IN THE SOIL PROFILE LESS THAN 40 INCHES BELOW THE SOIL SURFACE - SUCH AS HARD PAN, PLATY STRUCTURE, AND CLAYEY TEXTURE WITH CONSISTENCE OF AT LEAST FIRM, I.E. MORE THAN 20 NEWTONS. FOR EXAMPLES OF SOIL CHARACTERISTICS THAT QUALIFY FOR RESTRICTIVE LAYER, SEE SOIL MANUAL FOR SITE EVALUATIONS IN NEW HAMPSHIRE, 2ND ED. PAGE 3-17, FIGURE 3-14.
- 4- BEDROCK PRESENT IN THE SOIL PROFILE 0-20 INCHES BELOW THE SOIL SURFACE (BEDROCK IS EITHER A LITHIC OR A PARALITHIC CONTACT - SEE USER NOTE: SOIL TAXONOMY). PARALITHIC REFERENCES BEDROCK THAT CAN BE REMOVED BY AN EXCAVATOR, BACKHOE, OR BY HAND SHOVEL WITH DIFFICULTY. BEDROCK FRACTURES ARE SPACED MORE THAN 4 INCHES.
- 5- SUBJECT TO FLOODING.
- 6- DOES NOT MEET FILL STANDARDS (SEE ADDENDUM - STANDARDS FOR FILL MATERIAL) (ONLY TO BE USED WITH SYMBOL B-6).
- 7- BEDROCK PRESENT IN THE SOIL PROFILE 20 TO 40 INCHES BELOW THE SOIL SURFACE. (BEDROCK IS EITHER LITHIC OR PARALITHIC CONTACT; SEE SOIL TAXONOMY).
- 8- AREAS WHERE DEPTH TO BEDROCK IS SO VARIABLE THAT A SINGLE SOIL TYPE CANNOT BE APPLIED, WILL BE MAPPED AS A COMPLEX OF SOIL TYPES AND WILL HAVE A SYMBOL C OF 8.

SYMBOL: D SLOPE CLASS

- B- 0% TO 8%
- C- 8% TO 15%
- D- 15% TO 25%
- E- 25% +

SYMBOL: E HIGH INTENSITY SOIL MAP IDENTIFIER

H = HIGH INTENSITY
P = PRELIMINARY

HIGH INTENSITY SOILS PLAN (OVERVIEW)

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
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Checked By: JAC
Project: 774-WS
File: 774-WS
SHEET 4 of 42

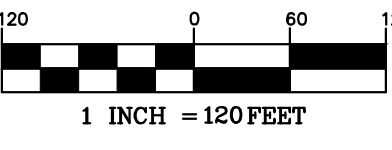
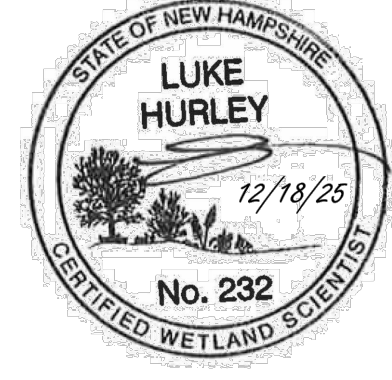
WETLAND NOTES

THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY HURLEY ENVIRONMENTAL & LAND PLANNING, LLC IN JUNE 2025 IN ACCORDANCE WITH:

- US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-12-1, JANUARY 2012, VERSION 2.0.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2010).
- NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.

LEGEND

- DRILL HOLE
- IRON PIPE OR IRON ROD
- BOUND
- PROPERTY LINE
- ABUTTER LINE
- STONE WALL
- ⊙ WELL
- CATCH BASIN
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRES
- SIGN
- MAILBOX
- TRELLINE
- DELINEATED WETLAND
- DELINEATED WETLAND FLAG
- BUILDING SETBACK
- CONTOUR ELEVATION
- EOP
- CCB
- DSYL
- SSWL
- CAPE COD BERM
- DOUBLE SOLID YELLOW LINE
- SINGLE SOLID WHITE LINE



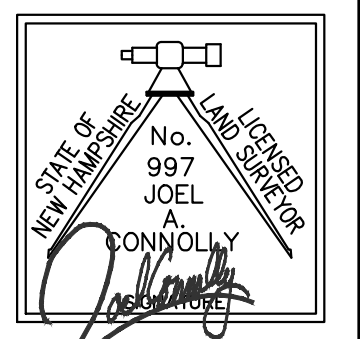
BENCHMARK DATA:

- TBM-A MAG NAIL SET EL-314.42'
- TBM-B MAG NAIL SET EL-299.57'
- TBM-C MAG NAIL SET EL-296.43'
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- TBM-K SPIKE SET EL-363.75'
- TBM-L SPIKE SET EL-372.11'
- TBM-M SPIKE SET EL-213.52'
- TBM-N SPIKE SET EL-208.87'

LAND SURVEYOR'S CERTIFICATION:

I CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND PRIOR SURVEYS BY THIS OFFICE AND THAT THE SURVEY THAT IT IS BASED ON HAS AN ERROR OF CLOSURE NOT GREATER THAN ONE PART IN TEN THOUSAND.

Joel A. Connolly
JOEL A. CONNOLLY, LLS #997
12/22/2025
DATE



THIS IS TO CERTIFY THAT THE WETLANDS HAVE BEEN DELINEATED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (TECHNICAL REPORT Y-87-1).

WETLAND DELINEATION PREPARED BY:
Linda Elwood
12/18/25

LUKE HURLEY CERTIFIED WETLAND SCIENTIST (#232)

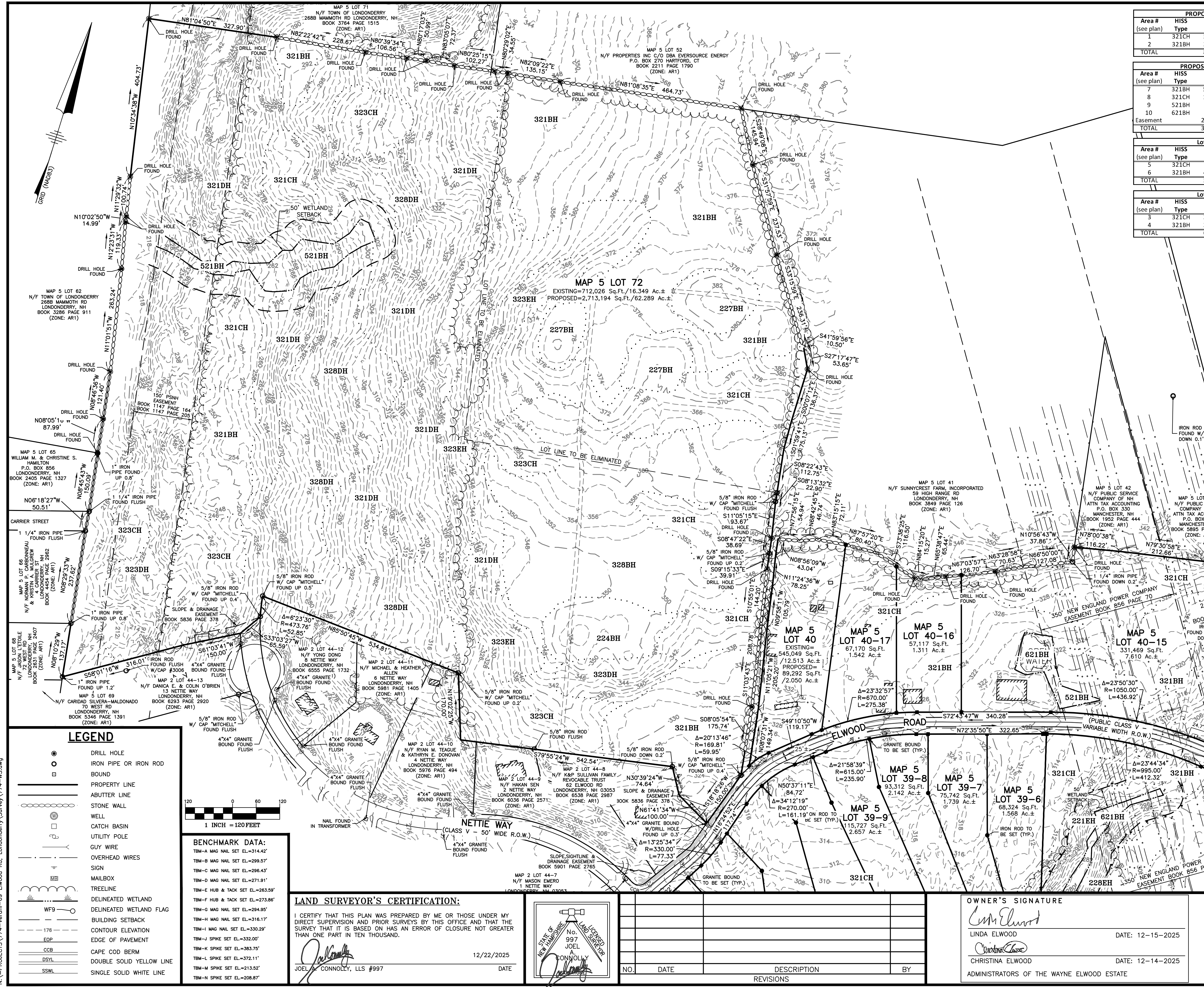
NO.	DATE	DESCRIPTION	BY

OWNER'S SIGNATURE

Linda Elwood
LINDA ELWOOD
136 HARVEY RD. BLDG B101
LONDONDERRY, NH 03053
DATE: 12-15-2025

Christina Elwood
CHRISTINA ELWOOD
DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

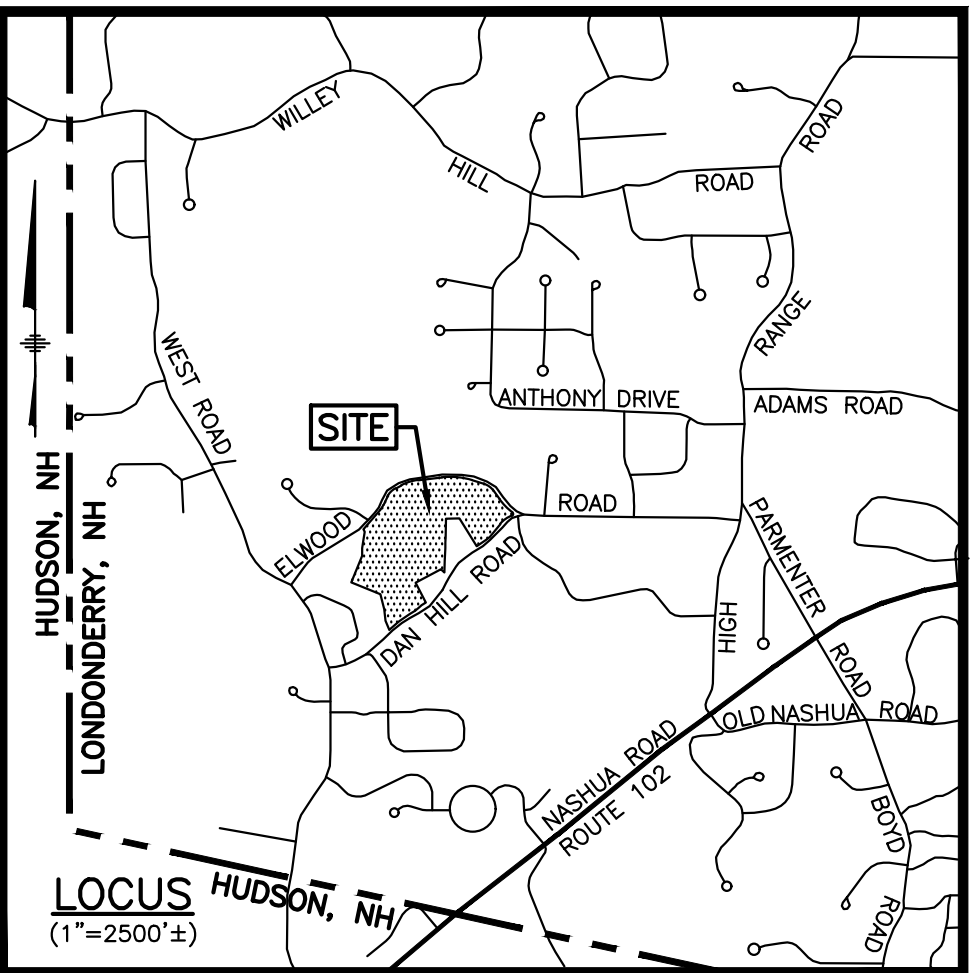


PROPOSED Lot 5-40				
Area # (see plan)	HISS Type	Area (SF)	Factor (App-A1)	Lot Yield
1	321CH	51,618	60,500	0.85
2	321BH	37,674	54,500	0.69
TOTAL		89,292		1.54

PROPOSED Lot 5-40-15				
Area # (see plan)	HISS Type	Area (SF)	Factor (App-A1)	Lot Yield
7	321BH	54,946	54,500	1.01
8	321CH	11,943	60,500	0.20
9	521BH	1,311	106,000	0.01
10	621BH	7,047	N/A	0.00
TOTAL		331,469		1.22

Lot 5-40-16				
Area # (see plan)	HISS Type	Area (SF)	Factor (App-A1)	Lot Yield
5	321CH	9,278	60,500	0.15
6	321BH	47,839	54,500	0.88
TOTAL		57,117		1.03

Lot 5-40-17				
Area # (see plan)	HISS Type	Area (SF)	Factor (App-A1)	Lot Yield
3	321CH	30,726	60,500	0.51
4	321BH	36,444	54,500	0.67
TOTAL		67,170		1.18



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WETLAND DELINEATION PREPARED BY: _____ 12/18/25

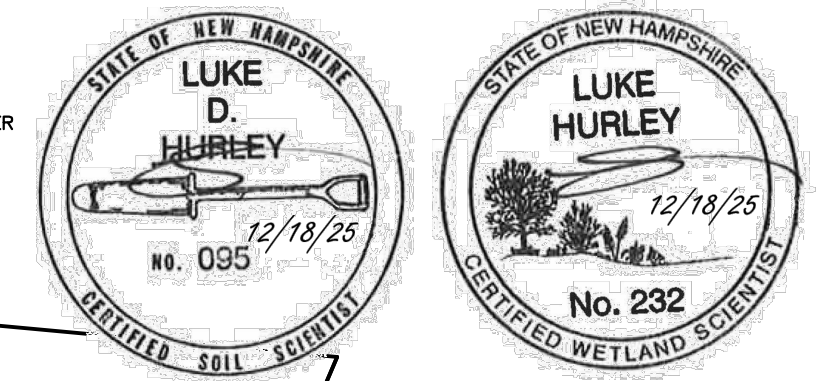
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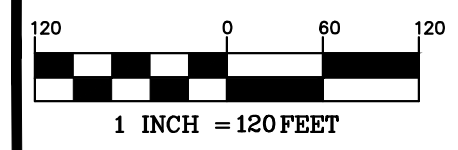
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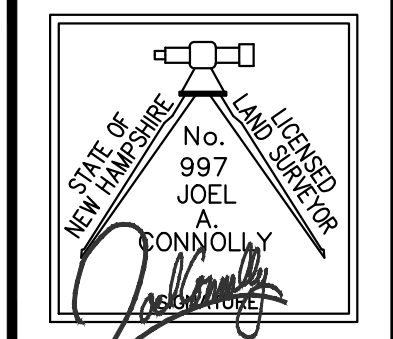
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12/22/2025

JOEL A. CONNOLLY, LLS #997



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Christina Elwood
CHRISTINA ELWOOD DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

HIGH INTENSITY SOILS PLAN (OVERVIEW)

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ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
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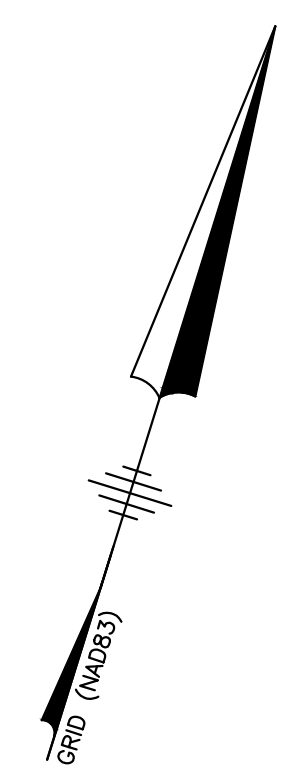
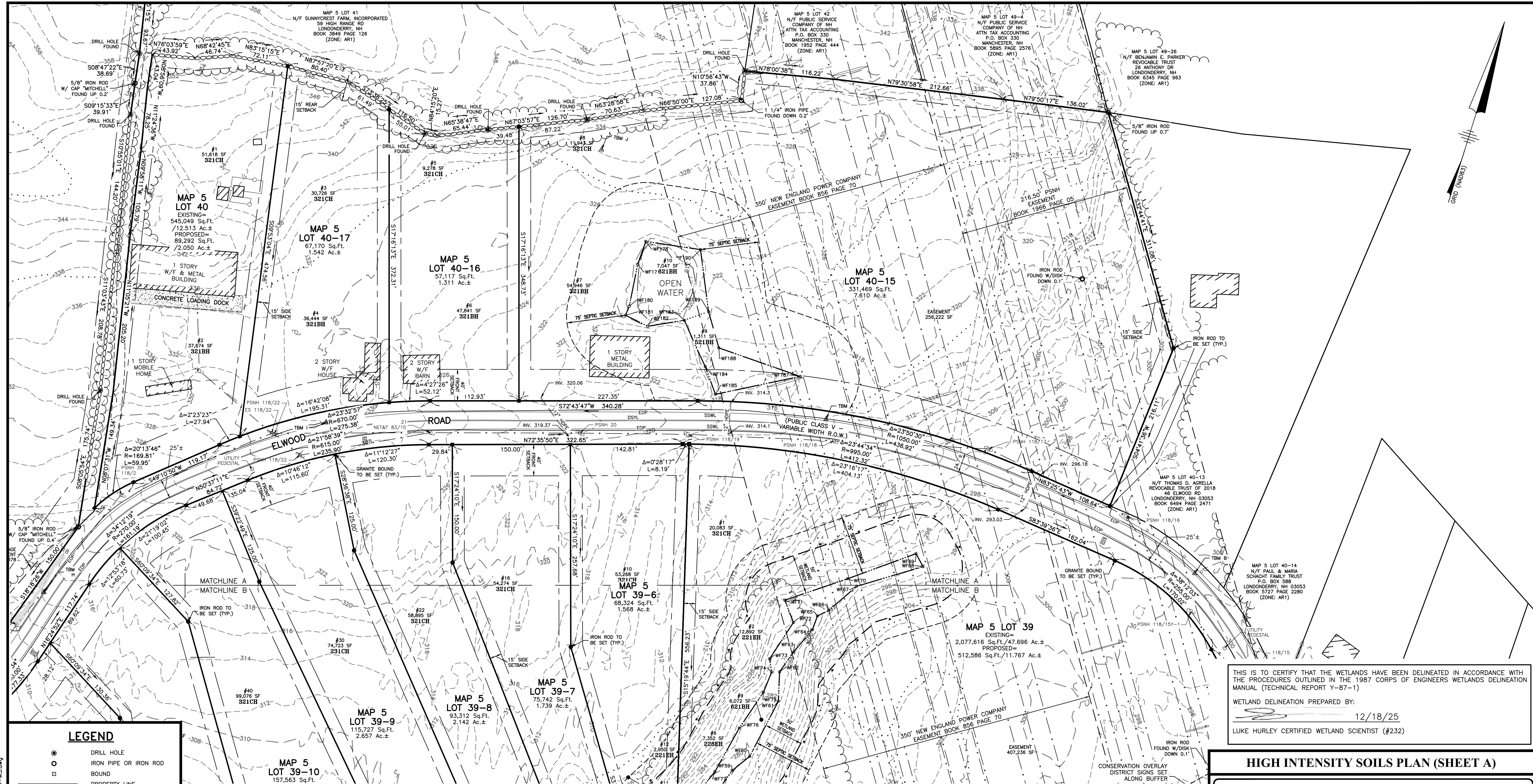
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SCALE: 1"=120' DATE: DEC. 12, 2025


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 Engineers | Planners | Surveyors

Drawn By: DSJ
 Checked By: JAC
 Project: 774
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SHEET 5 of 42



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WETLAND DELINEATION PREPARED BY:

 12/18/25
 LUKE HURLEY CERTIFIED WETLAND SCIENTIST (#232)

HIGH INTENSITY SOILS PLAN (SHEET A)

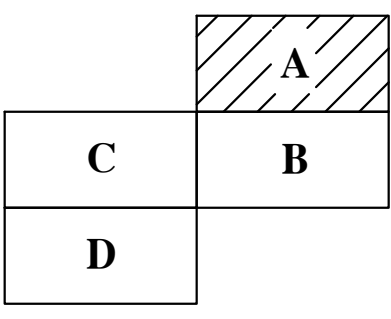
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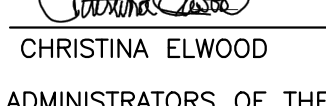
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KEY MAP

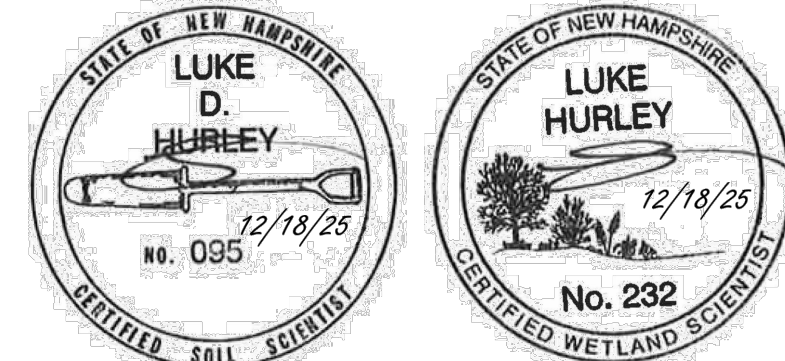


OWNER'S SIGNATURE


 LINDA ELWOOD DATE: 12-15-2025


 CHRISTINA ELWOOD DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE




WETLAND NOTES

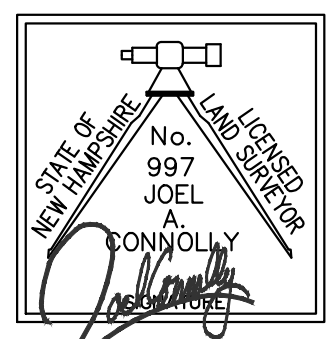
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- NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.

LAND SURVEYOR'S CERTIFICATION:

I CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND PRIOR SURVEYS BY THIS OFFICE AND THAT THE SURVEY THAT IT IS BASED ON HAS AN ERROR OF CLOSURE NOT GREATER THAN ONE PART IN TEN THOUSAND.


 JOEL A. CONNOLLY, LLS #997
 DATE: 12/22/2025

























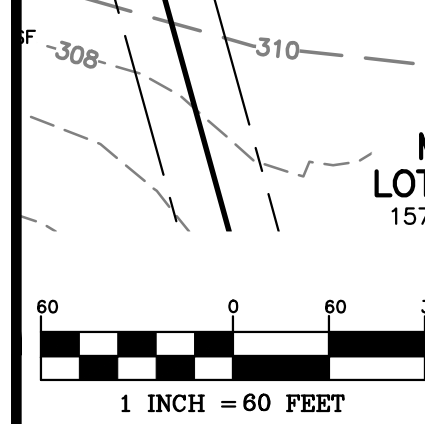
NO.	DATE	DESCRIPTION	BY

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____
 ON DATE _____

CERTIFIED BY:
 CHAIRMAN _____
 SECRETARY _____

LEGEND

	DRILL HOLE
	IRON PIPE OR IRON ROD
	BOUND
	PROPERTY LINE
	ABUTTER LINE
	STONE WALL
	WELL
	CATCH BASIN
	UTILITY POLE
	GUY WIRE
	OVERHEAD WIRES
	SIGN
	MAILBOX
	TRELISNE
	DELINEATED WETLAND
	DELINEATED WETLAND FLAG
	BUILDING SETBACK
	CONTOUR ELEVATION
	EDGE OF PAVEMENT
	CAPE COD BERM
	DOUBLE SOLID YELLOW LINE
	SINGLE SOLID WHITE LINE

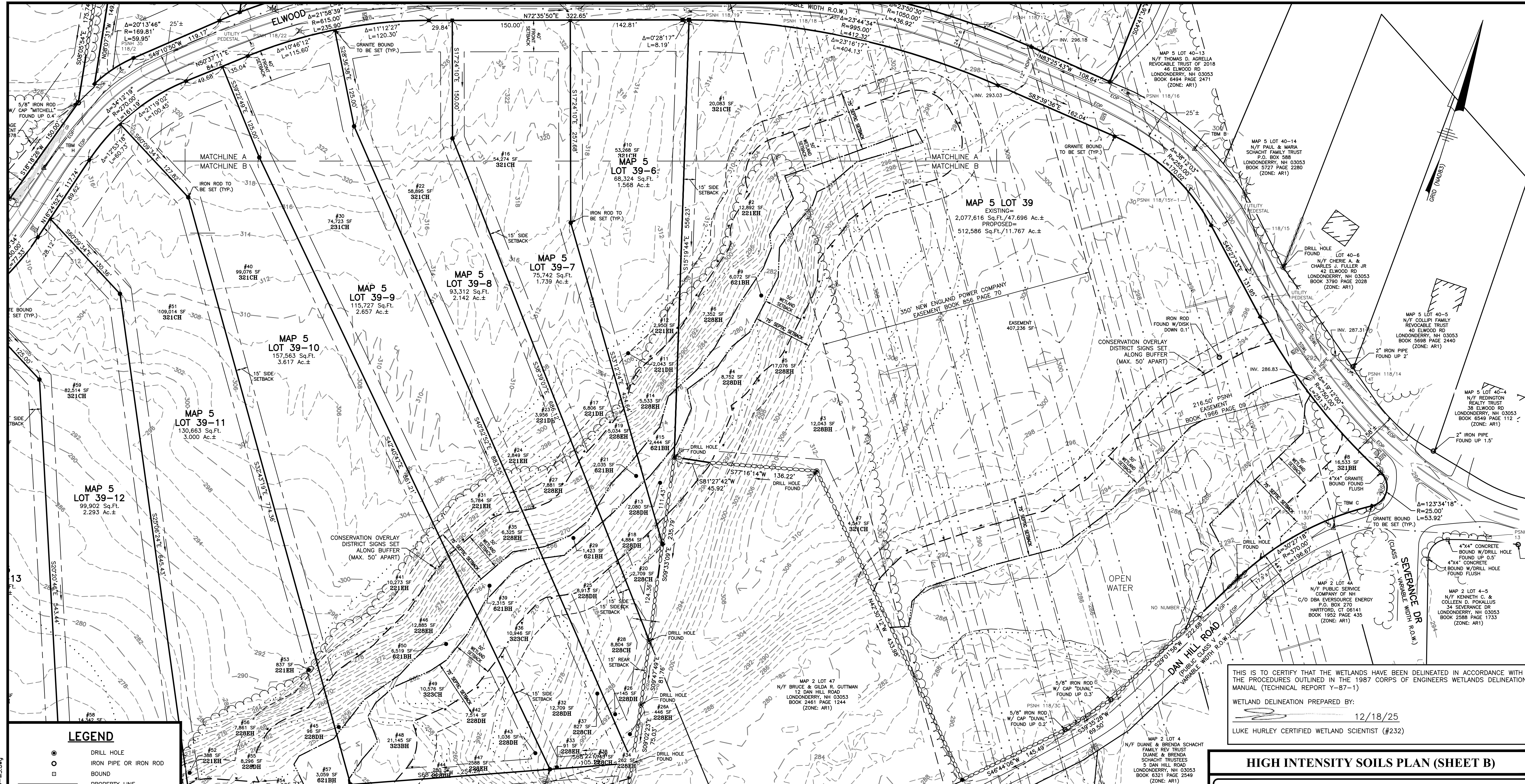


BENCHMARK DATA:

TBM-A MAG NAIL SET EL=-314.42'
 TBM-B MAG NAIL SET EL=-299.57'
 TBM-C MAG NAIL SET EL=-296.43'
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 **The Dubay Group, Inc.**
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 Engineers | Planners | Surveyors

Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS
 SHEET 6 of 42



LEGEND

	DRILL HOLE
	IRON PIPE OR IRON ROD
	BOUND
	PROPERTY LINE
	ABUTTER LINE
	STONE WALL
	WELL
	CATCH BASIN
	UTILITY POLE
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WETLAND NOTES

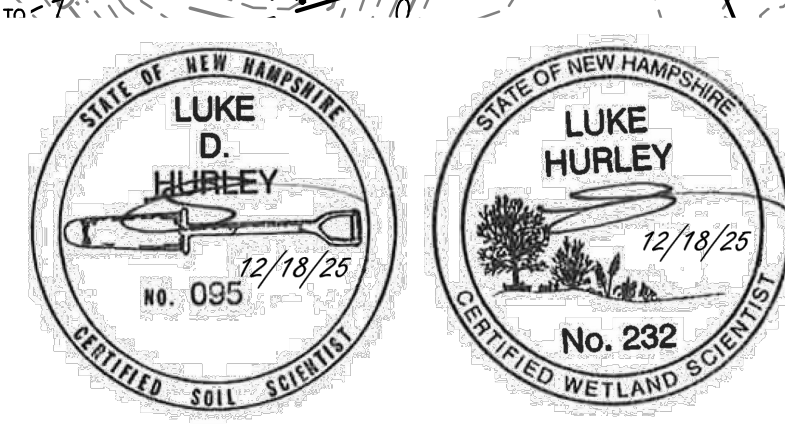
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JOEL A. CONNOLLY, LLS #997
DATE: 12/22/2025



OWNER'S SIGNATURE

LINDA ELWOOD
DATE: 12-15-2025

CHRISTINA ELWOOD
DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

KEY MAP

A
B
C
D

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WETLAND DELINEATION PREPARED BY:
LUKE HURLEY CERTIFIED WETLAND SCIENTIST (#232)
12/18/25

HIGH INTENSITY SOILS PLAN (SHEET B)

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

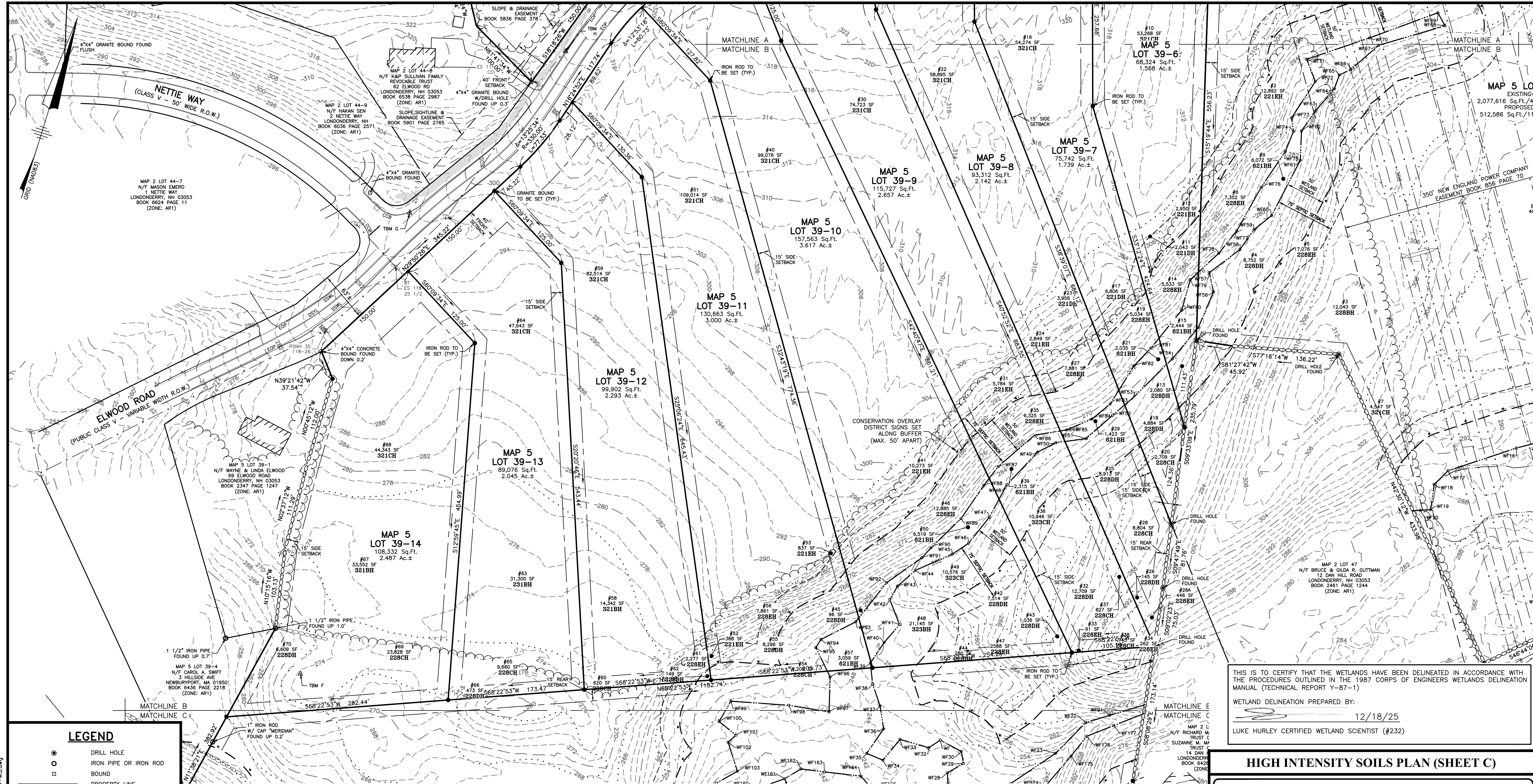
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69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=60' DATE: DEC. 12, 2025

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Engineers | Planners | Surveyors

Drawn By: DSJ
Checked By: JAC
Project: 774
File: 774-WS
SHEET 7 of 42



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WETLAND DELINEATION PREPARED BY:

 12/18/25
 LUKE HURLEY CERTIFIED WETLAND SCIENTIST (#232)

HIGH INTENSITY SOILS PLAN (SHEET C)

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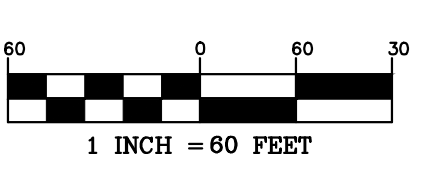
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 74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=60' DATE: DEC. 12, 2025

LEGEND

- DRILL HOLE
- IRON PIPE OR IRON ROD
- BOUND
- PROPERTY LINE
- ABUTTER LINE
- STONE WALL
- WELL
- CATCH BASIN
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRES
- SIGN
- MAILBOX
- TRELISNE
- DELINEATED WETLAND
- DELINEATED WETLAND FLAG
- BUILDING SETBACK
- CONTOUR ELEVATION
- EDGE OF PAVEMENT
- CAPE COD BERM
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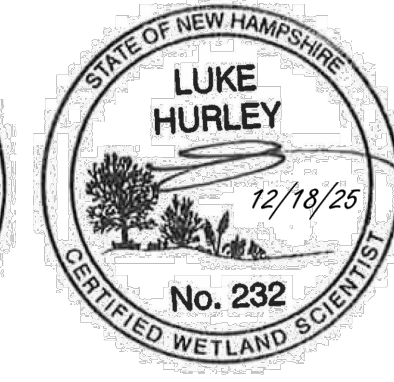
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JOEL A. CONNOLLY, LLS #997 DATE: 12/22/2025

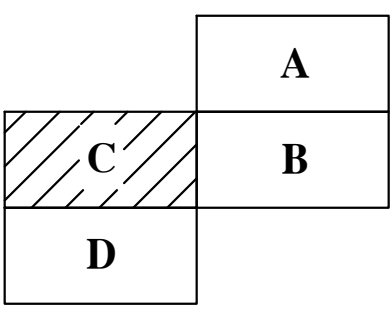


OWNER'S SIGNATURE

 LINDA ELWOOD DATE: 12-15-2025

 CHRISTINA ELWOOD DATE: 12-14-2025
 ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

KEY MAP



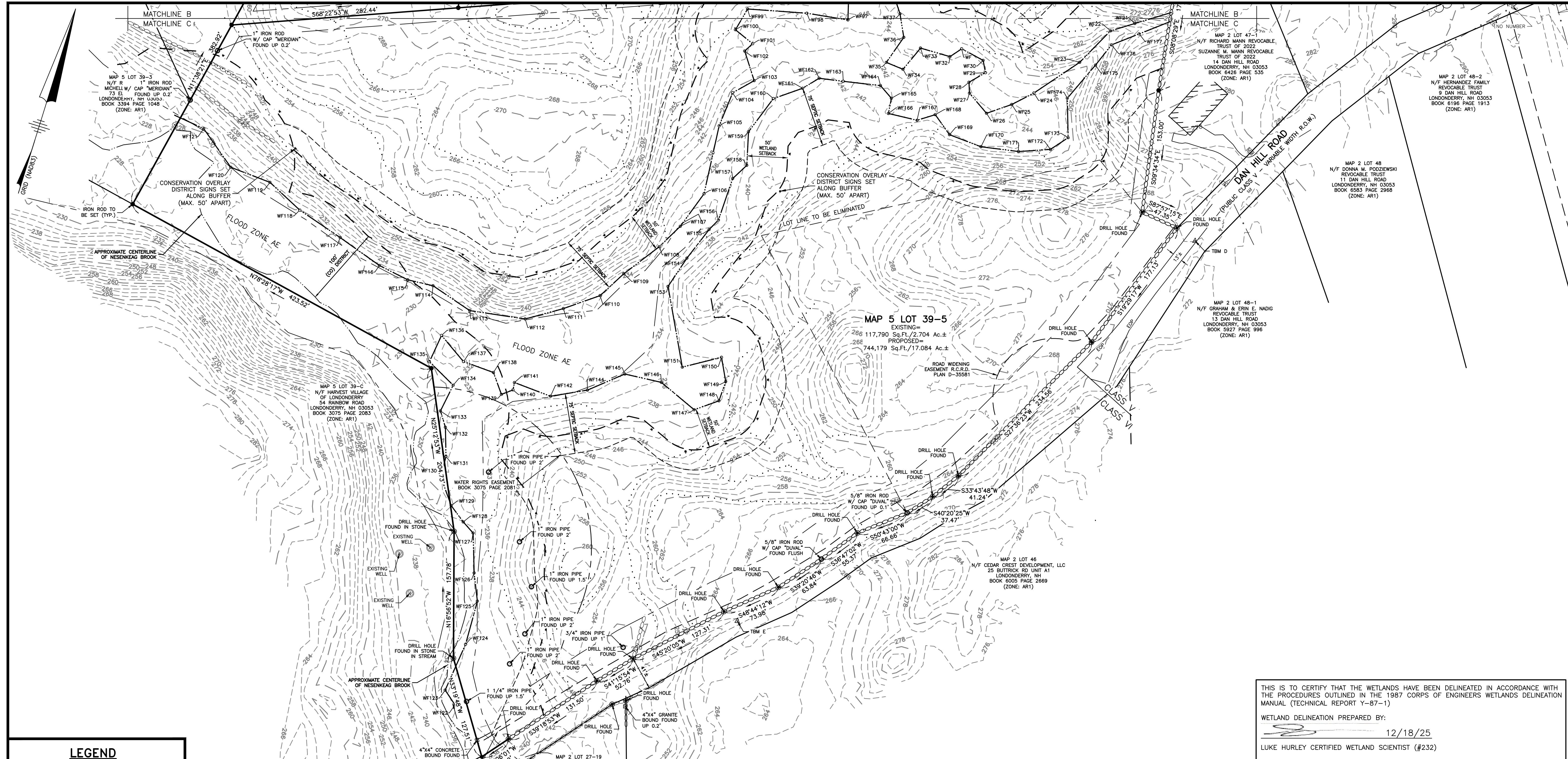
APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____ ON DATE _____

CERTIFIED BY: _____ CHAIRMAN _____ SECRETARY _____

NO.	DATE	DESCRIPTION	BY

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 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462 - www.thedubaygroup.com
 Engineers | Planners | Surveyors

Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS
 SHEET 8 of 42



LEGEND

○	DRILL HOLE
○	IRON PIPE OR IRON ROD
□	BOUND
—	PROPERTY LINE
—	ABUTTER LINE
—	STONE WALL
⊙	WELL
⊙	CATCH BASIN
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WETLAND NOTES

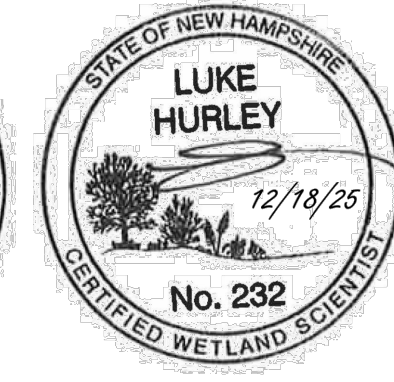
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Joel A. Connolly
 JOEL A. CONNOLLY, LLS #997
 12/22/2025
 DATE



OWNER'S SIGNATURE

Linda Elwood
 LINDA ELWOOD
 DATE: 12-15-2025

Christina Elwood
 CHRISTINA ELWOOD
 DATE: 12-14-2025
 ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

KEY MAP

	A
C	B
D	

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WETLAND DELINEATION PREPARED BY:
 12/18/25
 LUKE HURLEY CERTIFIED WETLAND SCIENTIST (#232)

HIGH INTENSITY SOILS PLAN (SHEET D)

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
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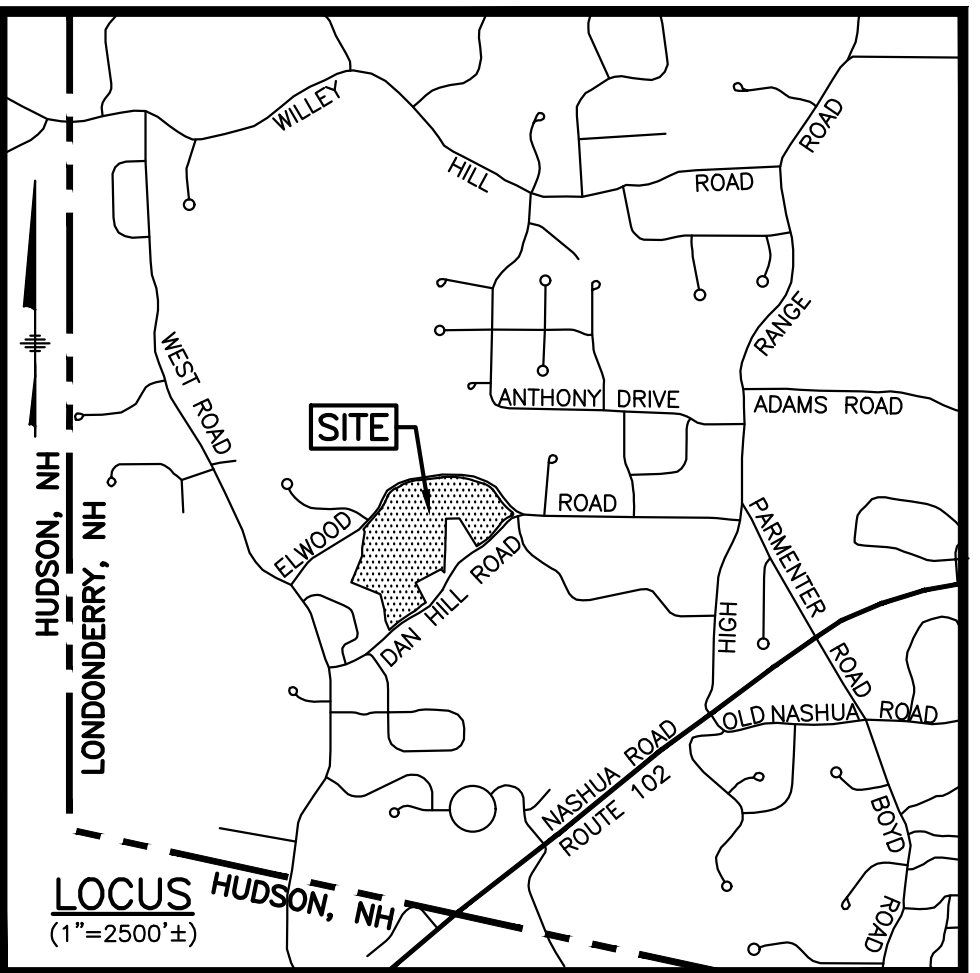
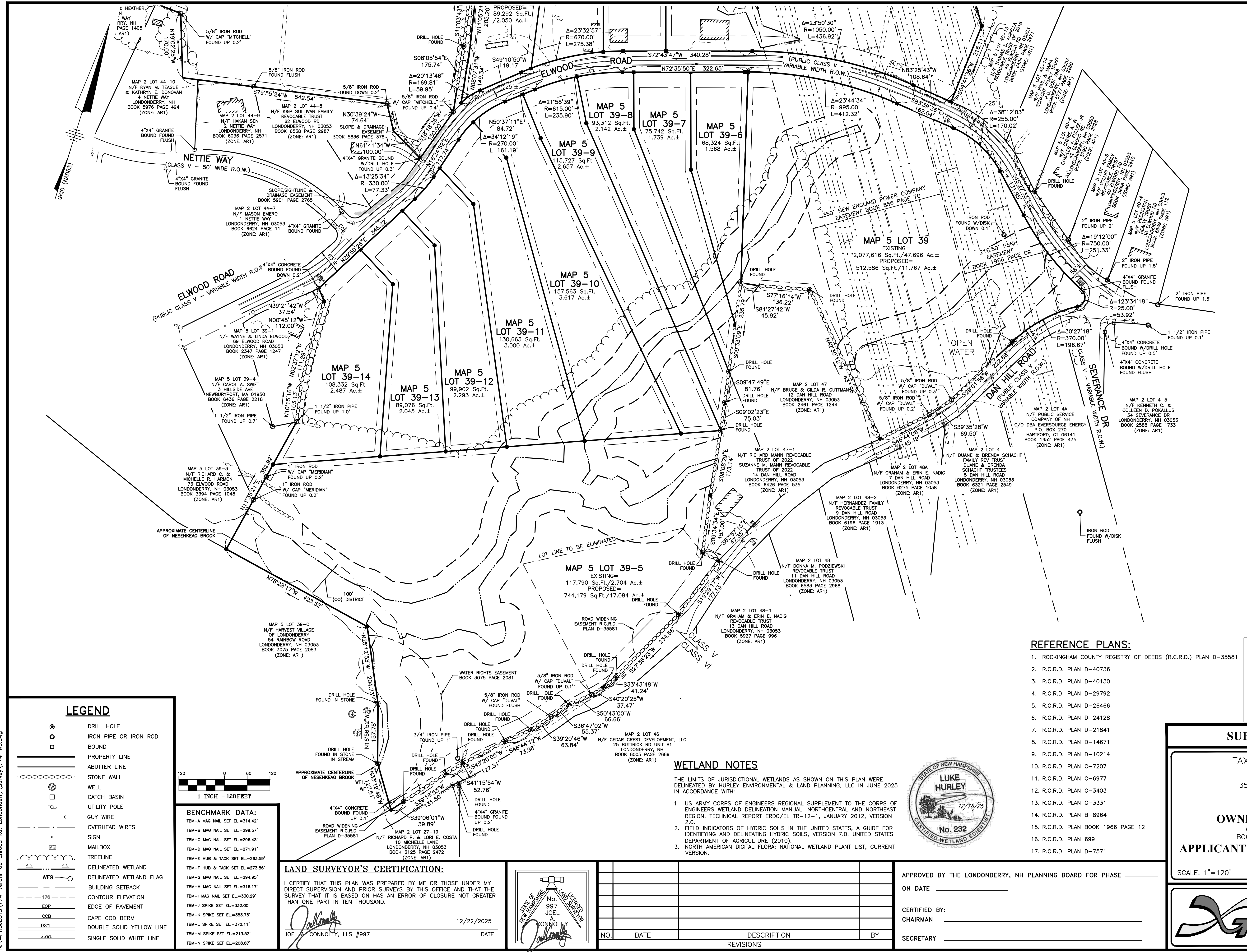
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 Checked By: JAC
 Project: 774
 File: 774-WS

SHEET 9 of 42

N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\Survey\774-WS.dwg



- NOTES:**
- THE INTENT OF THIS PLAN IS TO DEPICT A SUBDIVISION OF MAP 5 LOT 39 & LOT 39-5 RESULTING IN A TOTAL OF ELEVEN (11) BUILDING LOTS. ALSO TO SUBDIVIDE THE EASTERLY PORTION OF MAP 5 LOT 40 INTO FIVE (5) BUILDING LOTS AND THE WESTERLY PORTION OF MAP 5 LOT 40 TO BE CONSOLIDATED WITH TAX MAP 5 LOT 7.
 - THE EXISTING SITE CONDITIONS DEPICTED HEREON ARE BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN JUNE AND JULY 2025 AND SUPPLEMENTED WITH DATA EXTRACTED FROM UAS (DRONE) IMAGERY AND LIDAR COLLECTED BY THIS OFFICE ON JUNE 16, 2025.
 - THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN JUNE AND JULY 2025 AND PLAN REFERENCES LISTED HEREON.
 - THE HORIZONTAL DATUM IS BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JULY, 2025.
 - THE VERTICAL DATUM IS BASED ON NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JULY, 2025.
 - UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RECORD DESIGN PLANS, DIG SAFE FLAGGING, AND/OR INFORMATION PROVIDED BY THE TOWN OF LONDONDERRY, NH, AND ABOVE GROUND FEATURES LOCATED BY THIS OFFICE SAID UNDERGROUND UTILITIES ARE NOT WARRANTED TO BE EXACT OR INCLUSIVE OF ALL EXISTING UTILITIES.
 - A PORTION OF MAP 5 LOT 39 IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP 33015C0508E, WITH AN EFFECTIVE DATE OF MAY 17, 2005.
 - MAP 5 LOT 39 IS ZONED AGRICULTURAL-RESIDENTIAL (AR-1) PER THE TOWN OF LONDONDERRY ZONING MAP:
- | | |
|-------------------|-----------|
| MIN LOT SIZE: | SOIL BASE |
| MIN LOT FRONTAGE: | 150 FT |
| MIN FRONT YARD: | 40 FT |
| MIN SIDE YARD: | 15 FT |
| MIN REAR YARD: | 15 FT |
- REFER TO THE TOWN OF LONDONDERRY ZONING ORDINANCE FOR ADDITIONAL INFORMATION AND RESTRICTIONS.
- LOT CORNERS ARE TO BE SET IN ACCORDANCE WITH SECTIONS 3.02.A AND B.2 OF THE SUBDIVISION REGULATIONS.
 - STREET RIGHT-OF-WAY: SHALL BE MARKED BY A STONE OR CONCRETE MONUMENT 4"x4"x36" IN SIZE (MINIMUM), AND
 - LOTS: AT LEAST ONE LOT CORNER AT THE RIGHT-OF-WAY LINE SHALL BE MARKED BY A STONE OR CONCRETE MONUMENT 4"x4"x36" (MINIMUM). ALL OTHER LOT CORNERS SHALL BE MARKED BY EITHER A ONE (1) INCH DIAMETER IRON PIPE OR FIVE-EIGHTHS (5/8) INCH STEEL REBAR AT LEAST THIRTY (30) INCHES IN LENGTH OR A DRILL HOLE SET IN EXISTING STONE WALLS.
 - NHDES SUBDIVISION APPROVAL:

REFERENCE PLANS:

- ROCKINGHAM COUNTY REGISTRY OF DEEDS (R.C.R.D.) PLAN D-35581
- R.C.R.D. PLAN D-40736
- R.C.R.D. PLAN D-40130
- R.C.R.D. PLAN D-29792
- R.C.R.D. PLAN D-26466
- R.C.R.D. PLAN D-24128
- R.C.R.D. PLAN D-21841
- R.C.R.D. PLAN D-14671
- R.C.R.D. PLAN D-10214
- R.C.R.D. PLAN C-7207
- R.C.R.D. PLAN C-6977
- R.C.R.D. PLAN C-3403
- R.C.R.D. PLAN C-3331
- R.C.R.D. PLAN B-8964
- R.C.R.D. PLAN BOOK 1966 PAGE 12
- R.C.R.D. PLAN 699
- R.C.R.D. PLAN D-7571

OWNER'S SIGNATURE

Linda Elwood
LINDA ELWOOD DATE: 12-15-2025

Christina Elwood
CHRISTINA ELWOOD DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

SUBDIVISION PLAN (OVERVIEW)

TAX MAP 5 LOT 39, 39-5, 40 & 72
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35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
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WETLAND NOTES

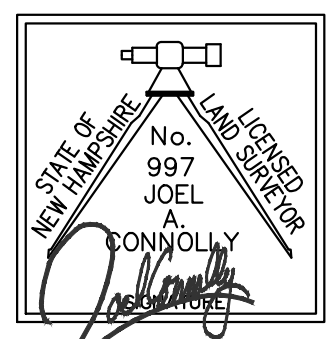
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DATE



NO.	DATE	DESCRIPTION	BY

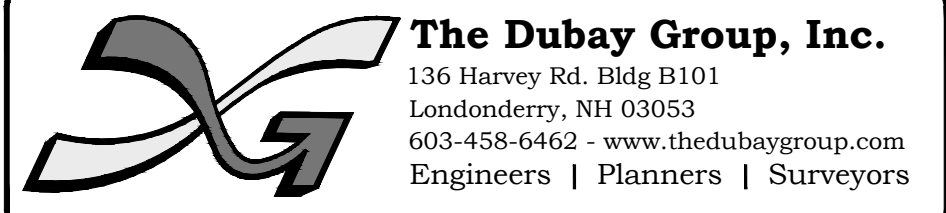
APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____

ON DATE _____

CERTIFIED BY:

CHAIRMAN _____

SECRETARY _____

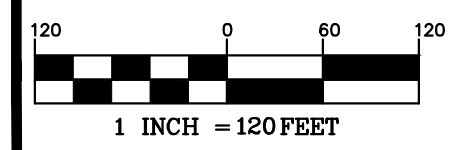


Drawn By: DSJ
Checked By: JAC
Project: 774-WS
File: 774-WS

SHEET 10 of 42

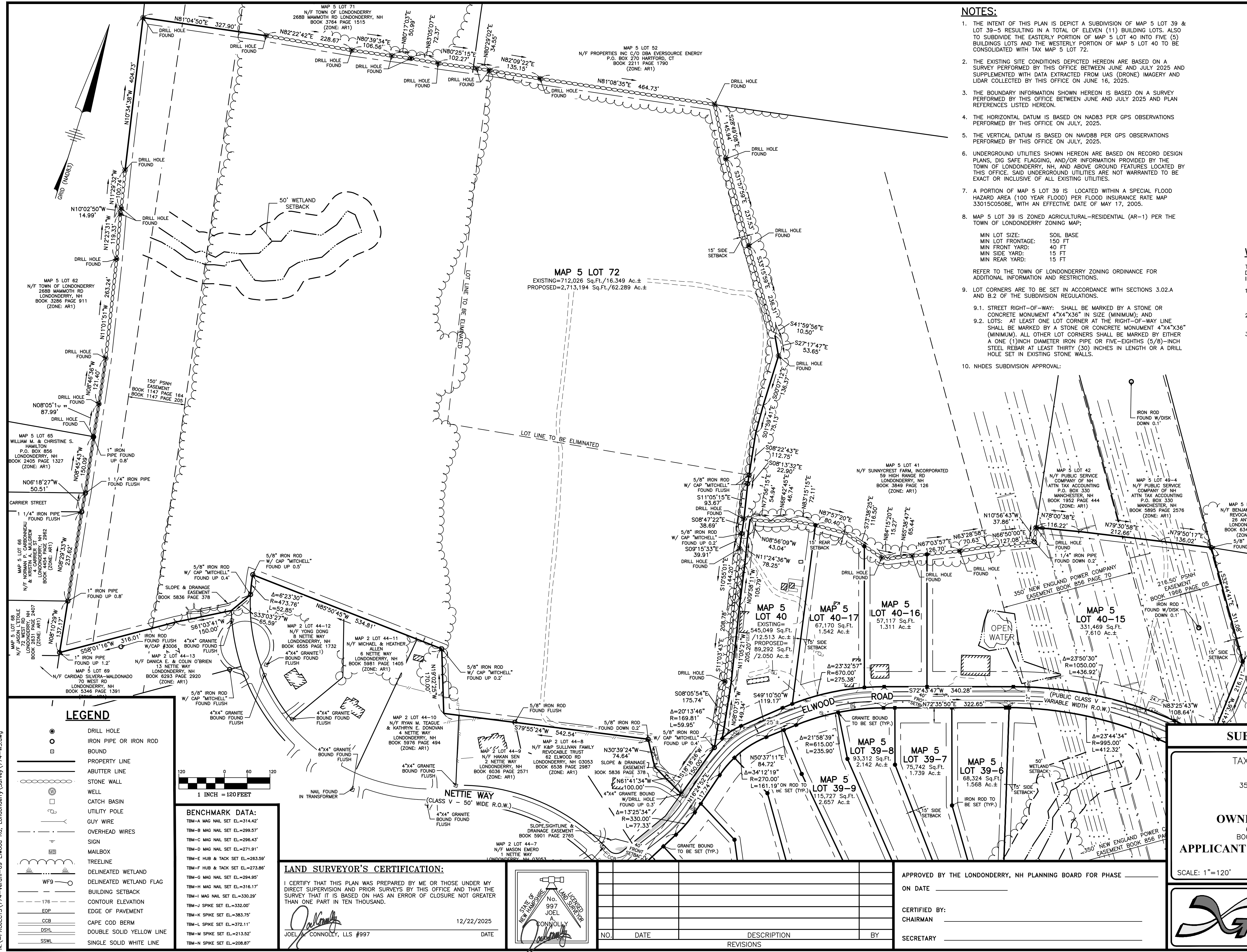
LEGEND

- DRILL HOLE
- IRON PIPE OR IRON ROD
- BOUND
- PROPERTY LINE
- - - ABUTTER LINE
- STONE WALL
- WELL
- CATCH BASIN
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRES
- SIGN
- MAILBOX
- TREELINE
- DELINEATED WETLAND
- DELINEATED WETLAND FLAG
- BUILDING SETBACK
- CONTOUR ELEVATION
- EDGE OF PAVEMENT
- CCB CAPE COD BERM
- DSYL DOUBLE SOLID YELLOW LINE
- SSWL SINGLE SOLID WHITE LINE

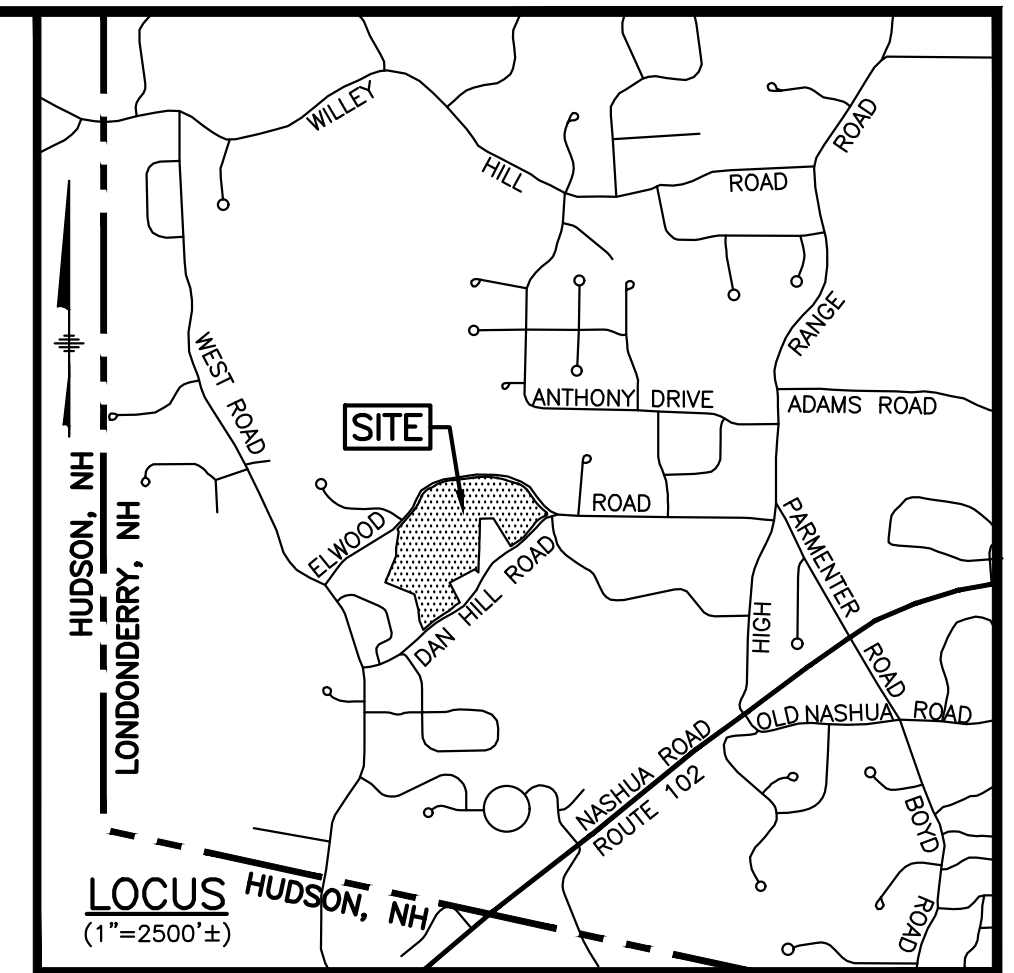


BENCHMARK DATA:

TBM-A MAG NAIL SET EL.-314.42'
TBM-B MAG NAIL SET EL.-299.57'
TBM-C MAG NAIL SET EL.-296.43'
TBM-D MAG NAIL SET EL.-271.91'
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TBM-F HUB & TACK SET EL.-273.86'
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TBM-H MAG NAIL SET EL.-316.17'
TBM-I MAG NAIL SET EL.-330.29'
TBM-J SPIKE SET EL.-332.00'
TBM-K SPIKE SET EL.-363.79'
TBM-L SPIKE SET EL.-372.11'
TBM-M SPIKE SET EL.-213.52'
TBM-N SPIKE SET EL.-208.87'



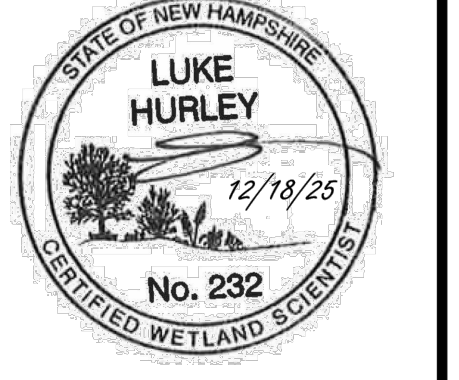
- NOTES:**
- THE INTENT OF THIS PLAN IS TO DEPICT A SUBDIVISION OF MAP 5 LOT 39 & LOT 39-5 RESULTING IN A TOTAL OF ELEVEN (11) BUILDING LOTS. ALSO TO SUBDIVIDE THE EASTERLY PORTION OF MAP 5 LOT 40 INTO FIVE (5) BUILDING LOTS AND THE WESTERLY PORTION OF MAP 5 LOT 40 TO BE CONSOLIDATED WITH TAX MAP 5 LOT 72.
 - THE EXISTING SITE CONDITIONS DEPICTED HEREON ARE BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN JUNE AND JULY 2025 AND SUPPLEMENTED WITH DATA EXTRACTED FROM UAS (DRONE) IMAGERY AND LIDAR COLLECTED BY THIS OFFICE ON JUNE 16, 2025.
 - THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN JUNE AND JULY 2025 AND PLAN REFERENCES LISTED HEREON.
 - THE HORIZONTAL DATUM IS BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JULY, 2025.
 - THE VERTICAL DATUM IS BASED ON NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JULY, 2025.
 - UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RECORD DESIGN PLANS, DIG SAFE FLAGGING, AND/OR INFORMATION PROVIDED BY THE TOWN OF LONDONDERRY, NH, AND ABOVE GROUND FEATURES LOCATED BY THIS OFFICE. SAID UNDERGROUND UTILITIES ARE NOT WARRANTED TO BE EXACT OR INCLUSIVE OF ALL EXISTING UTILITIES.
 - A PORTION OF MAP 5 LOT 39 IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP 33015C0508E, WITH AN EFFECTIVE DATE OF MAY 17, 2005.
 - MAP 5 LOT 39 IS ZONED AGRICULTURAL-RESIDENTIAL (AR-1) PER THE TOWN OF LONDONDERRY ZONING MAP:
- MIN LOT SIZE: SOIL BASE
 MIN LOT FRONTAGE: 150 FT
 MIN FRONT YARD: 40 FT
 MIN SIDE YARD: 15 FT
 MIN REAR YARD: 15 FT
- REFER TO THE TOWN OF LONDONDERRY ZONING ORDINANCE FOR ADDITIONAL INFORMATION AND RESTRICTIONS.
- CORNER ARE TO BE SET IN ACCORDANCE WITH SECTIONS 3.02.A AND B.2 OF THE SUBDIVISION REGULATIONS.
 - STREET RIGHT-OF-WAY: SHALL BE MARKED BY A STONE OR CONCRETE MONUMENT 4"x4"x36" IN SIZE (MINIMUM); AND
 - LOTS: AT LEAST ONE LOT CORNER AT THE RIGHT-OF-WAY LINE SHALL BE MARKED BY A STONE OR CONCRETE MONUMENT 4"x4"x36" (MINIMUM). ALL OTHER LOT CORNERS SHALL BE MARKED BY EITHER A ONE (1) INCH DIAMETER IRON PIPE OR FIVE-EIGHTHS (5/8)-INCH STEEL REBAR AT LEAST THIRTY (30) INCHES IN LENGTH OR A DRILL HOLE SET IN EXISTING DIGITAL WALLS.
 - NHDES SUBDIVISION APPROVAL:



WETLAND NOTES

THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY HURLEY ENVIRONMENTAL & LAND PLANNING, LLC IN JUNE 2025 IN ACCORDANCE WITH:

- US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-12-1, JANUARY 2012, VERSION 2.0.
- FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2010).
- NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.



OWNER'S SIGNATURE

Linda Elwood
 LINDA ELWOOD DATE: 12-15-2025

Christina Elwood
 CHRISTINA ELWOOD DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

SUBDIVISION PLAN (OVERVIEW)

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
 69 ELWOOD ROAD LONDONDERRY, NH 03053
 BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=120' DATE: DEC. 12, 2025

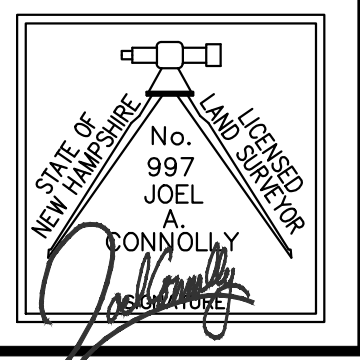
The Dubay Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462 - www.thedubaygroup.com
 Engineers | Planners | Surveyors

Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS
 SHEET 11 of 42

LAND SURVEYOR'S CERTIFICATION:

I CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND PRIOR SURVEYS BY THIS OFFICE AND THAT THE SURVEY THAT IT IS BASED ON HAS AN ERROR OF CLOSURE NOT GREATER THAN ONE PART IN TEN THOUSAND.

Joel A. Connolly, LLC
 JOEL A. CONNOLLY, LLC #997
 12/22/2025
 DATE

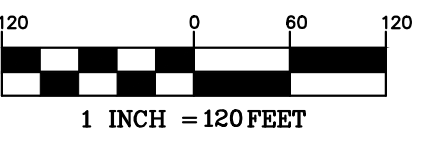


NO.	DATE	DESCRIPTION	BY

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____
 ON DATE _____

CERTIFIED BY:
 CHAIRMAN _____
 SECRETARY _____

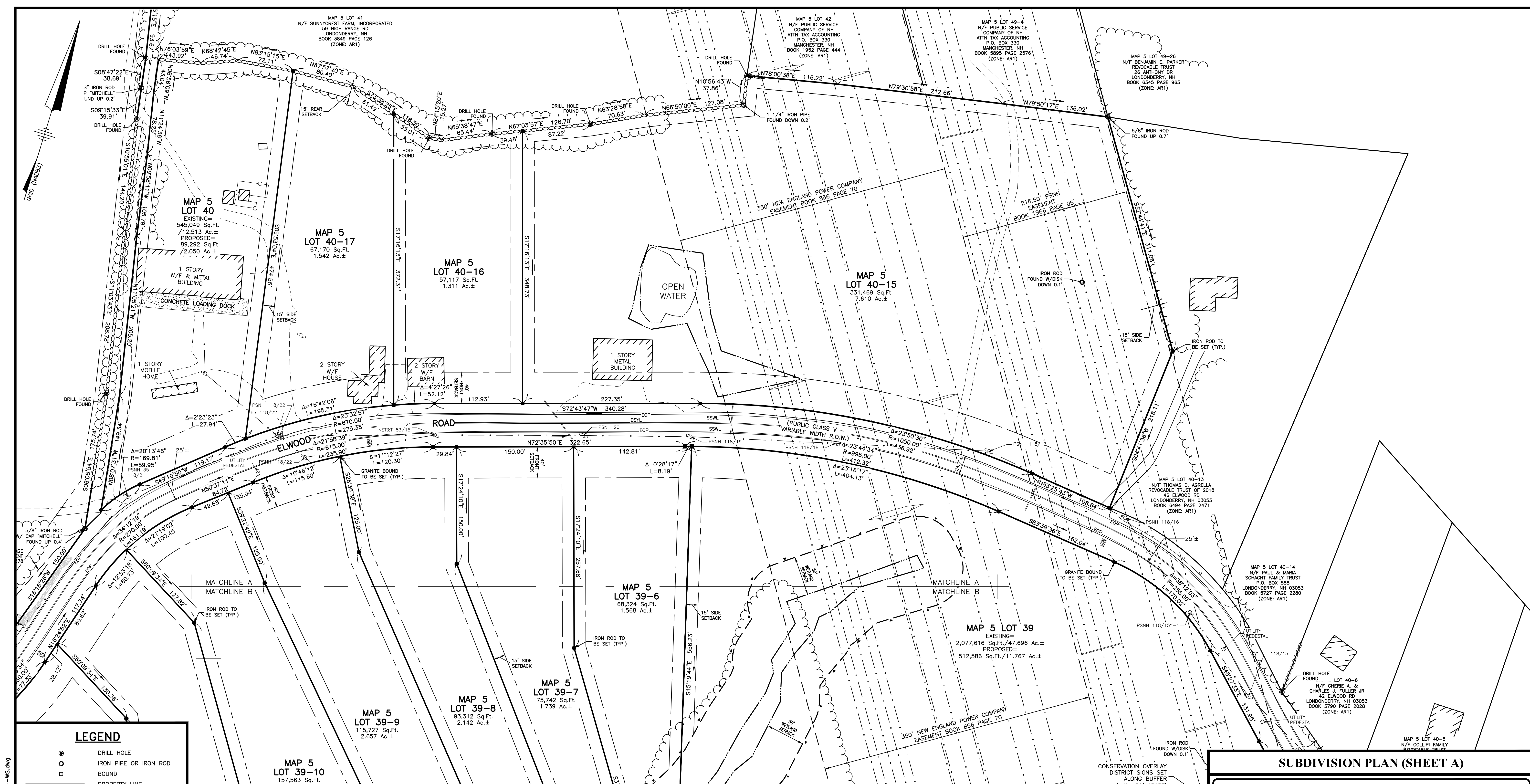
- LEGEND**
- DRILL HOLE
 - IRON PIPE OR IRON ROD
 - BOUND
 - PROPERTY LINE
 - - - ABUTTER LINE
 - STONE WALL
 - WELL
 - CATCH BASIN
 - UTILITY POLE
 - GUY WIRE
 - OVERHEAD WIRES
 - SIGN
 - MAILBOX
 - TREELINE
 - DELINEATED WETLAND
 - DELINEATED WETLAND FLAG
 - BUILDING SETBACK
 - 176 — CONTOUR ELEVATION
 - EOP — EDGE OF PAVEMENT
 - CCB — CAPE COD BERM
 - DSYL — DOUBLE SOLID YELLOW LINE
 - SSWL — SINGLE SOLID WHITE LINE



BENCHMARK DATA:

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 TBM-B MAG NAIL SET EL.-299.57'
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 TBM-J SPIKE SET EL.-332.00'
 TBM-K SPIKE SET EL.-383.75'
 TBM-L SPIKE SET EL.-372.11'
 TBM-M SPIKE SET EL.-213.52'
 TBM-N SPIKE SET EL.-208.87'

NA=PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\Survey\774-WS.dwg



LEGEND

- DRILL HOLE
- IRON PIPE OR IRON ROD
- BOUND
- PROPERTY LINE
- ABUTTER LINE
- STONE WALL
- WELL
- CATCH BASIN
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRES
- SIGN
- MAILBOX
- TRELISE
- DELINEATED WETLAND
- DELINEATED WETLAND FLAG
- BUILDING SETBACK
- CONTOUR ELEVATION
- EOP
- CCB
- DSYL
- SSWL
- W/F9
- 176
- 176
- EOP
- CCB
- DSYL
- SSWL

BENCHMARK DATA:

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OWNER'S SIGNATURE

LINDA ELWOOD DATE: 12-15-2025

CHRISTINA ELWOOD DATE: 12-14-2025

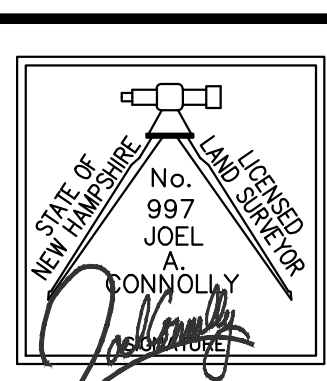
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12/22/2025

JOEL A. CONNOLLY, LLS #997 DATE



WETLAND NOTES

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NO.	DATE	DESCRIPTION	BY

KEY MAP

A	B
C	D

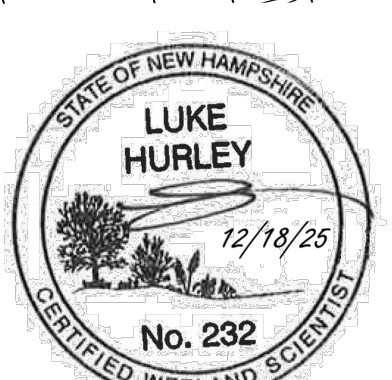
APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____

ON DATE _____

CERTIFIED BY: _____

CHAIRMAN _____

SECRETARY _____



SUBDIVISION PLAN (SHEET A)

TAX MAP 5 LOT 39, 39-5, 40 & 72

ELWOOD ROAD

35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:

OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

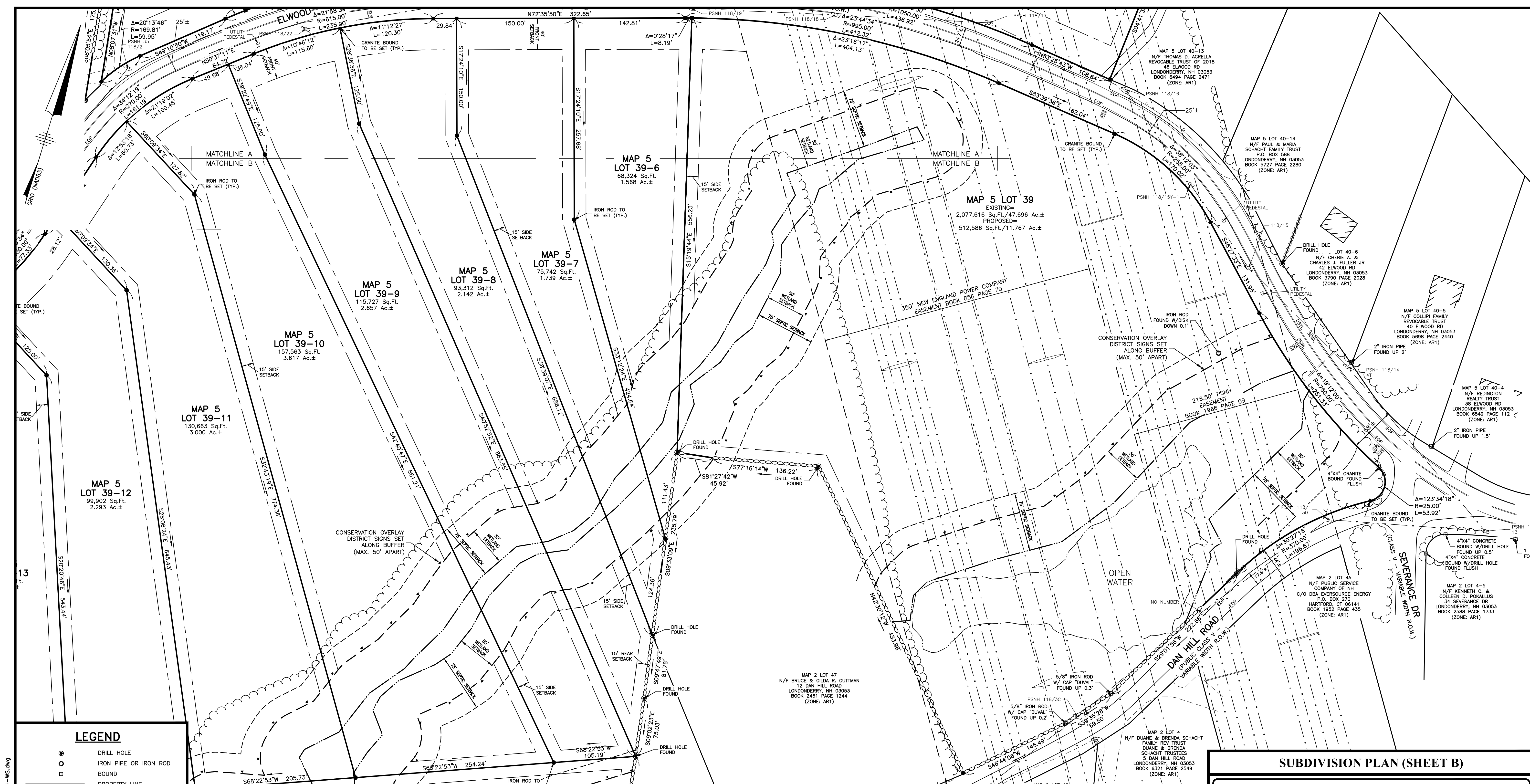
SCALE: 1"=60' DATE: DEC. 12, 2025

The Dubay Group, Inc.
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462 - www.thedubaygroup.com
Engineers | Planners | Surveyors

Drawn By: DSJ
Checked By: JAC
Project: 774
File: 774-WS

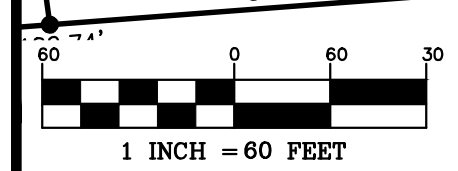
SHEET 12 of 42

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LEGEND

	DRILL HOLE
	IRON PIPE OR IRON ROD
	BOUND
	PROPERTY LINE
	ABUTTER LINE
	STONE WALL
	WELL
	CATCH BASIN
	UTILITY POLE
	GUY WIRE
	OVERHEAD WIRES
	SIGN
	MAILBOX
	TRELISNE
	DELINEATED WETLAND
	DELINEATED WETLAND FLAG
	BUILDING SETBACK
	CONTOUR ELEVATION
	EDGE OF PAVEMENT
	CAPE COD BERM
	DOUBLE SOLID YELLOW LINE
	SINGLE SOLID WHITE LINE



BENCHMARK DATA:

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TBM-K SPIKE SET EL.-363.75'
TBM-L SPIKE SET EL.-372.11'
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TBM-N SPIKE SET EL.-208.87'

OWNER'S SIGNATURE

Wayne Elwood
LINDA ELWOOD DATE: 12-15-2025

Christina Elwood
CHRISTINA ELWOOD DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

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Joel A. Connolly
JOEL A. CONNOLLY, LLS #997 DATE: 12/22/2025

WETLAND NOTES

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- NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.



KEY MAP

A
C B
D

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____ ON DATE _____

CERTIFIED BY: _____ CHAIRMAN _____ SECRETARY _____

SUBDIVISION PLAN (SHEET B)

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 6276 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: _____ DATE: DEC. 12, 2025

The Dubay Group, Inc.
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462 - www.thedubaygroup.com
Engineers | Planners | Surveyors

Drawn By: DSJ
Checked By: JAC
Project: 774
File: 774-WS
SHEET 13 of 42

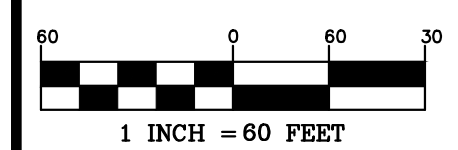
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LEGEND

- DRILL HOLE
- IRON PIPE OR IRON ROD
- BOUND
- PROPERTY LINE
- ABUTTER LINE
- STONE WALL
- ⊙ WELL
- ⊕ CATCH BASIN
- ⊖ UTILITY POLE
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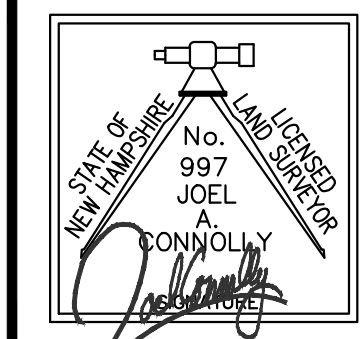
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Joel A. Connolly
 JOEL A. CONNOLLY, LLS #997
 12/22/2025
 DATE



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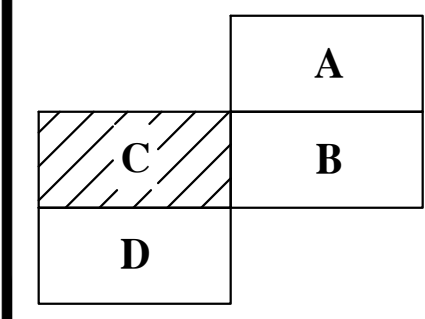
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- NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.



KEY MAP



OWNER'S SIGNATURE

Linda Elwood
 LINDA ELWOOD
 DATE: 12-15-2025

Christina Elwood
 CHRISTINA ELWOOD
 DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

SUBDIVISION PLAN (SHEET C)

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD

69 ELWOOD ROAD LONDONDERRY, NH 03053
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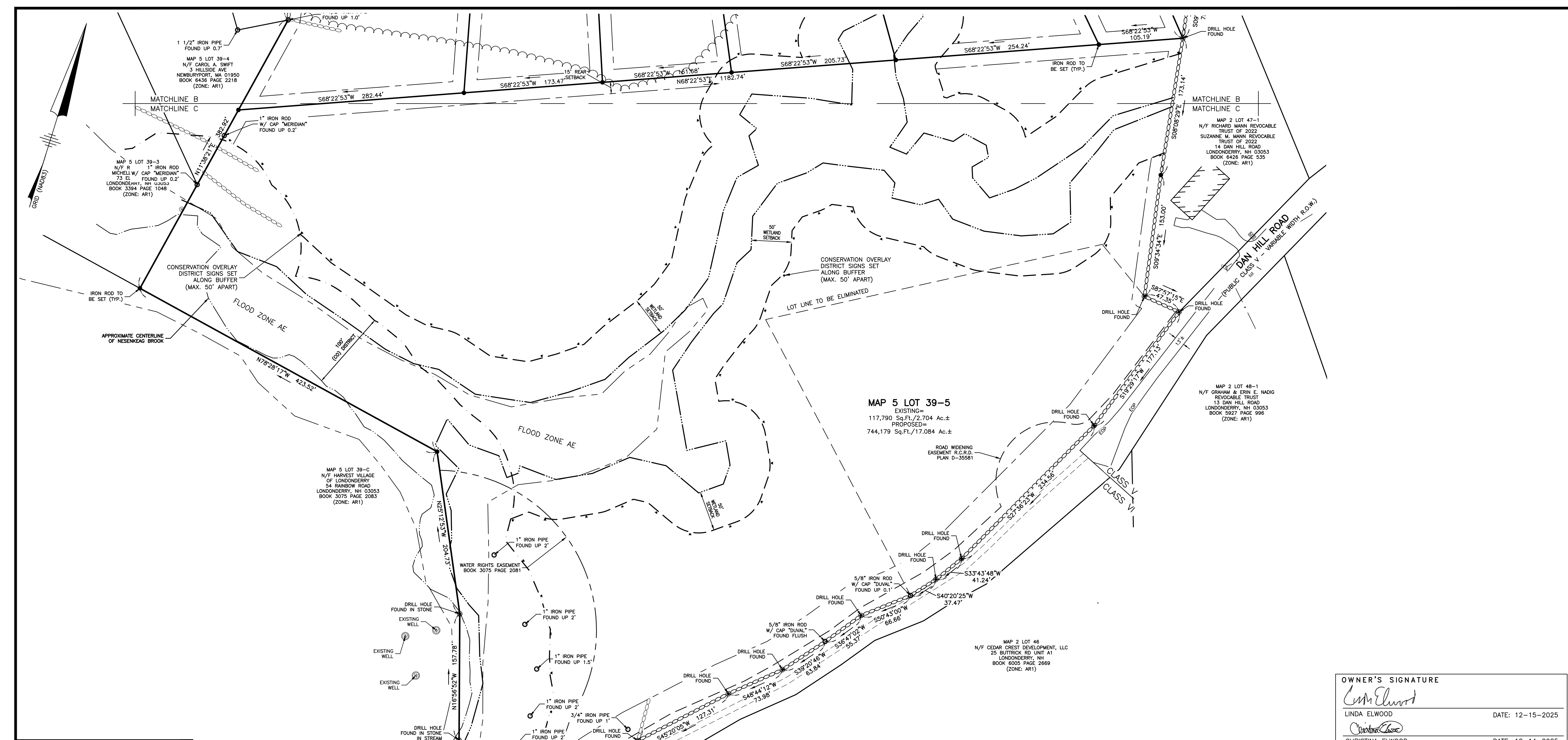
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Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS
 SHEET 14 of 42

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____
 ON DATE _____

CERTIFIED BY:
 CHAIRMAN _____
 SECRETARY _____



MAP 5 LOT 39-5
 EXISTING=
 117,790 Sq.Ft./2.704 Ac.±
 PROPOSED=
 744,179 Sq.Ft./17.084 Ac.±

MAP 5 LOT 39-C
 N/F HARVEST VILLAGE OF LONDONDERRY
 54 RAINBOW ROAD
 LONDONDERRY, NH 03053
 BOOK 3075 PAGE 2083
 (ZONE: AR1)

MAP 2 LOT 48-1
 N/F GRAHAM & ERIN E. NADIG
 REVOCABLE TRUST
 13 DAN HILL ROAD
 LONDONDERRY, NH 03053
 BOOK 5927 PAGE 996
 (ZONE: AR1)

MAP 2 LOT 46
 N/F CEDAR CREST DEVELOPMENT, LLC
 25 BUTTRICK RD UNIT A1
 LONDONDERRY, NH
 BOOK 6005 PAGE 2669
 (ZONE: AR1)

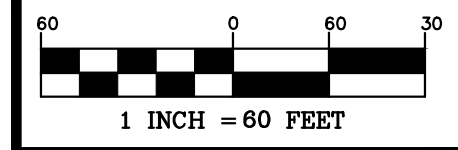
OWNER'S SIGNATURE

 LINDA ELWOOD DATE: 12-15-2025

 CHRISTINA ELWOOD DATE: 12-14-2025
 ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

LEGEND

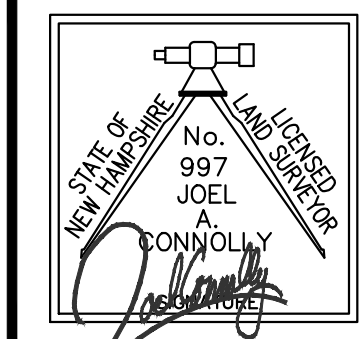
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- ⊞ DELINEATED WETLAND FLAG
- ⊞ BUILDING SETBACK
- - - 176 - - - CONTOUR ELEVATION
- ⊞ EOP EDGE OF PAVEMENT
- ⊞ CCB CAPE COD BERM
- ⊞ DSYL DOUBLE SOLID YELLOW LINE
- ⊞ SSWL SINGLE SOLID WHITE LINE



BENCHMARK DATA:
 TBM-A MAG NAIL SET EL=-314.42'
 TBM-B MAG NAIL SET EL=-299.57'
 TBM-C MAG NAIL SET EL=-296.43'
 TBM-D MAG NAIL SET EL=-271.91'
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 TBM-M SPIKE SET EL=-213.52'
 TBM-N SPIKE SET EL=-208.87'

LAND SURVEYOR'S CERTIFICATION:

I CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND PRIOR SURVEYS BY THIS OFFICE AND THAT THE SURVEY THAT IT IS BASED ON HAS AN ERROR OF CLOSURE NOT GREATER THAN ONE PART IN TEN THOUSAND.
 12/22/2025
 DATE
 JOEL A. CONNOLLY, LLS #997

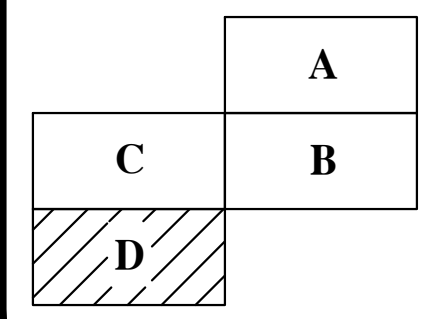


WETLAND NOTES

THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY HURLEY ENVIRONMENTAL & LAND PLANNING, LLC IN JUNE 2025 IN ACCORDANCE WITH:
 1. US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-12-1, JANUARY 2012, VERSION 2.0.
 2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2010).
 3. NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.



KEY MAP



SUBDIVISION PLAN (SHEET D)

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE
 OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
 69 ELWOOD ROAD LONDONDERRY, NH 03053
 BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: _____ DATE: DEC. 12, 2025

The Dubay Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462 - www.thedubaygroup.com
 Engineers | Planners | Surveyors

Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS
 SHEET 15 of 42

NO.	DATE	DESCRIPTION	BY

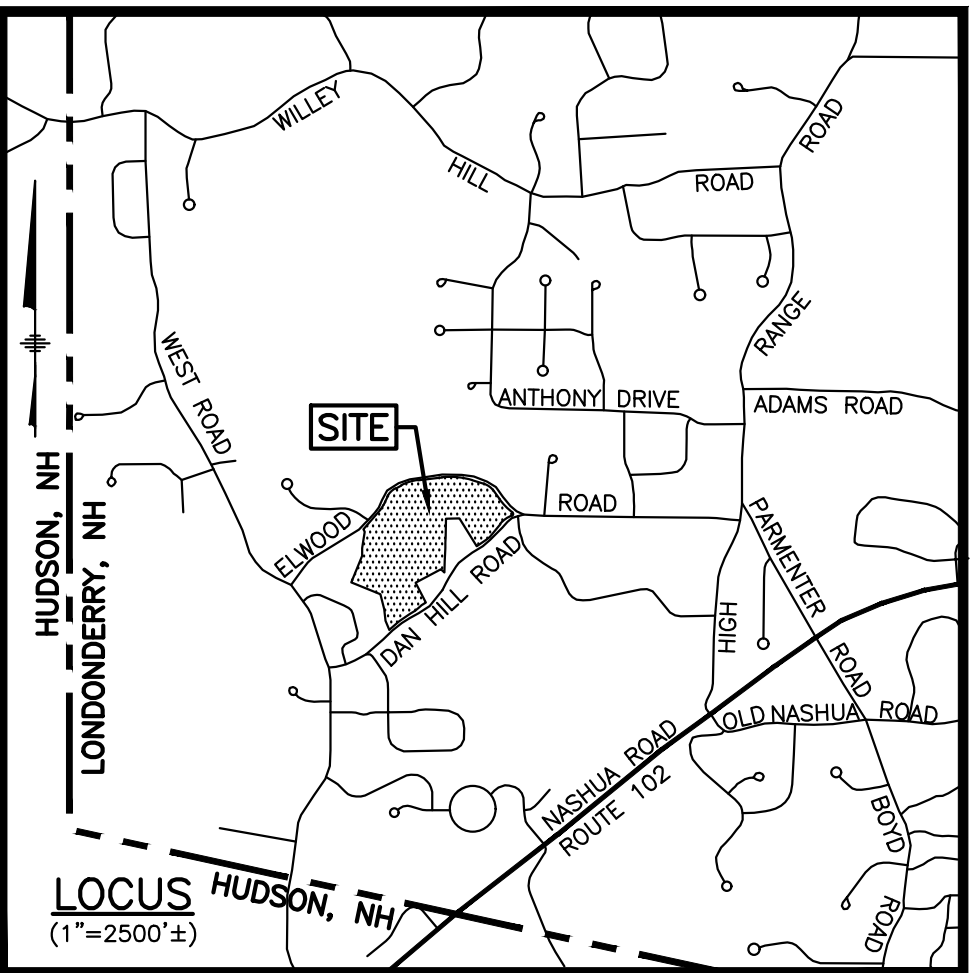
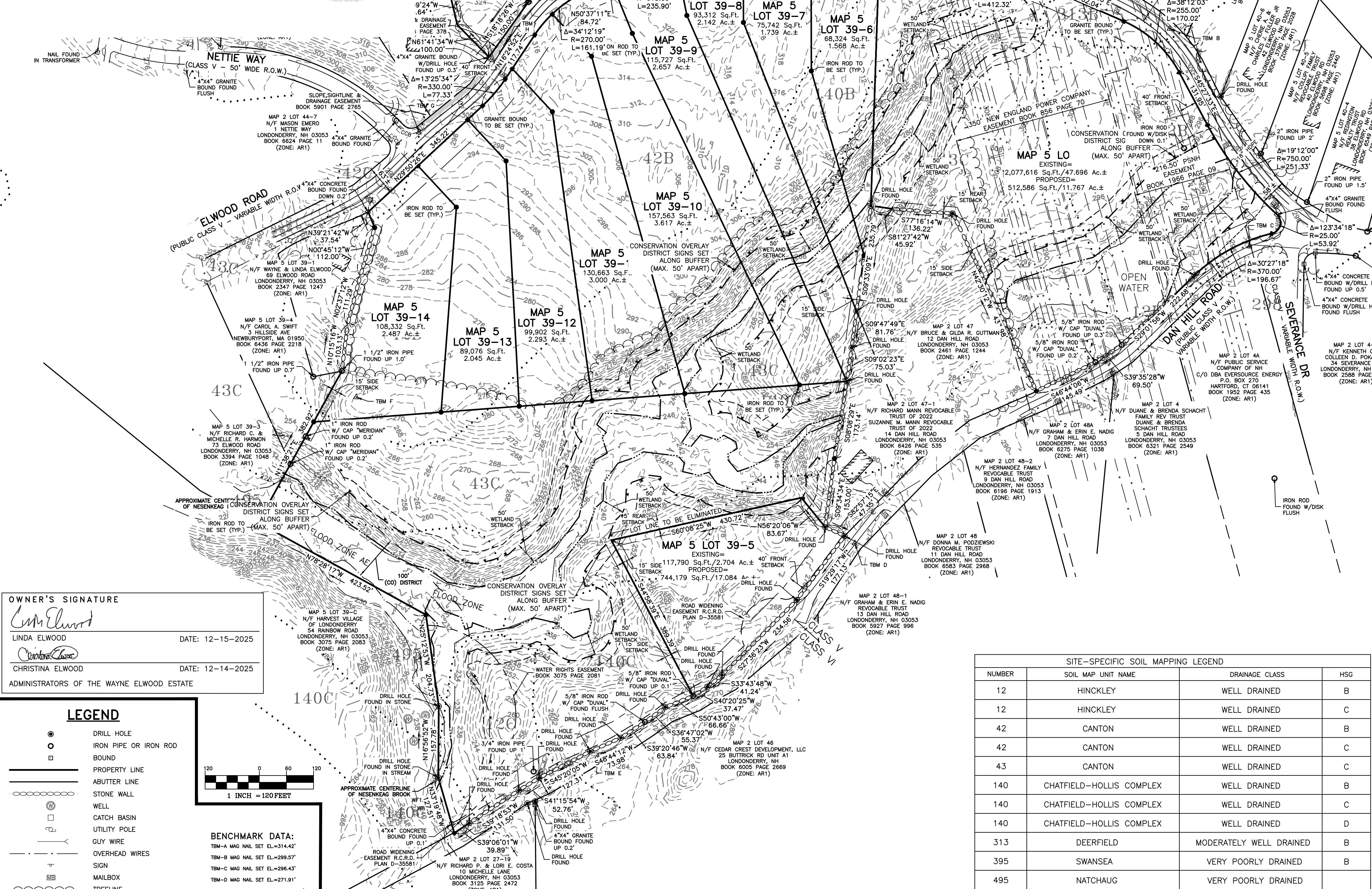
APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____
 ON DATE _____
 CERTIFIED BY: _____
 CHAIRMAN _____
 SECRETARY _____

NA:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\Survey\774-WS.dwg

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3. NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.



- NOTES:**
1. THE INTENT OF THIS PLAN IS TO DEPICT A SUBDIVISION OF MAP 5 LOT 39 & LOT 39-5 RESULTING IN A TOTAL OF ELEVEN (11) BUILDING LOTS. ALSO TO SUBDIVIDE THE EASTERLY PORTION OF MAP 5 LOT 40 INTO FIVE (5) BUILDING LOTS AND THE WESTERLY PORTION OF MAP 5 LOT 40 TO BE CONSOLIDATED WITH TAX MAP 5 LOT 72.
 2. THE EXISTING SITE CONDITIONS DEPICTED HEREON ARE BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN JUNE AND JULY 2025 AND SUPPLEMENTED WITH DATA EXTRACTED FROM UAS (DRONE) IMAGERY AND LIDAR COLLECTED BY THIS OFFICE ON JUNE 16, 2025.
 3. THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A SURVEY PERFORMED BY THIS OFFICE BETWEEN JUNE AND JULY 2025 AND PLAN REFERENCES LISTED HEREON.
 4. THE HORIZONTAL DATUM IS BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JULY, 2025.
 5. THE VERTICAL DATUM IS BASED ON NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JULY, 2025.
 6. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON RECORD DESIGN PLANS, DIG SAFE FLAGGING, AND/OR INFORMATION PROVIDED BY THE TOWN OF LONDONDERRY, NH, AND ABOVE GROUND FEATURES LOCATED BY THIS OFFICE SAID UNDERGROUND UTILITIES ARE NOT WARRANTED TO BE EXACT OR INCLUSIVE OF ALL EXISTING UTILITIES.
 7. A PORTION OF MAP 5 LOT 39 IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP 3301505086, WITH AN EFFECTIVE DATE OF MAY 17, 2005.
 8. MAP 5 LOT 39 IS ZONED AGRICULTURAL-RESIDENTIAL (AR-1) PER THE TOWN OF LONDONDERRY ZONING MAP:

MIN LOT SIZE:	SOIL BASE
MIN LOT FRONTAGE:	150 FT
MIN FRONT YARD:	40 FT
MIN SIDE YARD:	15 FT
MIN REAR YARD:	15 FT

REFER TO THE TOWN OF LONDONDERRY ZONING ORDINANCE FOR ADDITIONAL INFORMATION AND RESTRICTIONS.

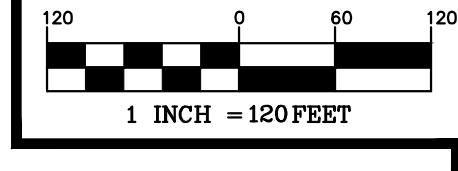
OWNER'S SIGNATURE

 LINDA ELWOOD DATE: 12-15-2025

 CHRISTINA ELWOOD DATE: 12-14-2025
 ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

LEGEND

	DRILL HOLE
	IRON PIPE OR IRON ROD
	BOUND
	PROPERTY LINE
	ABUTTER LINE
	STONE WALL
	WELL
	CATCH BASIN
	UTILITY POLE
	GUY WIRE
	OVERHEAD WIRES
	SIGN
	MAILBOX
	TRELISNE
	DELINEATED WETLAND
	DELINEATED WETLAND FLAG
	BUILDING SETBACK
	CONTOUR ELEVATION
	EDGE OF PAVEMENT
	CAPE COD BERM
	DOUBLE SOLID YELLOW LINE
	SINGLE SOLID WHITE LINE



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SITE-SPECIFIC SOIL MAPPING LEGEND

NUMBER	SOIL MAP UNIT NAME	DRAINAGE CLASS	HSG
12	HINCKLEY	WELL DRAINED	B
12	HINCKLEY	WELL DRAINED	C
42	CANTON	WELL DRAINED	B
42	CANTON	WELL DRAINED	C
43	CANTON	WELL DRAINED	C
140	CHATFIELD-HOLLIS COMPLEX	WELL DRAINED	B
140	CHATFIELD-HOLLIS COMPLEX	WELL DRAINED	C
140	CHATFIELD-HOLLIS COMPLEX	WELL DRAINED	D
313	DEERFIELD	MODERATELY WELL DRAINED	B
395	SWANSEA	VERY POORLY DRAINED	B
495	NATCHAUG	VERY POORLY DRAINED	B

- REFERENCE PLANS:**
1. ROCKINGHAM COUNTY REGISTRY OF DEEDS (R.C.R.D.) PLAN D-35581
 2. R.C.R.D. PLAN D-40736
 3. R.C.R.D. PLAN D-40130
 4. R.C.R.D. PLAN D-29792
 5. R.C.R.D. PLAN D-26466
 6. R.C.R.D. PLAN D-24128
 7. R.C.R.D. PLAN D-21841
 8. R.C.R.D. PLAN D-14671
 9. R.C.R.D. PLAN D-10214
 10. R.C.R.D. PLAN C-7207
 11. R.C.R.D. PLAN C-6977
 12. R.C.R.D. PLAN C-3403
 13. R.C.R.D. PLAN C-3331
 14. R.C.R.D. PLAN B-8964
 15. R.C.R.D. PLAN BOOK 1966 PAGE 12
 16. R.C.R.D. PLAN 699
 17. R.C.R.D. PLAN D-7571

NHDES TOPOGRAPHIC SUBDIVISION PLAN (OVERVIEW)

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 LONDONDERRY, NEW HAMPSHIRE
 OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
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 BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053
 SCALE: 1"=120' DATE: DEC. 12, 2025

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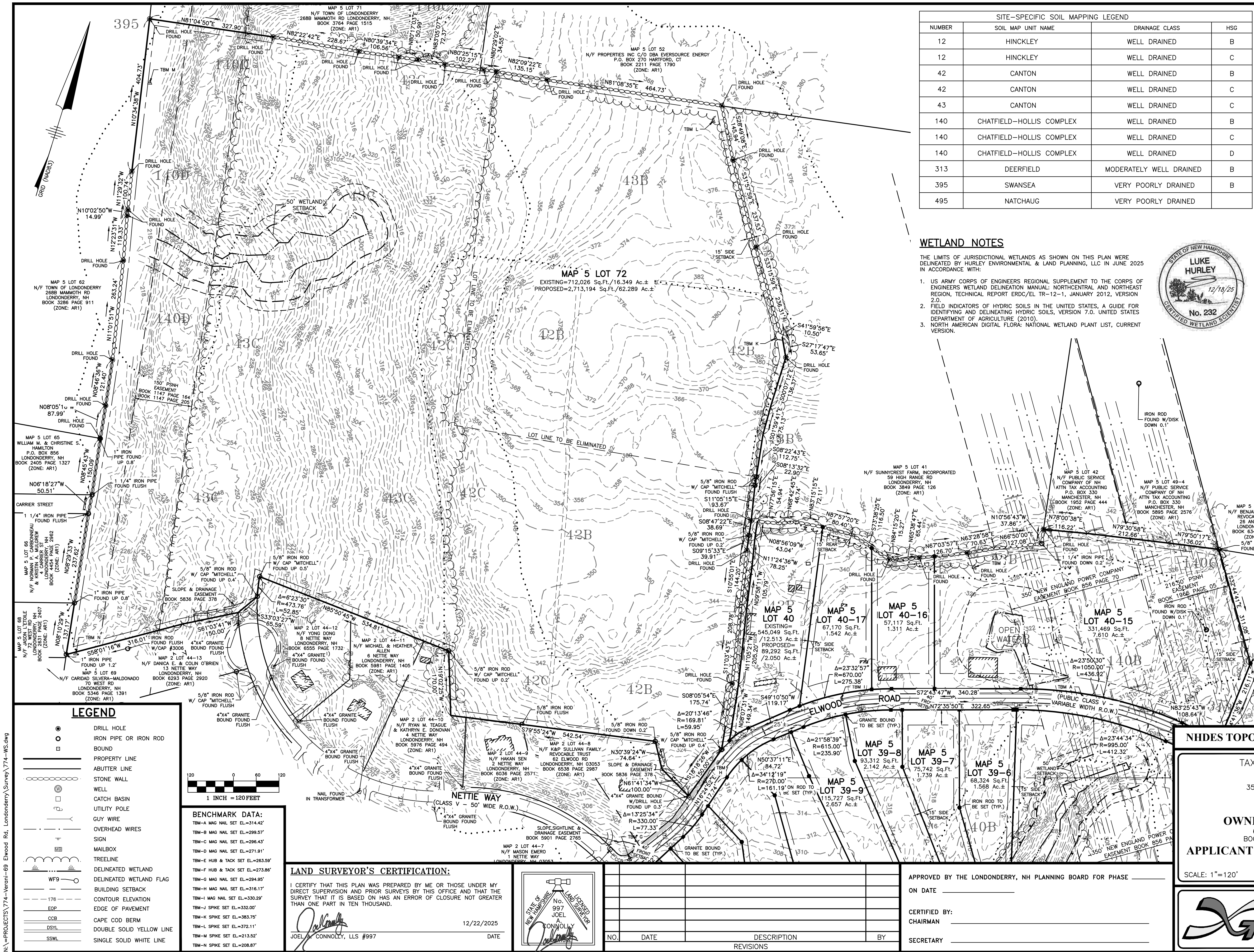
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 Project: 774
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 SHEET 16 of 42

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____
 ON DATE _____

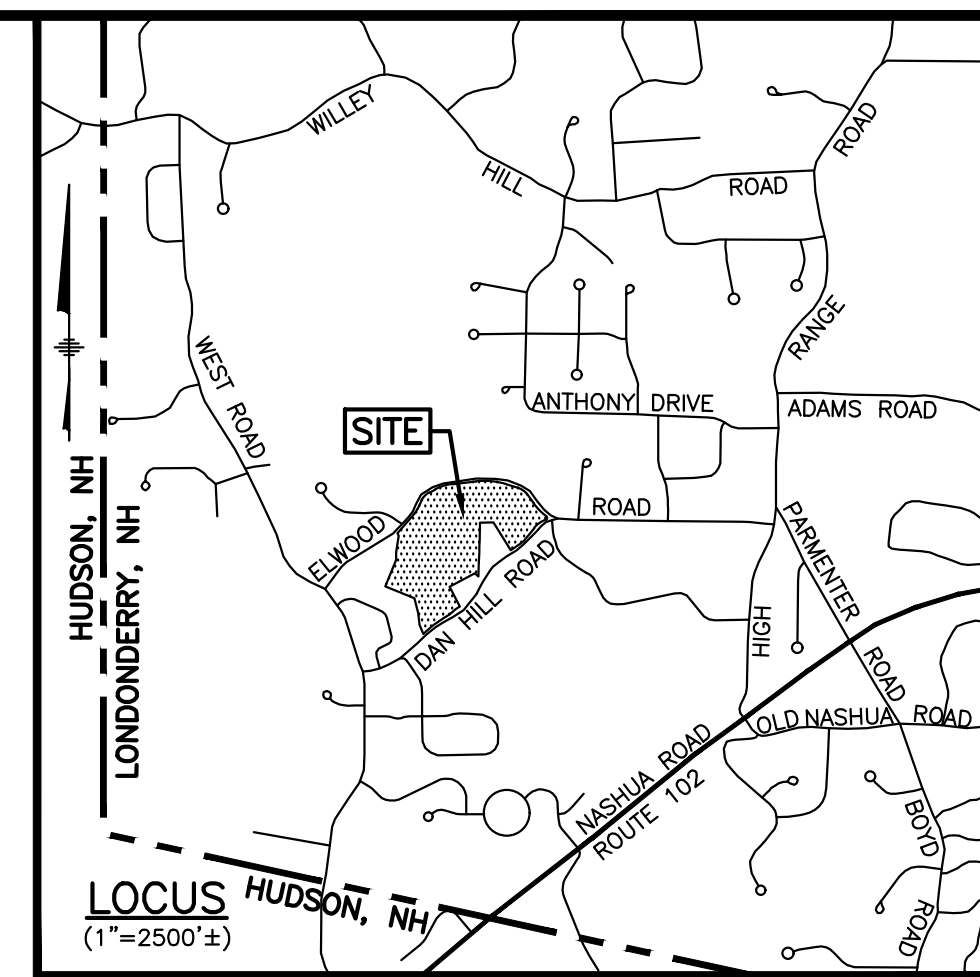
CERTIFIED BY:
 CHAIRMAN _____
 SECRETARY _____

NO.	DATE	DESCRIPTION	BY

N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\Survey\774-WS.dwg



SITE-SPECIFIC SOIL MAPPING LEGEND			
NUMBER	SOIL MAP UNIT NAME	DRAINAGE CLASS	HSG
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140	CHATFIELD-HOLLIS COMPLEX	WELL DRAINED	D
313	DEERFIELD	MODERATELY WELL DRAINED	B
395	SWANSEA	VERY POORLY DRAINED	B
495	NATCHAUG	VERY POORLY DRAINED	B



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- NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.



OWNER'S SIGNATURE

Linda Elwood
LINDA ELWOOD DATE: 12-15-2025

Christina Elwood
CHRISTINA ELWOOD DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

NHDES TOPOGRAPHIC SUBDIVISION PLAN (OVERVIEW)

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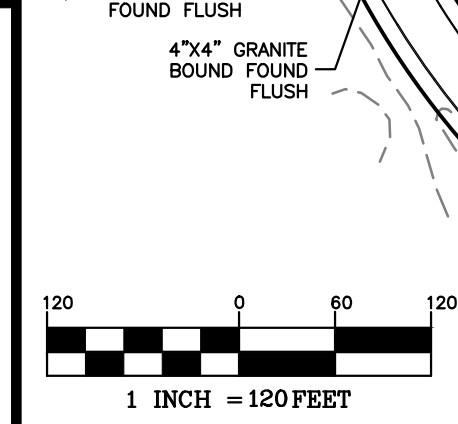
OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
 69 ELWOOD ROAD LONDONDERRY, NH 03053
 BOOK 6348 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=120' DATE: DEC. 12, 2025

LEGEND

- DRILL HOLE
- IRON PIPE OR IRON ROD
- BOUND
- PROPERTY LINE
- ABUTTER LINE
- STONE WALL
- WELL
- CATCH BASIN
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRES
- SIGN
- MAILBOX
- TREELINE
- DELINEATED WETLAND
- DELINEATED WETLAND FLAG
- BUILDING SETBACK
- CONTOUR ELEVATION
- EOP
- CCB
- DSYL
- SSWL



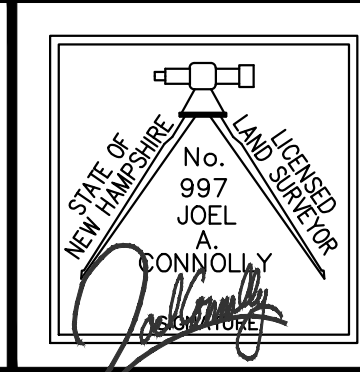
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Joel A. Connolly
 JOEL A. CONNOLLY, LLS #997
 DATE: 12/22/2025



NO.	DATE	DESCRIPTION	BY

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____

ON DATE _____

CERTIFIED BY: _____

CHAIRMAN _____

SECRETARY _____

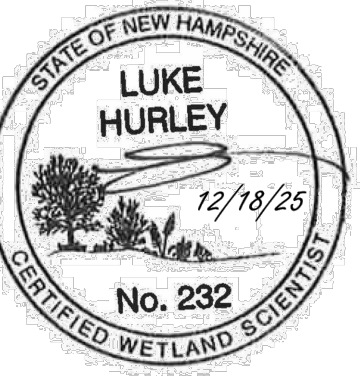
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Drawn By: DSJ
 Checked By: JAC
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 SHEET 17 of 42



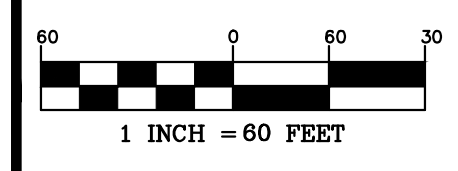
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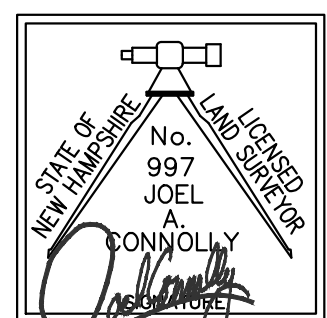
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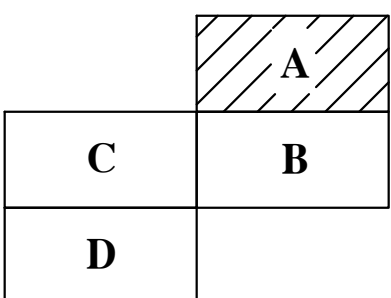
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OWNER'S SIGNATURE
 Linda Elwood DATE: 12-15-2025
 Christina Elwood DATE: 12-14-2025
 ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

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 12/22/2025
 JOEL A. CONNOLLY, LLS #997 DATE



KEY MAP



NHDES TOPOGRAPHIC SUBDIVISION PLAN (SHEET A)

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SCALE: 1"=60' DATE: DEC. 12, 2025

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Drawn By: DSJ
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 SHEET 18 of 42

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____
 ON DATE _____

CERTIFIED BY:
 CHAIRMAN _____
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LEGEND: DRILL HOLE, IRON PIPE OR IRON ROD, BOUND, PROPERTY LINE, ABUTTER LINE, STONE WALL, WELL, CATCH BASIN, UTILITY POLE, GUY WIRE, OVERHEAD WIRES, SIGN, MAILBOX, TRELISE, DELINEATED WETLAND, DELINEATED WETLAND FLAG, BUILDING SETBACK, CONTOUR ELEVATION, EDGE OF PAVEMENT, CCB, DSYL, SSWL, SINGLE SOLID WHITE LINE.

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OWNER'S SIGNATURE: Linda Elwood, Christina Elwood. DATE: 12-15-2025, 12-14-2025. ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE.

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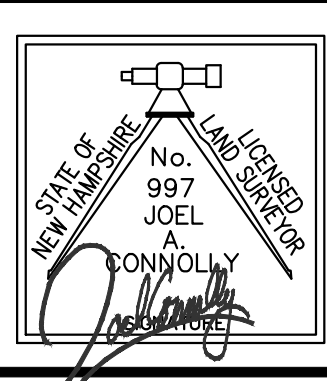
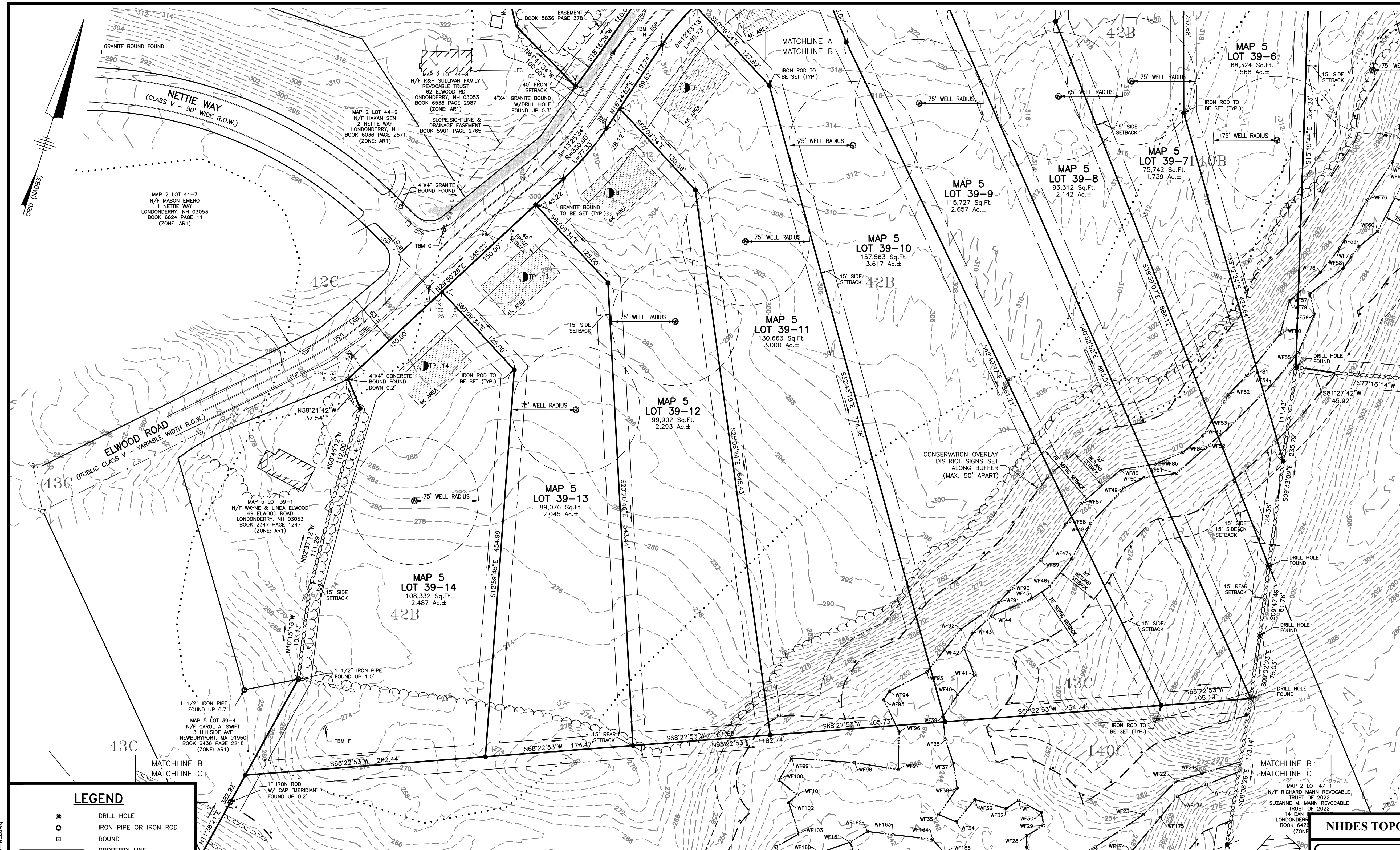


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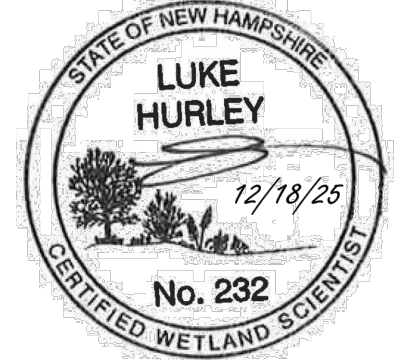
APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE ON DATE. CERTIFIED BY: CHAIRMAN, SECRETARY.

NHDES TOPOGRAPHIC SUBDIVISION PLAN (SHEET B). TAX MAP 5 LOT 39, 39-5, 40 & 72. ELWOOD ROAD. 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD. LONDONDERRY, NEW HAMPSHIRE. OWNER & APPLICANT: OWNER: ESTATE OF WAYNE ELWOOD, APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC. SCALE: 1"=60'. DATE: DEC. 12, 2025. The Dubay Group, Inc. 136 Harvey Rd. Bldg B101, Londonderry, NH 03053. 603-458-6462 - www.thedubaygroup.com. Engineers | Planners | Surveyors. Drawn By: DSJ, Checked By: JAC, Project: 774, File: 774-WS, SHEET 19 of 42.



WETLAND NOTES

- THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY HURLEY ENVIRONMENTAL & LAND PLANNING, LLC IN JUNE 2025 IN ACCORDANCE WITH:
1. US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-12-1, JANUARY 2012, VERSION 2.0.
 2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2010).
 3. NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.



OWNER'S SIGNATURE

Linda Elwood
LINDA ELWOOD DATE: 12-15-2025

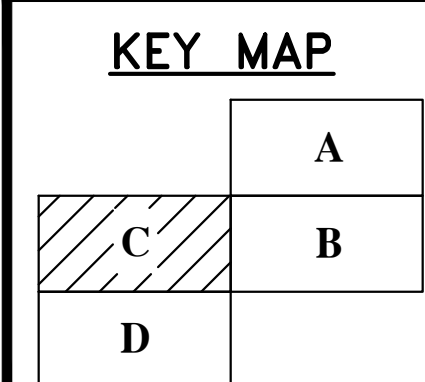
Christina Elwood
CHRISTINA ELWOOD DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

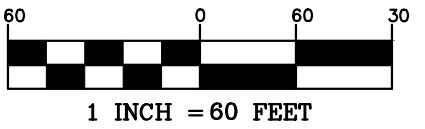
NHDES TOPOGRAPHIC SUBDIVISION PLAN (SHEET C)

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE
 OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
 69 ELWOOD ROAD LONDONDERRY, NH 03053
 BOOK 6436 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=60' DATE: DEC. 12, 2025



- LEGEND**
- DRILL HOLE
 - IRON PIPE OR IRON ROD
 - BOUND
 - PROPERTY LINE
 - ABUTTER LINE
 - STONE WALL
 - WELL
 - CATCH BASIN
 - UTILITY POLE
 - GUY WIRE
 - OVERHEAD WIRES
 - SIGN
 - MAILBOX
 - TREELINE
 - WF9 DELINEATED WETLAND
 - WF9 DELINEATED WETLAND FLAG
 - BUILDING SETBACK
 - 176 CONTOUR ELEVATION
 - EOP EDGE OF PAVEMENT
 - CCB CAPE COD BERM
 - DSYL DOUBLE SOLID YELLOW LINE
 - SSWL SINGLE SOLID WHITE LINE



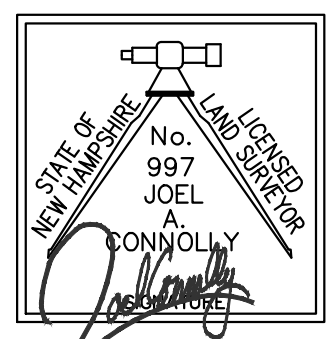
BENCHMARK DATA:

TBM-A MAG NAIL SET EL=-314.42'
 TBM-B MAG NAIL SET EL=-299.57'
 TBM-C MAG NAIL SET EL=-296.43'
 TBM-D MAG NAIL SET EL=-271.91'
 TBM-E HUB & TACK SET EL=-263.59'
 TBM-F HUB & TACK SET EL=-273.86'
 TBM-G MAG NAIL SET EL=-294.95'
 TBM-H MAG NAIL SET EL=-316.17'
 TBM-I MAG NAIL SET EL=-330.29'
 TBM-J SPIKE SET EL=-332.00'
 TBM-K SPIKE SET EL=-363.75'
 TBM-L SPIKE SET EL=-372.11'
 TBM-M SPIKE SET EL=-213.52'
 TBM-N SPIKE SET EL=-208.87'

LAND SURVEYOR'S CERTIFICATION:

I CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND PRIOR SURVEYS BY THIS OFFICE AND THAT THE SURVEY THAT IT IS BASED ON HAS AN ERROR OF CLOSURE NOT GREATER THAN ONE PART IN TEN THOUSAND.

Joel A. Connolly
 JOEL A. CONNOLLY, LLS #997
 12/22/2025
 DATE



NO.	DATE	DESCRIPTION	BY

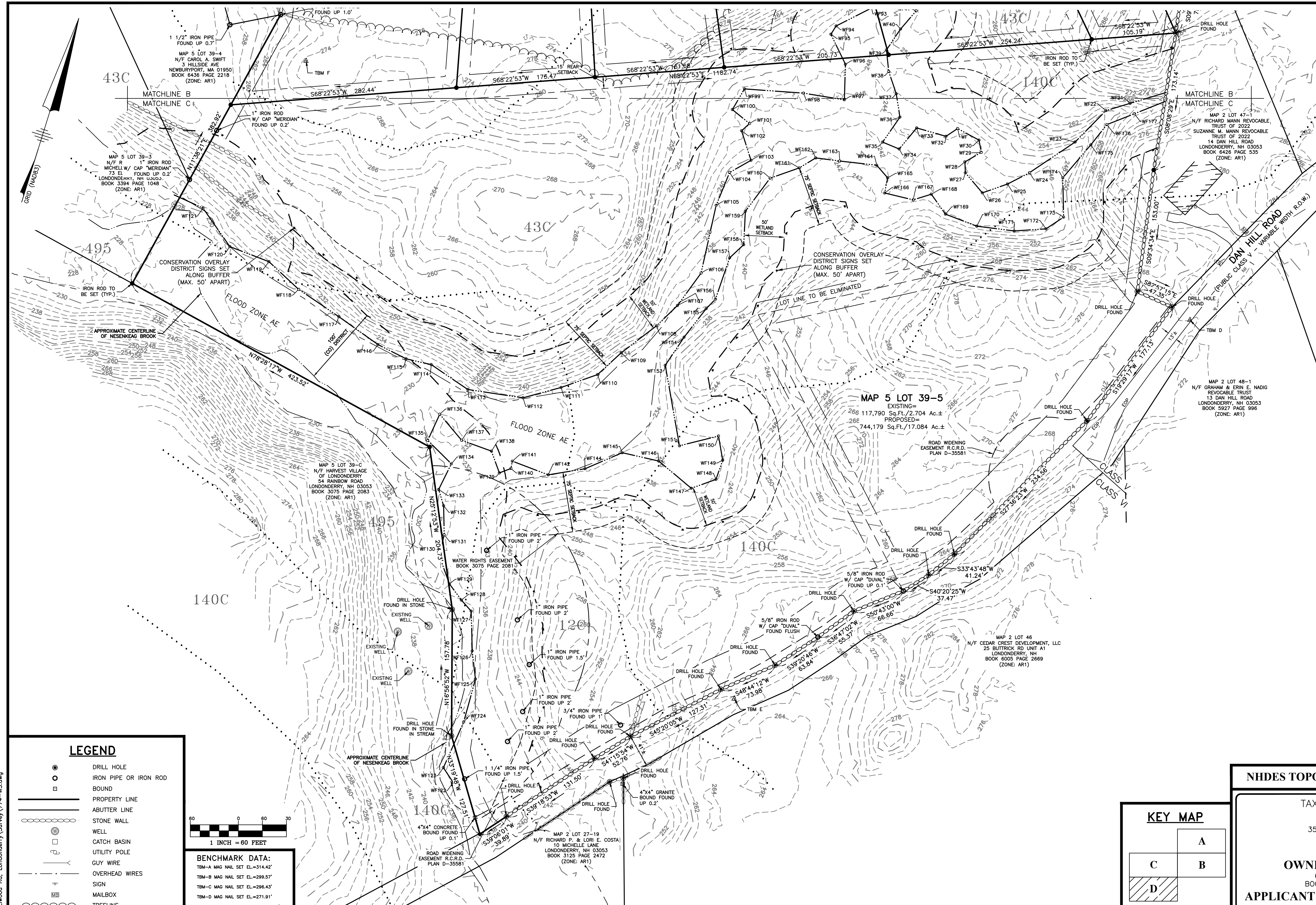
APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____
 ON DATE _____

CERTIFIED BY:
 CHAIRMAN _____
 SECRETARY _____

The Dubay Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462 - www.thedubaygroup.com
 Engineers | Planners | Surveyors

Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS
 SHEET 20 of 42

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WETLAND NOTES

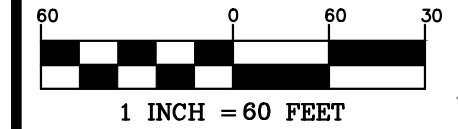
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3. NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.



LEGEND

	DRILL HOLE
	IRON PIPE OR IRON ROD
	BOUND
	PROPERTY LINE
	ABUTTER LINE
	STONE WALL
	WELL
	CATCH BASIN
	UTILITY POLE
	GUY WIRE
	OVERHEAD WIRES
	SIGN
	MAILBOX
	TREELINE
	DELINEATED WETLAND
	DELINEATED WETLAND FLAG
	BUILDING SETBACK
	CONTOUR ELEVATION
	EDGE OF PAVEMENT
	CAPE COD BERM
	DOUBLE SOLID YELLOW LINE
	SINGLE SOLID WHITE LINE



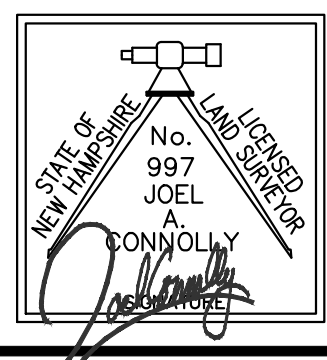
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TBM-M SPIKE SET EL.=213.52'
TBM-N SPIKE SET EL.=208.87'

LAND SURVEYOR'S CERTIFICATION:

I CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND PRIOR SURVEYS BY THIS OFFICE AND THAT THE SURVEY THAT IT IS BASED ON HAS AN ERROR OF CLOSURE NOT GREATER THAN ONE PART IN TEN THOUSAND.

Joel A. Connolly
 JOEL A. CONNOLLY, LLS #997
 12/22/2025
 DATE



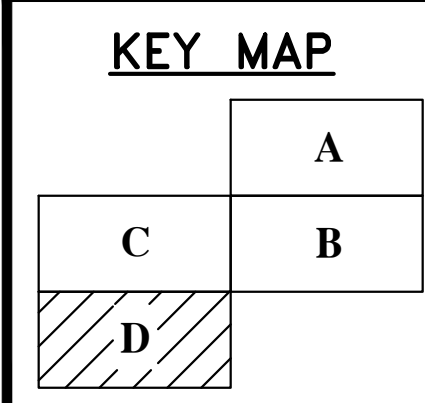
NO.	DATE	DESCRIPTION	BY

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____ ON DATE _____

CERTIFIED BY: _____

CHAIRMAN _____

SECRETARY _____



OWNER'S SIGNATURE

Linda Elwood
 LINDA ELWOOD DATE: 12-15-2025

Christina Elwood
 CHRISTINA ELWOOD DATE: 12-14-2025

ADMINISTRATORS OF THE WAYNE ELWOOD ESTATE

NHDES TOPOGRAPHIC SUBDIVISION PLAN (SHEET C)

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
 69 ELWOOD ROAD LONDONDERRY, NH 03053
 BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053

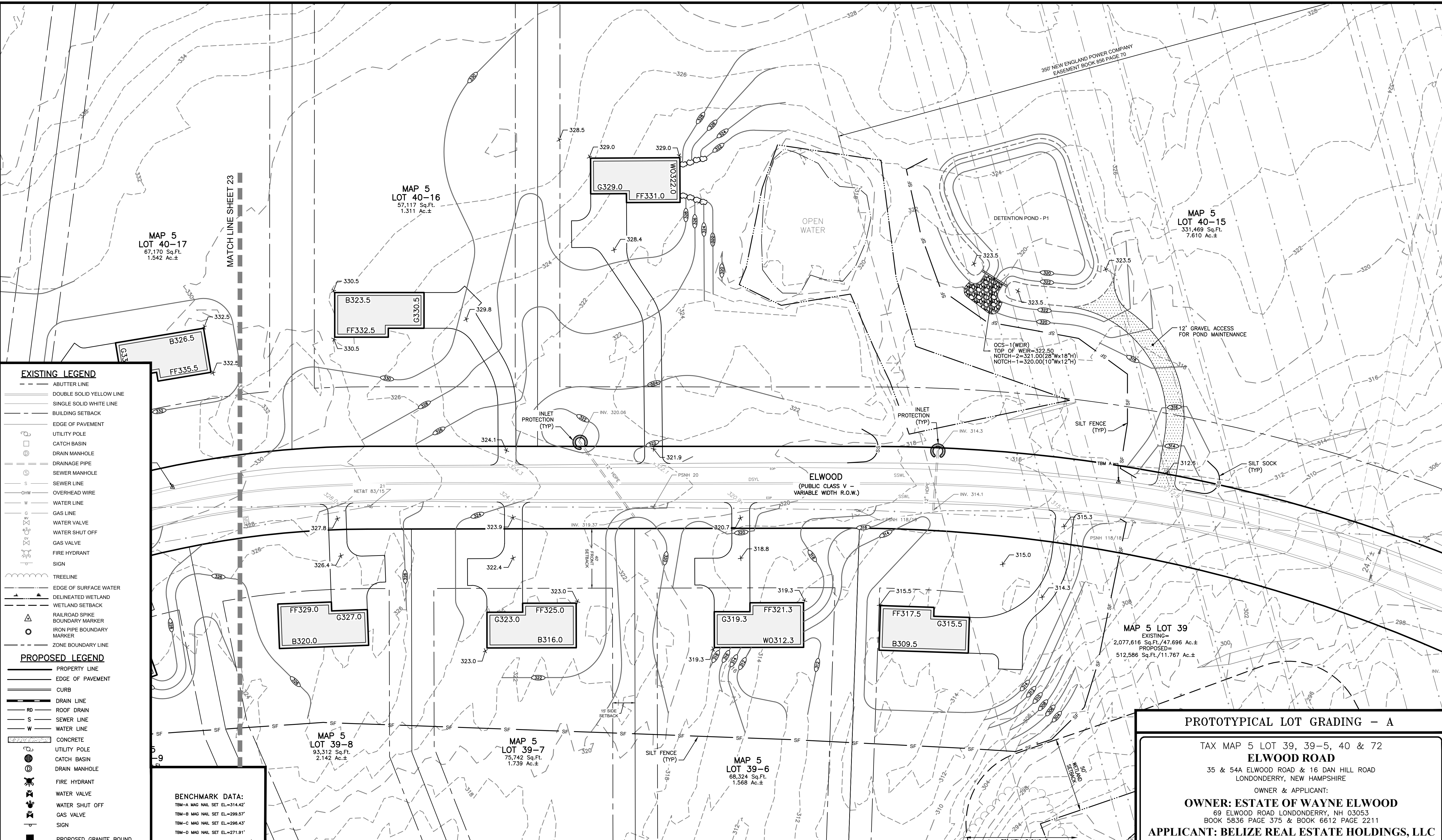
SCALE: 1"=60' DATE: DEC. 12, 2025

The Dubay Group, Inc.
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 Londonderry, NH 03053
 603-458-6462 - www.thedubaygroup.com
 Engineers | Planners | Surveyors

Drawn By: DSJ
 Checked By: JAC
 Project: 774
 File: 774-WS
 SHEET 21 of 42

NA:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\Survey\774-WS.dwg

NA:\PROJECTS\774-Vermont-69 Elwood Rd. Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-ProtoLot.dwg

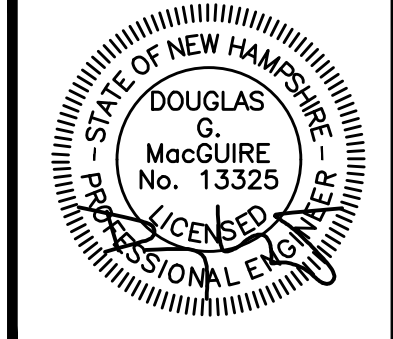
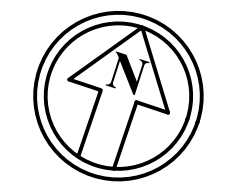
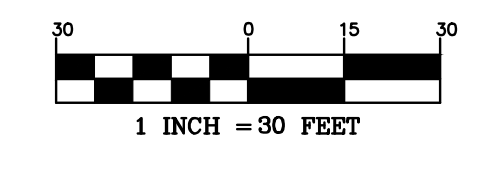


- EXISTING LEGEND**
- BUTTER LINE
 - == DOUBLE SOLID YELLOW LINE
 - SINGLE SOLID WHITE LINE
 - - - BUILDING SETBACK
 - - - EDGE OF PAVEMENT
 - UTILITY POLE
 - ⊙ CATCH BASIN
 - ⊙ DRAIN MANHOLE
 - DRAINAGE PIPE
 - ⊙ SEWER MANHOLE
 - SEWER LINE
 - OHW OVERHEAD WIRE
 - WATER LINE
 - GAS LINE
 - WATER VALVE
 - WATER SHUT OFF
 - GAS VALVE
 - FIRE HYDRANT
 - SIGN
 - TREELINE
 - EDGE OF SURFACE WATER
 - DELINEATED WETLAND
 - WETLAND SETBACK
 - ▲ RAILROAD SPIKE
 - BOUNDARY MARKER
 - IRON PIPE BOUNDARY MARKER
 - ZONE BOUNDARY LINE

- PROPOSED LEGEND**
- PROPERTY LINE
 - EDGE OF PAVEMENT
 - CURB
 - DRAIN LINE
 - RD ROOF DRAIN
 - S SEWER LINE
 - W WATER LINE
 - CONCRETE
 - UTILITY POLE
 - ⊙ CATCH BASIN
 - ⊙ DRAIN MANHOLE
 - FIRE HYDRANT
 - WATER VALVE
 - WATER SHUT OFF
 - GAS VALVE
 - SIGN
 - PROPOSED GRANITE BOUND
 - PAINT
 - PROPOSED LIGHT POLE

- E&S LEGEND:**
- SF SILT SOCK BARRIER
 - INLET PROTECTION

BENCHMARK DATA:
 TBM-A MAG NAIL SET EL=-314.42'
 TBM-B MAG NAIL SET EL=-299.57'
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NO.	DATE	DESCRIPTION	BY

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____
 ON DATE _____

CERTIFIED BY:
 CHAIRMAN _____
 SECRETARY _____

PROTOTYPICAL LOT GRADING - A

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
 69 ELWOOD ROAD LONDONDERRY, NH 03053
 BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053

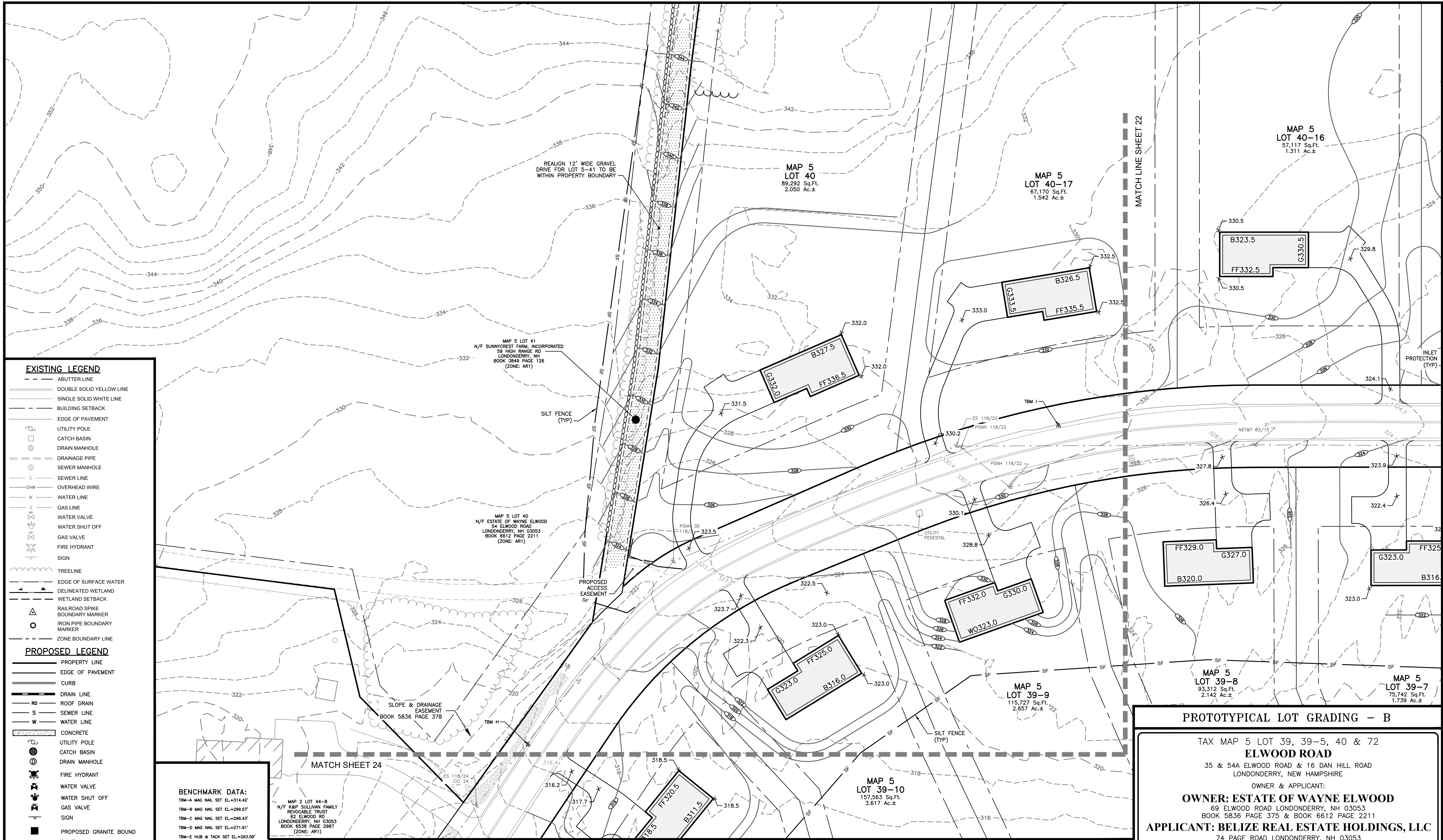
SCALE: 1"=30' DATE: DEC. 12, 2025

The Dubay Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462 - www.thedubaygroup.com
 Engineers | Planners | Surveyors

Drawn By: JHD
 Checked By: DGM
 Project: 774
 File: 774-ProtoLot

SHEET 22 of 42

NA:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-ProtoLot.dwg



EXISTING LEGEND

- ABUTTER LINE
- == DOUBLE SOLID YELLOW LINE
- SINGLE SOLID WHITE LINE
- - - BUILDING SETBACK
- EDGE OF PAVEMENT
- UTILITY POLE
- CATCH BASIN
- ⊙ DRAIN MANHOLE
- DRAINAGE PIPE
- SEWER MANHOLE
- SEWER LINE
- OVERHEAD WIRE
- WATER LINE
- GAS LINE
- WATER VALVE
- WATER SHUT OFF
- GAS VALVE
- FIRE HYDRANT
- SIGN
- TREELINE
- EDGE OF SURFACE WATER
- DELINEATED WETLAND
- WETLAND SETBACK
- RAILROAD SPIKE
- BOUNDARY MARKER
- IRON PIPE BOUNDARY MARKER
- ZONE BOUNDARY LINE

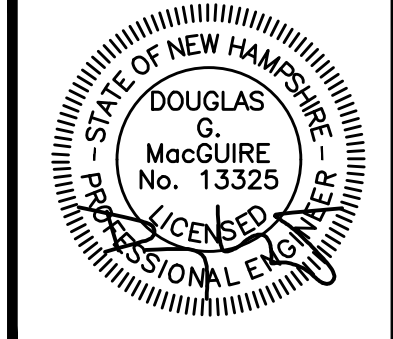
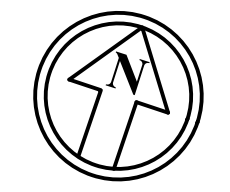
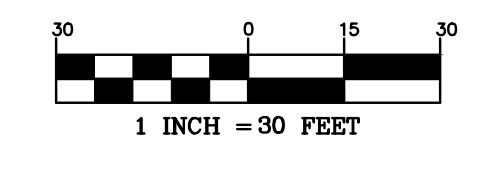
PROPOSED LEGEND

- PROPERTY LINE
- EDGE OF PAVEMENT
- CURB
- DRAIN LINE
- ROOF DRAIN
- SEWER LINE
- WATER LINE
- CONCRETE
- UTILITY POLE
- CATCH BASIN
- ⊙ DRAIN MANHOLE
- FIRE HYDRANT
- WATER VALVE
- WATER SHUT OFF
- GAS VALVE
- SIGN
- PROPOSED GRANITE BOUND
- PAINT
- PROPOSED LIGHT POLE

E&S LEGEND:

- SF SILT SOCK BARRIER
- INLET PROTECTION

BENCHMARK DATA:
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NO.	DATE	DESCRIPTION	BY

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD FOR PHASE _____
 ON DATE _____


CERTIFIED BY:
 CHAIRMAN _____
 SECRETARY _____

PROTOTYPICAL LOT GRADING - B

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
 69 ELWOOD ROAD LONDONDERRY, NH 03053
 BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053

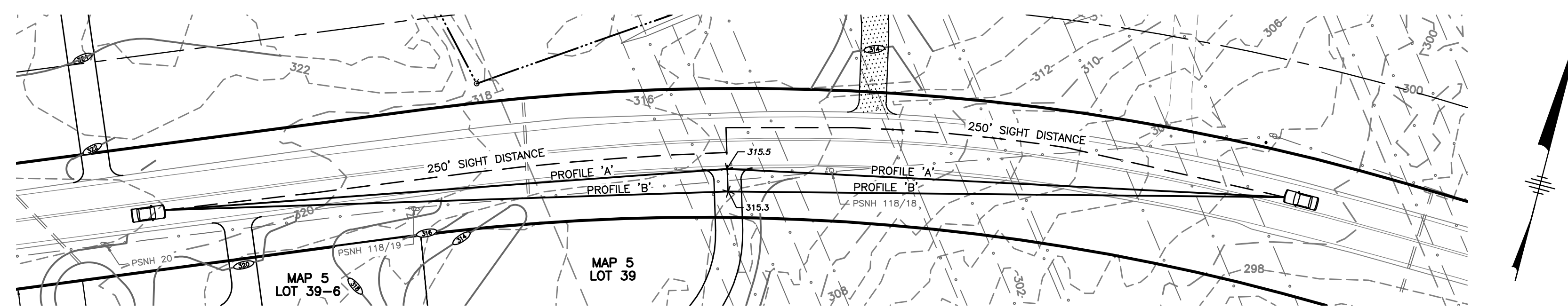
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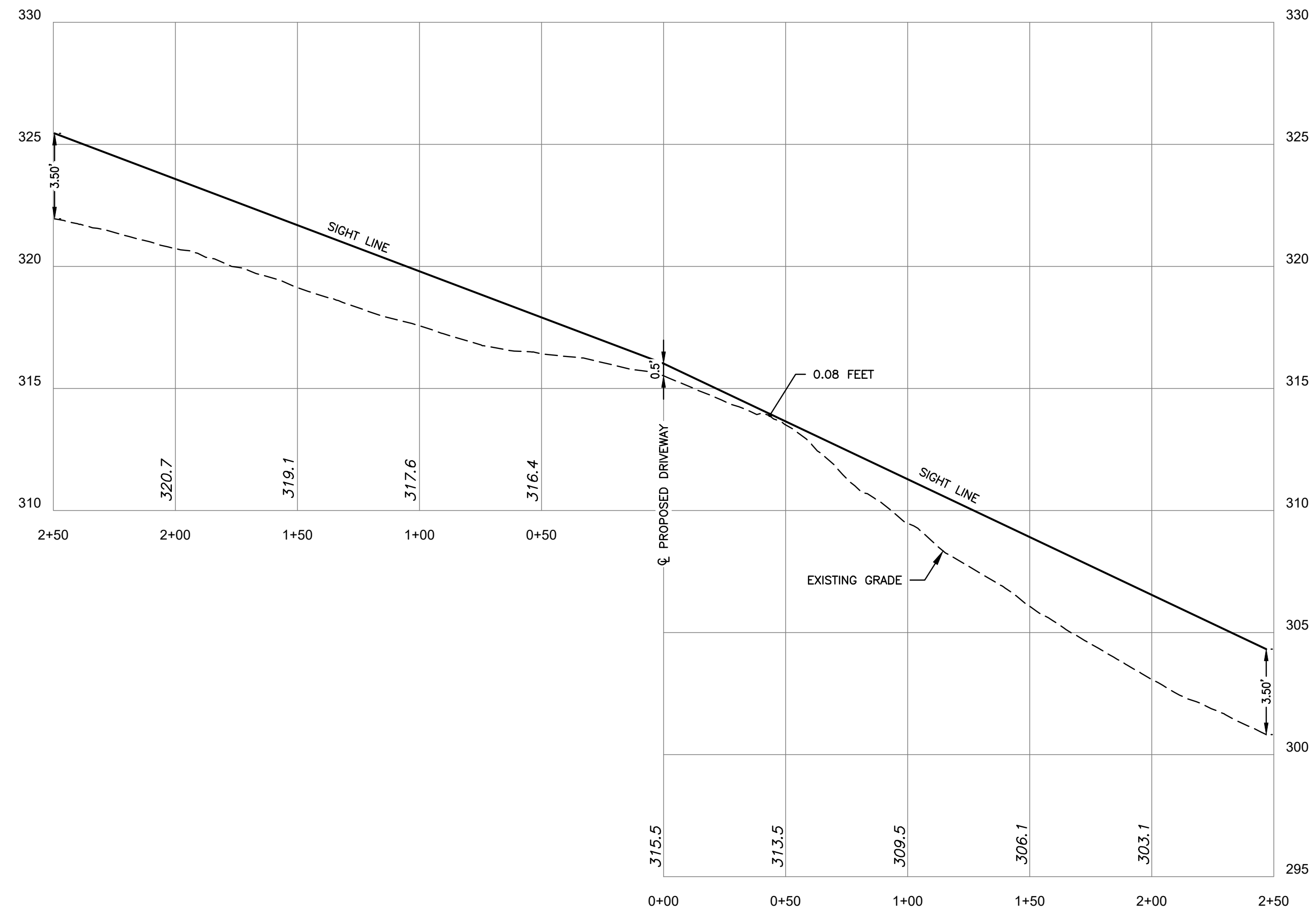
The Dubay Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462 - www.thedubaygroup.com
 Engineers | Planners | Surveyors

Drawn By: JHD
 Checked By: DGM
 Project: 774
 File: 774-ProtoLot

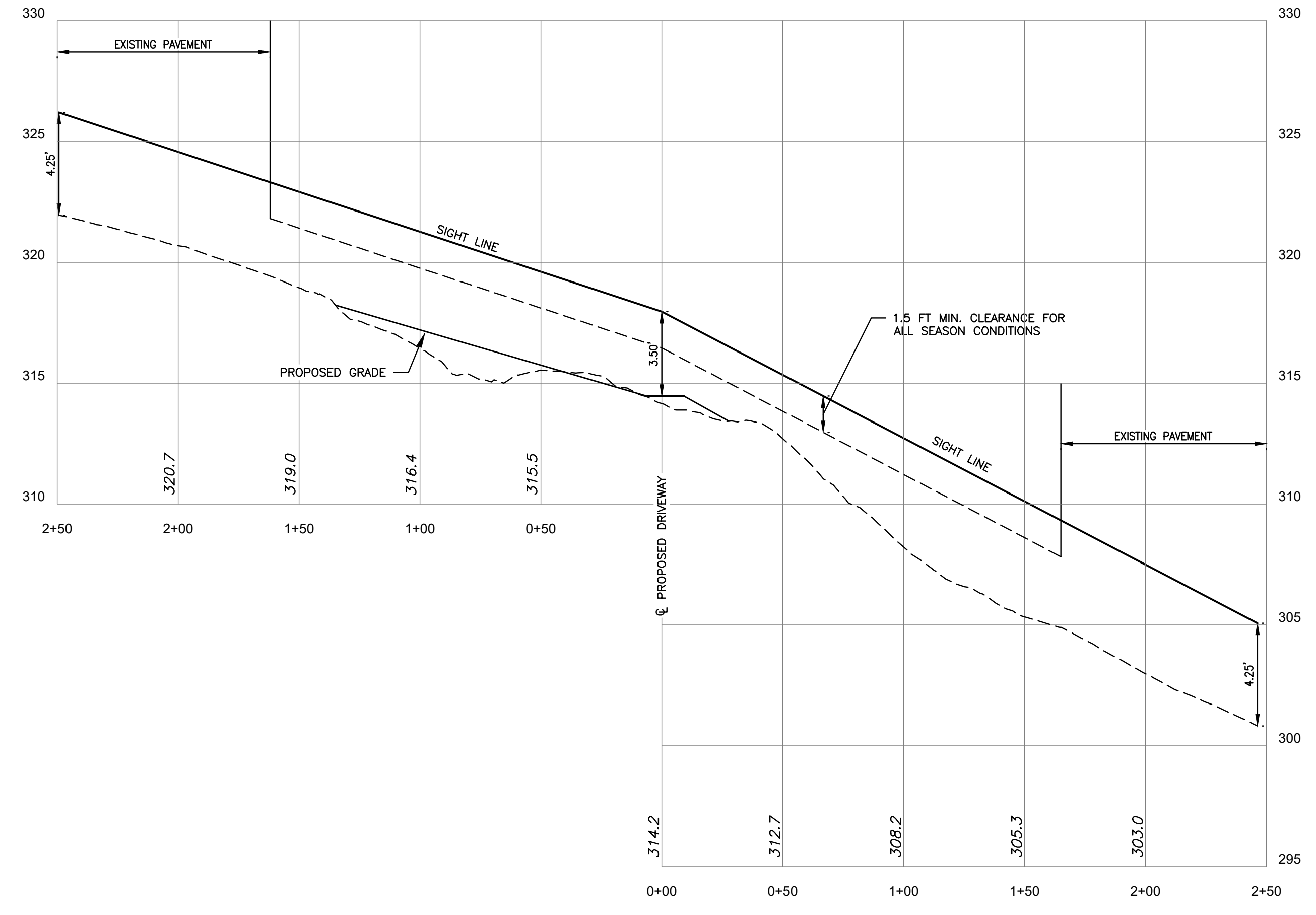
SHEET 23 of 42



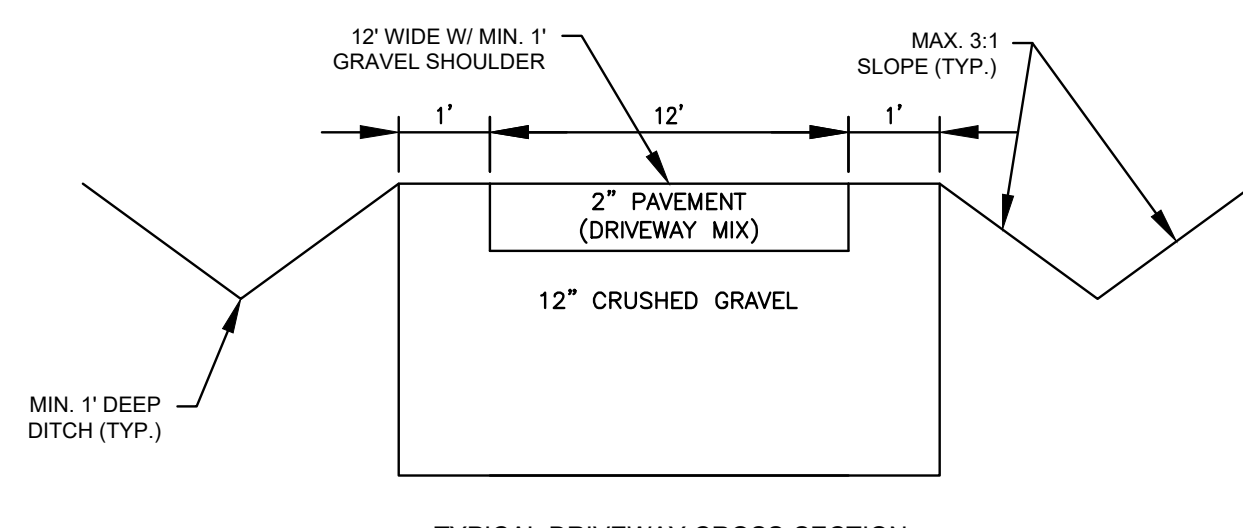
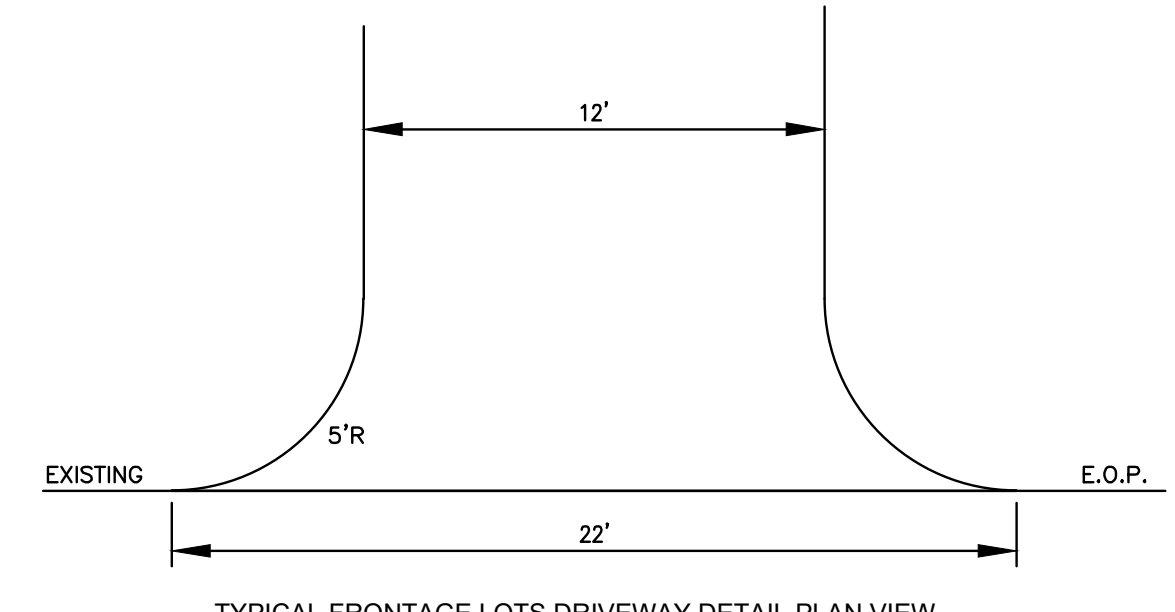
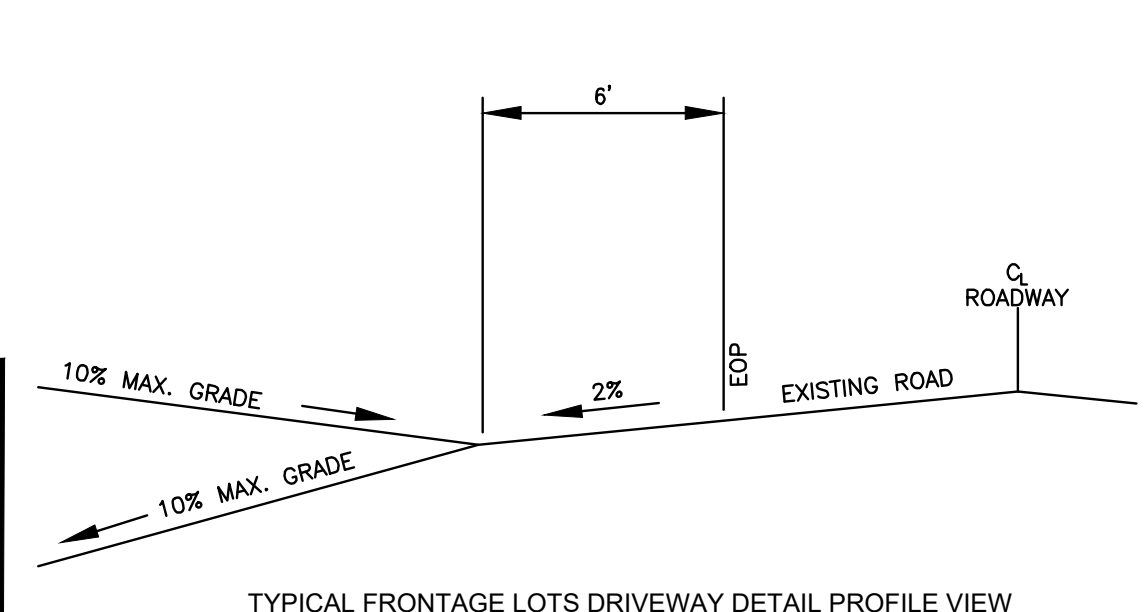
005-039 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4'V

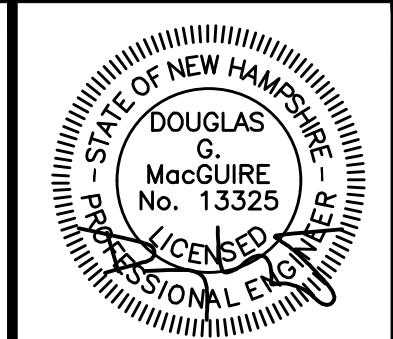


PROFILE 'B'
SCALE: 1"=40'H, 4'V



- EXISTING LEGEND**
- BUTTER LINE
 - DOUBLE SOLID YELLOW LINE
 - SINGLE SOLID WHITE LINE
 - BUILDING SETBACK
 - EDGE OF PAVEMENT
 - UTILITY POLE
 - CATCH BASIN
 - DRAIN MANHOLE
 - DRAINAGE PIPE
 - OVERHEAD WIRE
 - SIGN
 - ▲ RAILROAD SPIKE
 - BOUNDARY MARKER
 - IRON PIPE BOUNDARY MARKER
- PROPOSED LEGEND**
- PROPERTY LINE
 - EDGE OF DRIVEWAY
 - PAINT

- NOTES:**
- THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
 - THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DJM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - A

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
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BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

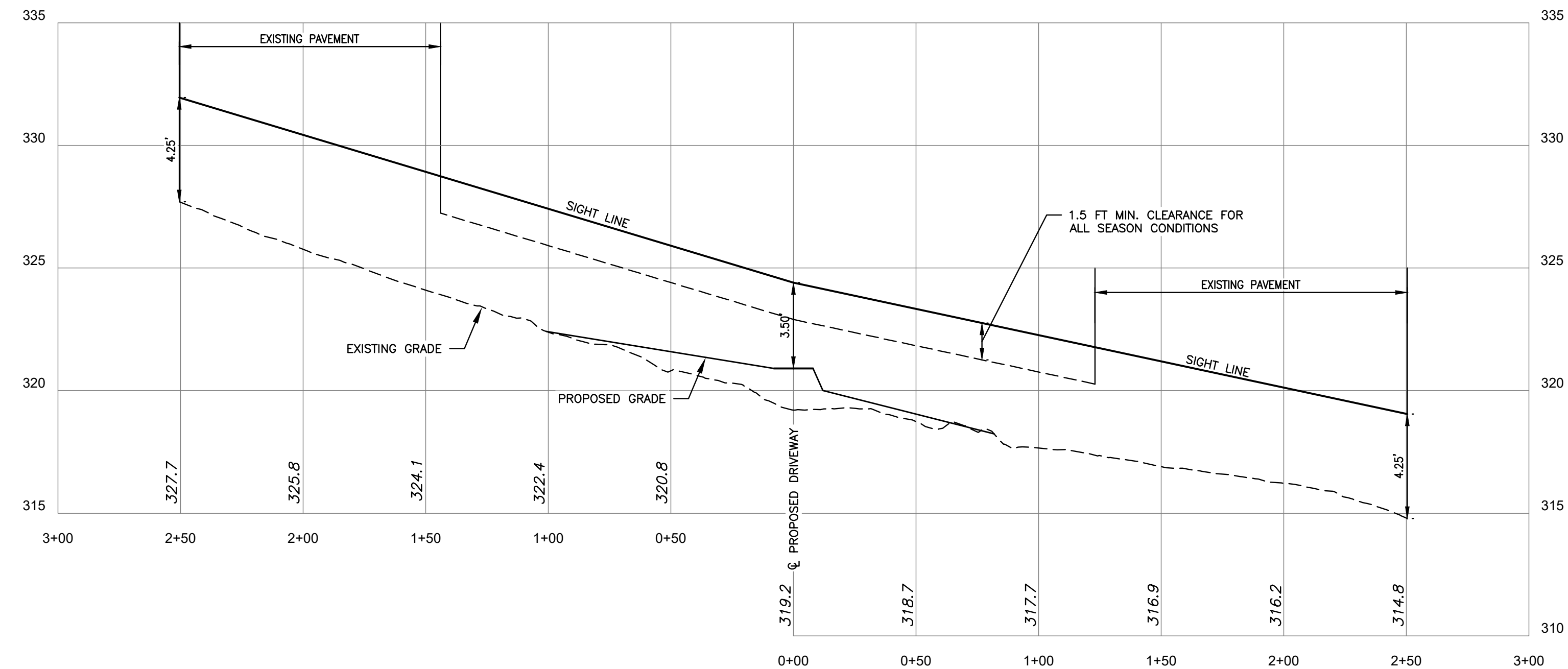
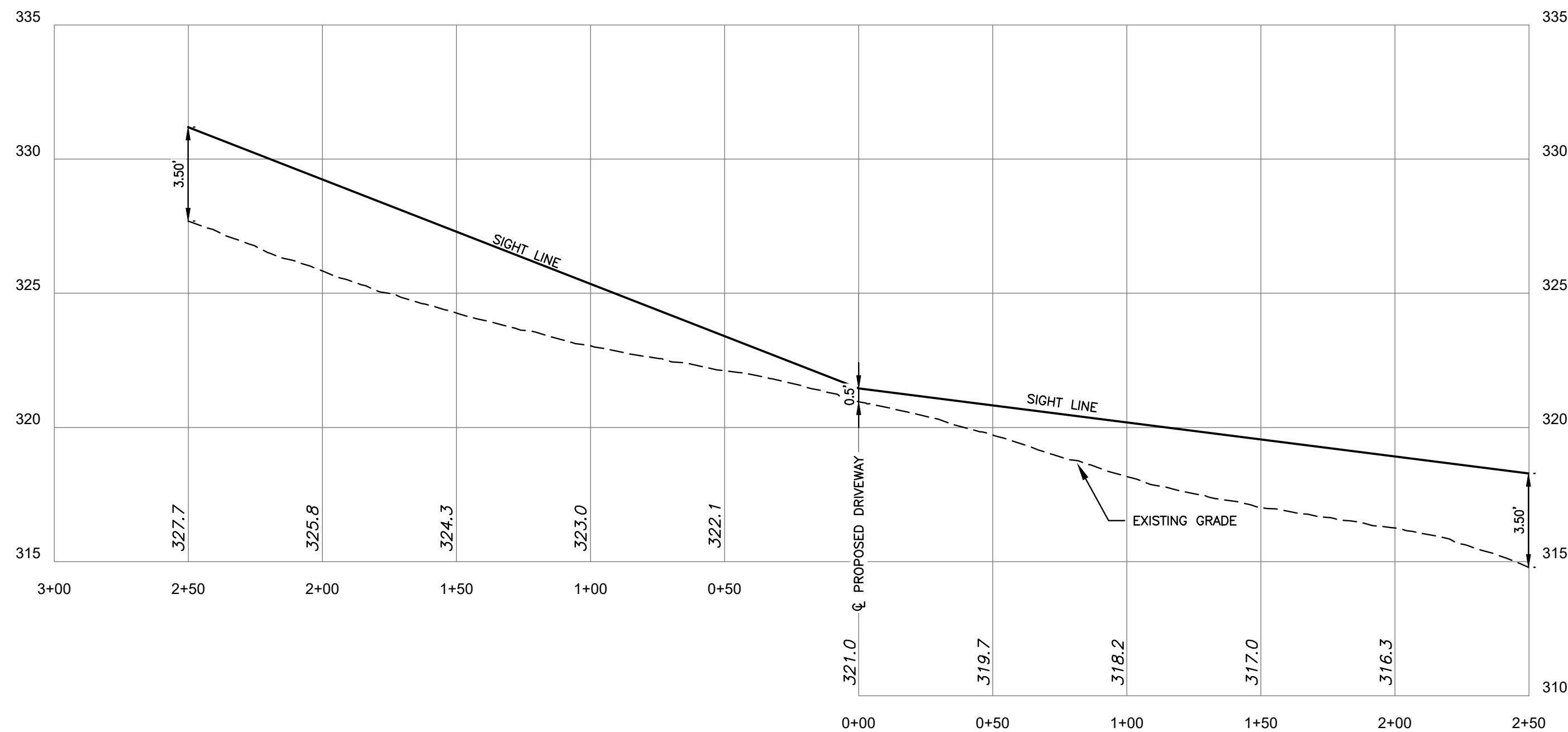
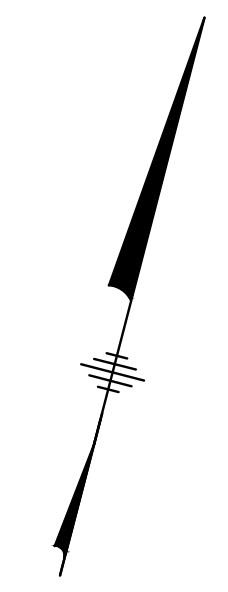
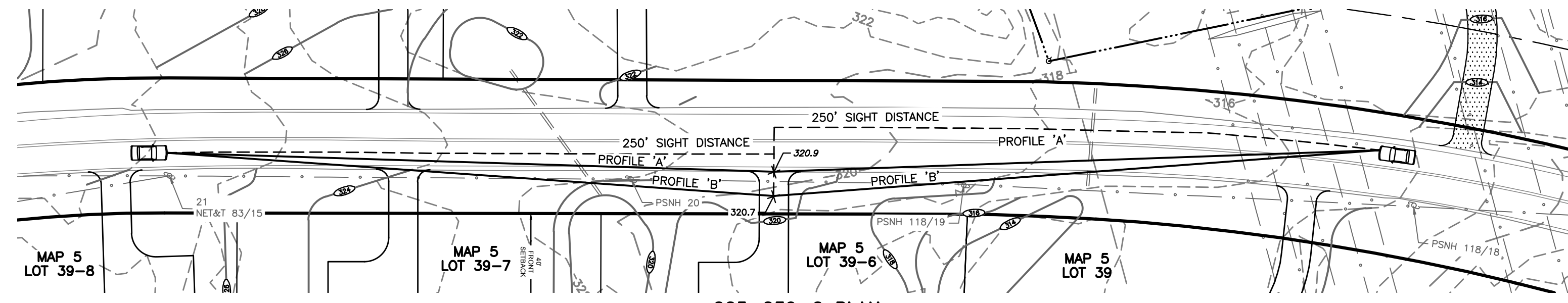
SCALE: 1"=40' DATE: DEC. 12, 2025

The Dubay Group, Inc.
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462 - www.thedubaygroup.com
Engineers | Planners | Surveyors

Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist

SHEET 25 of 42

N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight_Dist.dwg



N:\PROJECTS\774-Vermont-69-Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight Dist.dwg

EXISTING LEGEND

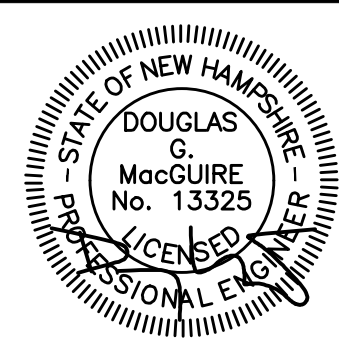
- BUTTER LINE
- DOUBLE SOLID YELLOW LINE
- SINGLE SOLID WHITE LINE
- BUILDING SETBACK
- EDGE OF PAVEMENT
- UTILITY POLE
- CATCH BASIN
- DRAIN MANHOLE
- DRAINAGE PIPE
- OVERHEAD WIRE
- SIGN
- RAILROAD SPIKE
- BOUNDARY MARKER
- IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND

- PROPERTY LINE
- EDGE OF DRIVEWAY
- PAINT

NOTES:

1. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
2. THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DJM
DOUGLAS MACGUIRE, PE 11/15/2025
DATE

SIGHT DISTANCE PLAN & PROFILE - B

TAX MAP 5 LOT 39, 39-5, 40 & 72

ELWOOD ROAD

35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:

OWNER: ESTATE OF WAYNE ELWOOD

69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC

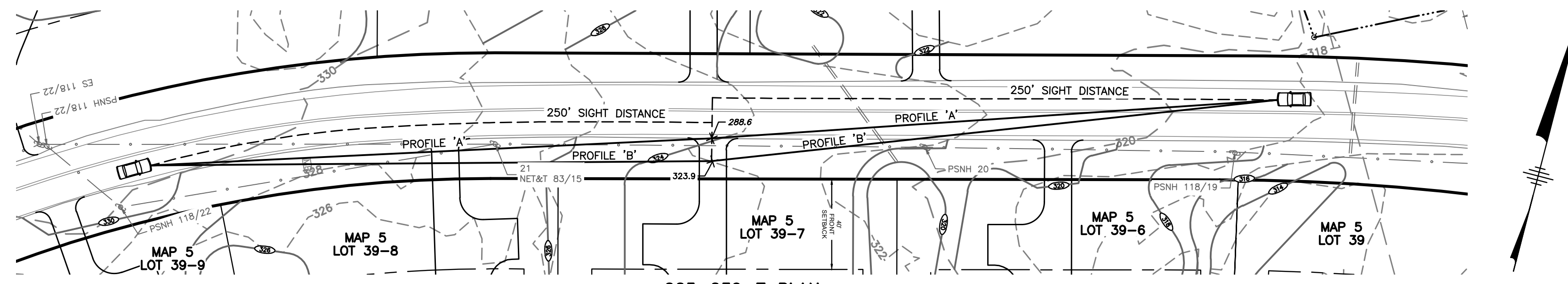
74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=40'

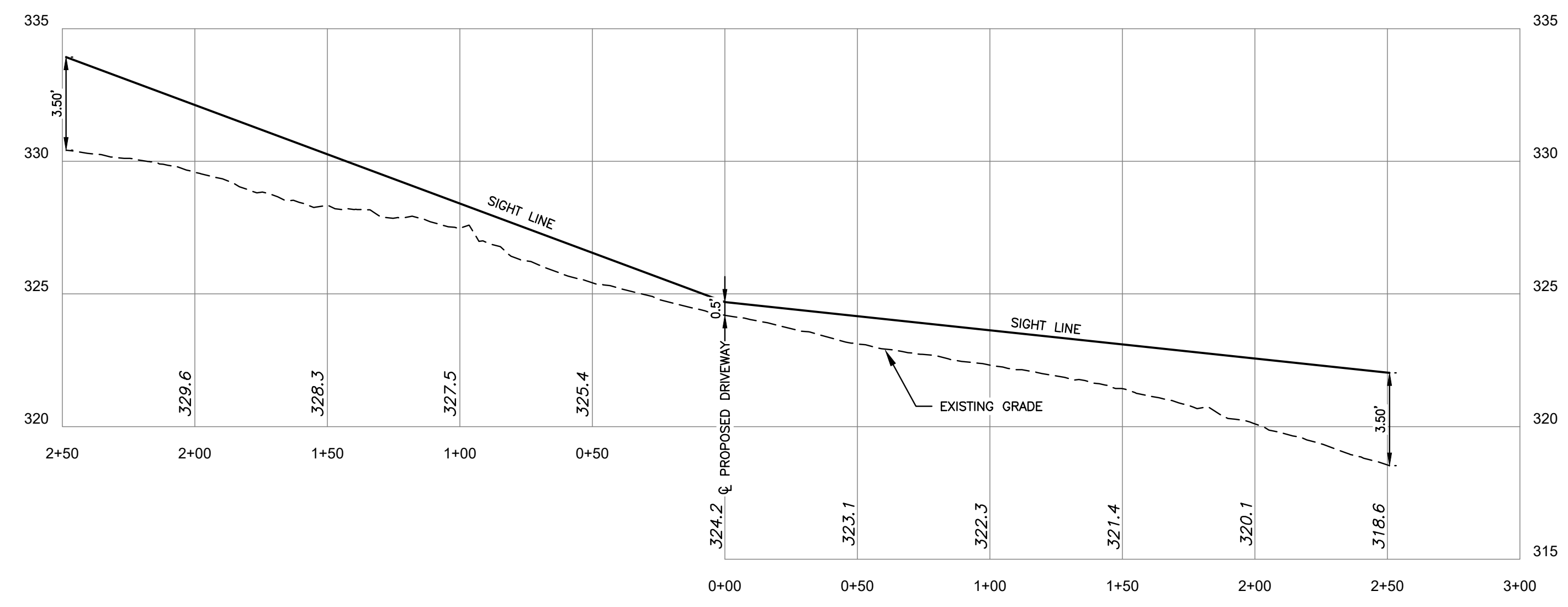
DATE: DEC. 12, 2025

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136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462 - www.thedubaygroup.com
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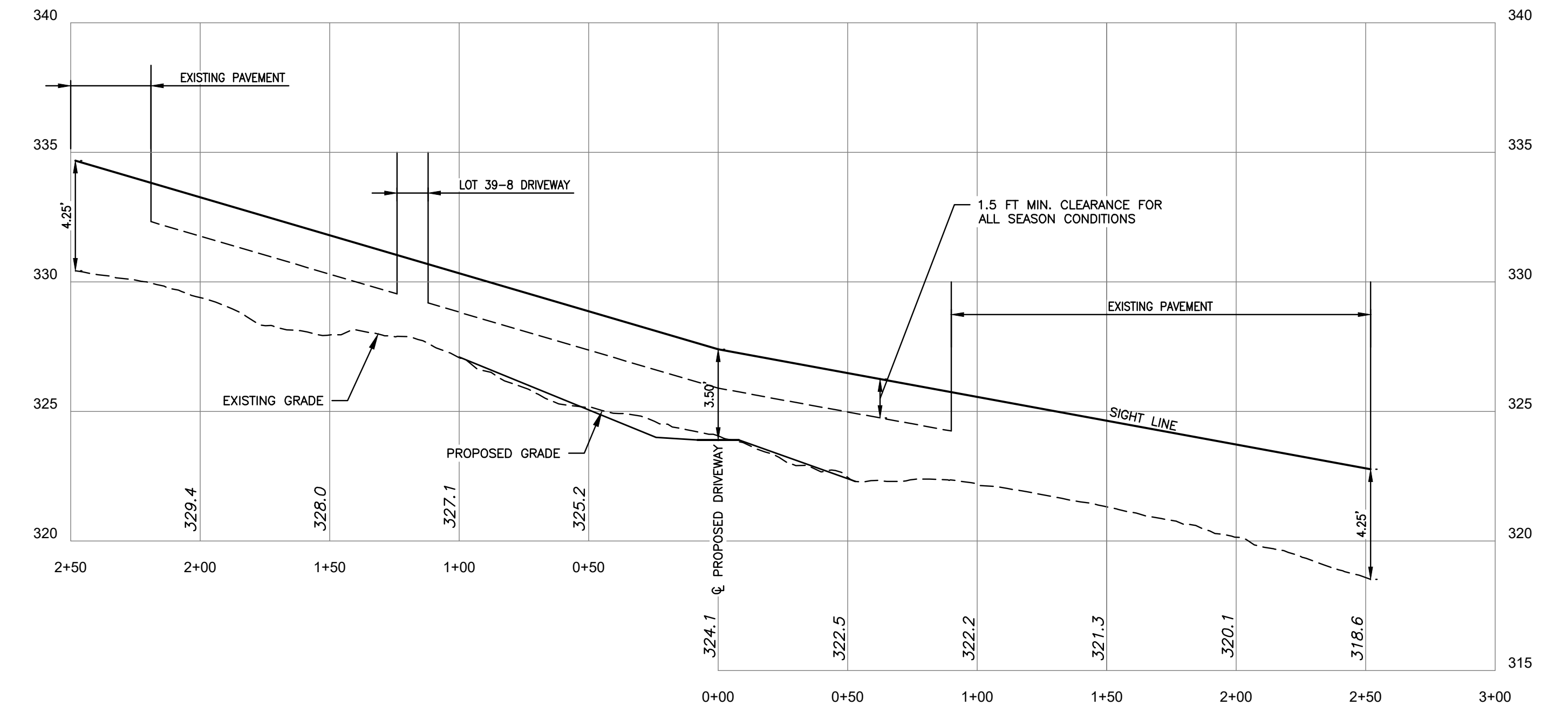
Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist



005-039-7 PLAN
SCALE: 1"=40'



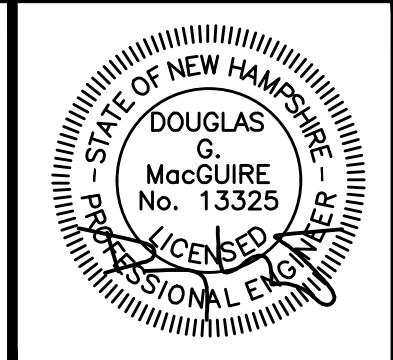
PROFILE 'A'
SCALE: 1"=40'H, 4"V



PROFILE 'B'
SCALE: 1"=40'H, 4"V

EXISTING LEGEND	
---	ABUTTER LINE
==	DOUBLE SOLID YELLOW LINE
---	SINGLE SOLID WHITE LINE
---	BUILDING SETBACK
---	EDGE OF PAVEMENT
○	UTILITY POLE
□	CATCH BASIN
⊙	DRAIN MANHOLE
---	DRAINAGE PIPE
—OH—	OVERHEAD WIRE
—	SIGN
▲	RAILROAD SPIKE
△	BOUNDARY MARKER
○	IRON PIPE BOUNDARY MARKER
PROPOSED LEGEND	
---	PROPERTY LINE
---	EDGE OF DRIVEWAY
---	PAINT

- NOTES:**
- THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
 - THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DJM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - C

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

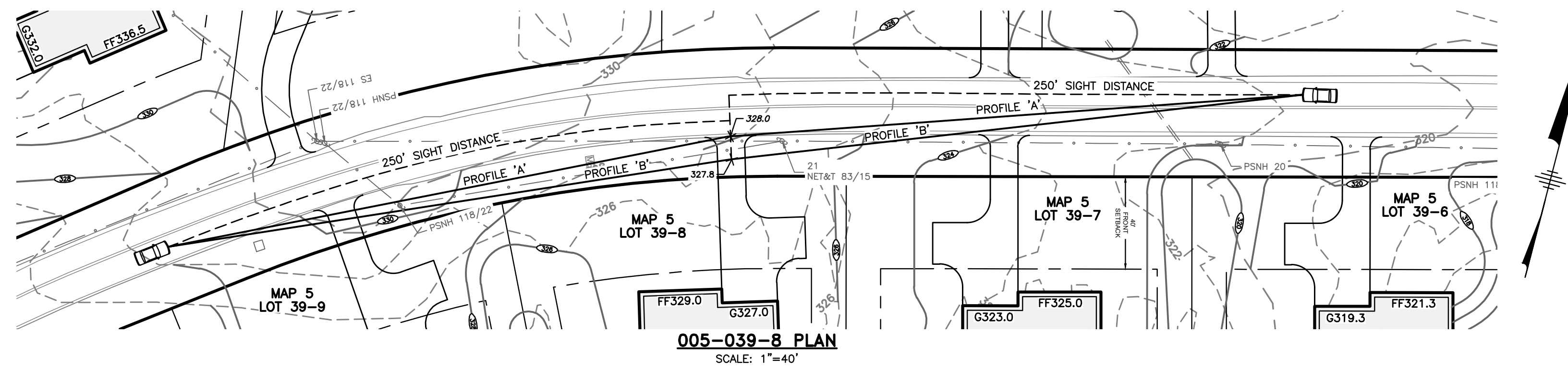
SCALE: 1"=40' DATE: DEC. 12, 2025

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Londonderry, NH 03053
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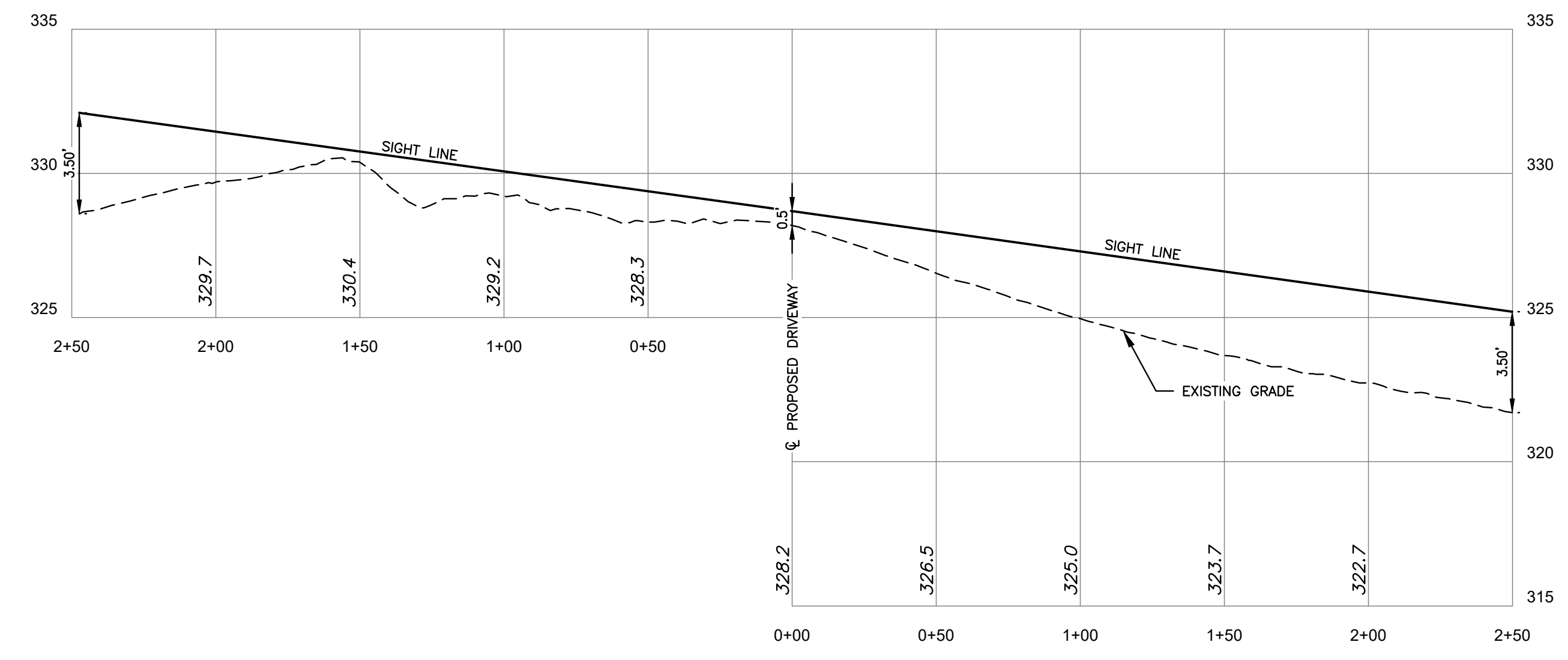
Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist

SHEET 27 of 42

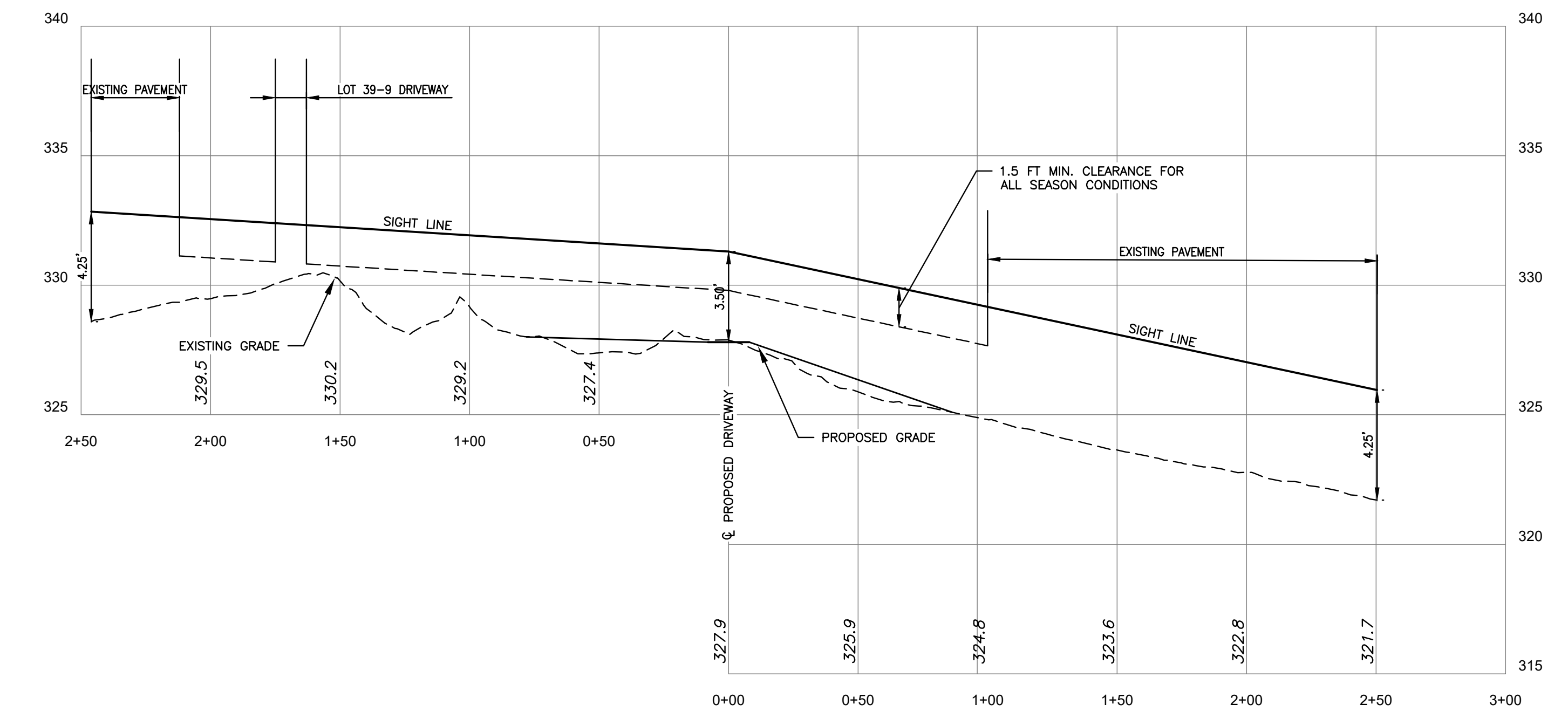
N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight Dist.dwg



005-039-8 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4'V



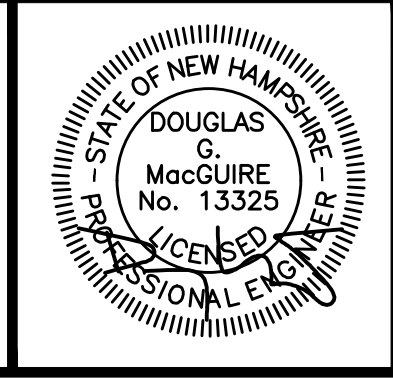
PROFILE 'B'
SCALE: 1"=40'H, 4'V

EXISTING LEGEND	
---	ABUTTER LINE
==	DOUBLE SOLID YELLOW LINE
---	SINGLE SOLID WHITE LINE
---	BUILDING SETBACK
---	EDGE OF PAVEMENT
○	UTILITY POLE
□	CATCH BASIN
⊙	DRAIN MANHOLE
---	DRAINAGE PIPE
—OH—	OVERHEAD WIRE
—	SIGN
▲	RAILROAD SPIKE
△	BOUNDARY MARKER
○	IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND	
---	PROPERTY LINE
---	EDGE OF DRIVEWAY
---	PAINT

NOTES:

1. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
2. THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DGM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - D

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

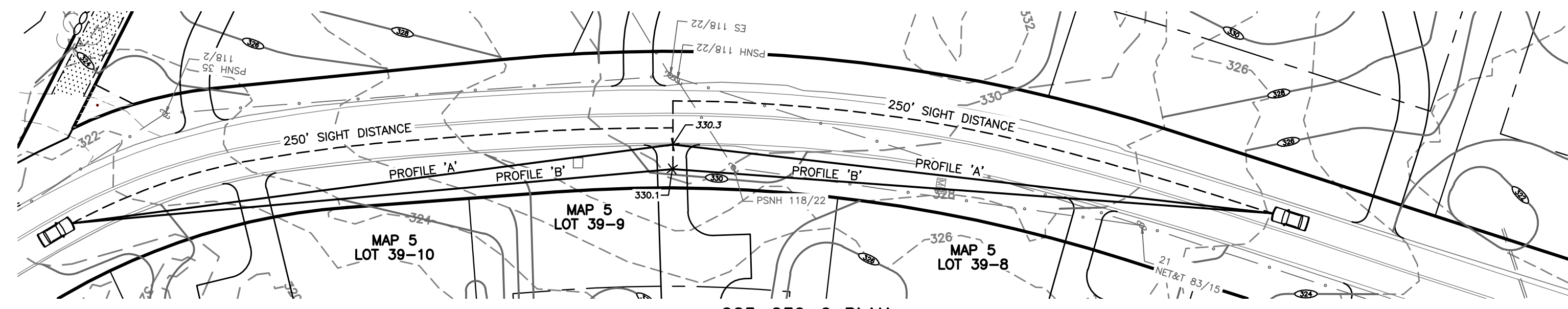
SCALE: 1"=40' DATE: DEC. 12, 2025

The Dubay Group, Inc.
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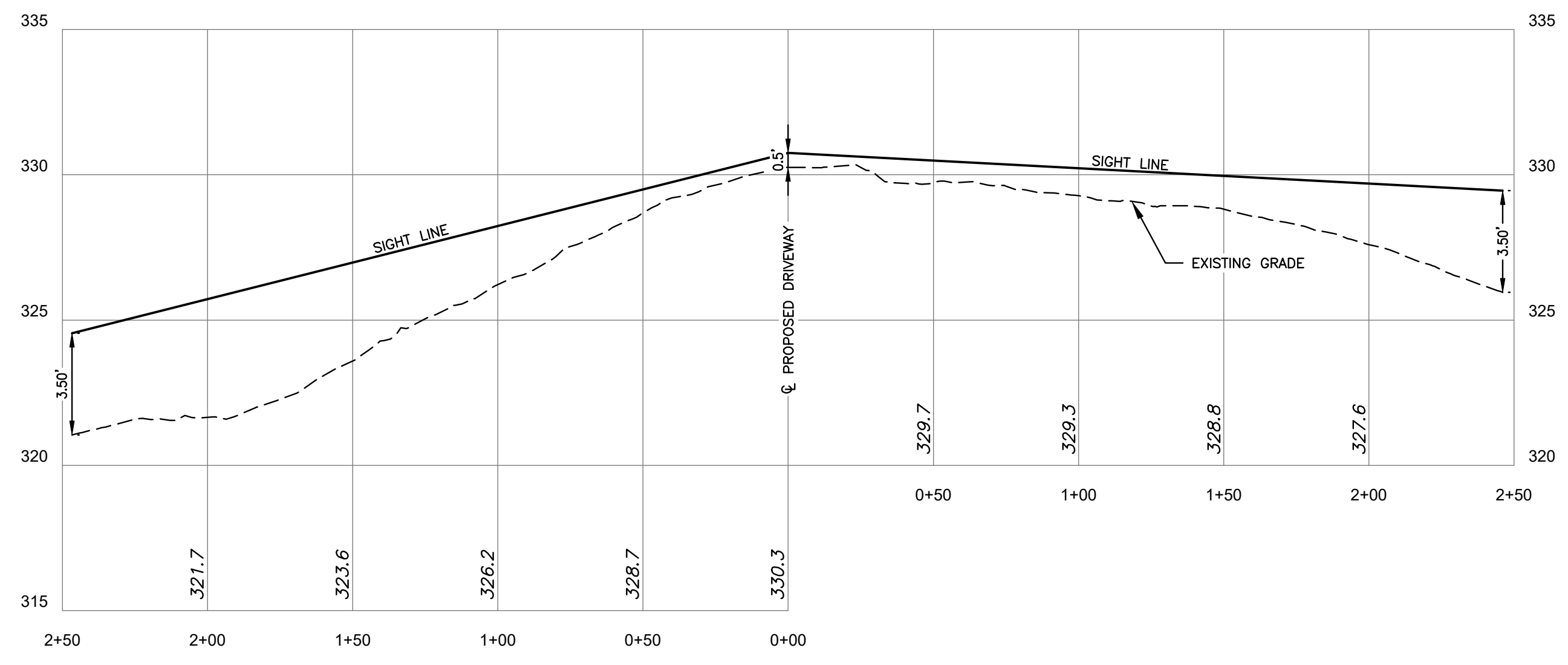
Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist

SHEET 28 of 42

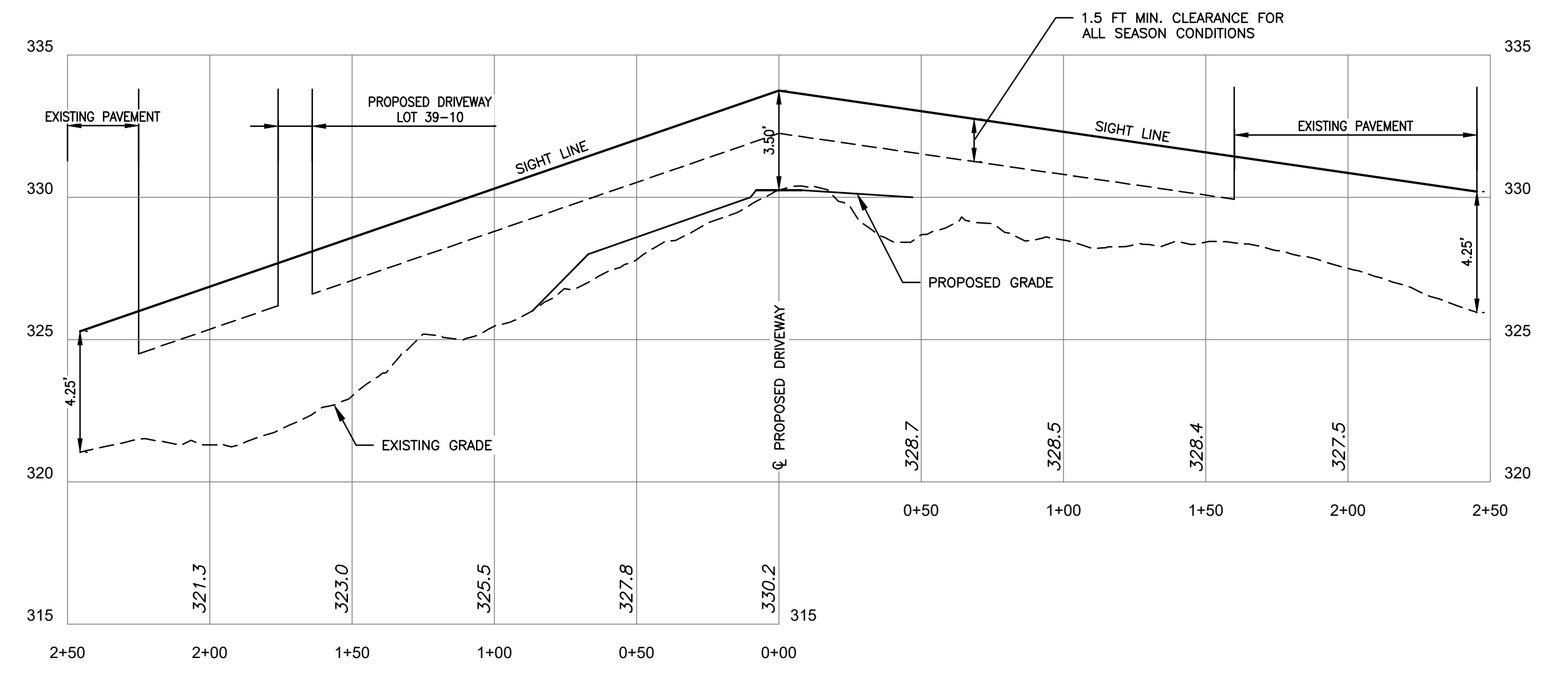
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005-039-9 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4'V



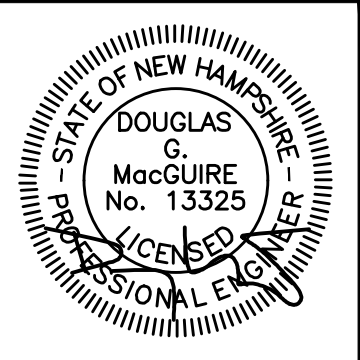
PROFILE 'B'
SCALE: 1"=40'H, 4'V

N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight Dist.dwg

EXISTING LEGEND	
---	ABUTTER LINE
==	DOUBLE SOLID YELLOW LINE
---	SINGLE SOLID WHITE LINE
---	BUILDING SETBACK
---	EDGE OF PAVEMENT
○	UTILITY POLE
□	CATCH BASIN
⊙	DRAIN MANHOLE
---	DRAINAGE PIPE
OHW	OVERHEAD WIRE
---	SIGN
▲	RAILROAD SPIKE
○	BOUNDARY MARKER
○	IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND	
---	PROPERTY LINE
---	EDGE OF DRIVEWAY
---	PAINT

- NOTES:**
1. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
 2. THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DGM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - E

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

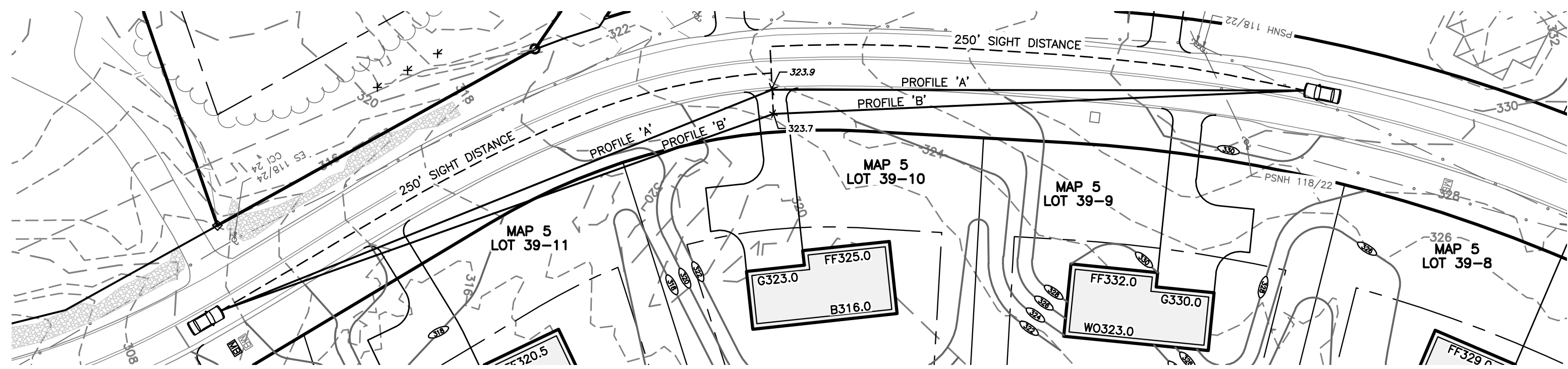
OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=40' DATE: DEC. 12, 2025

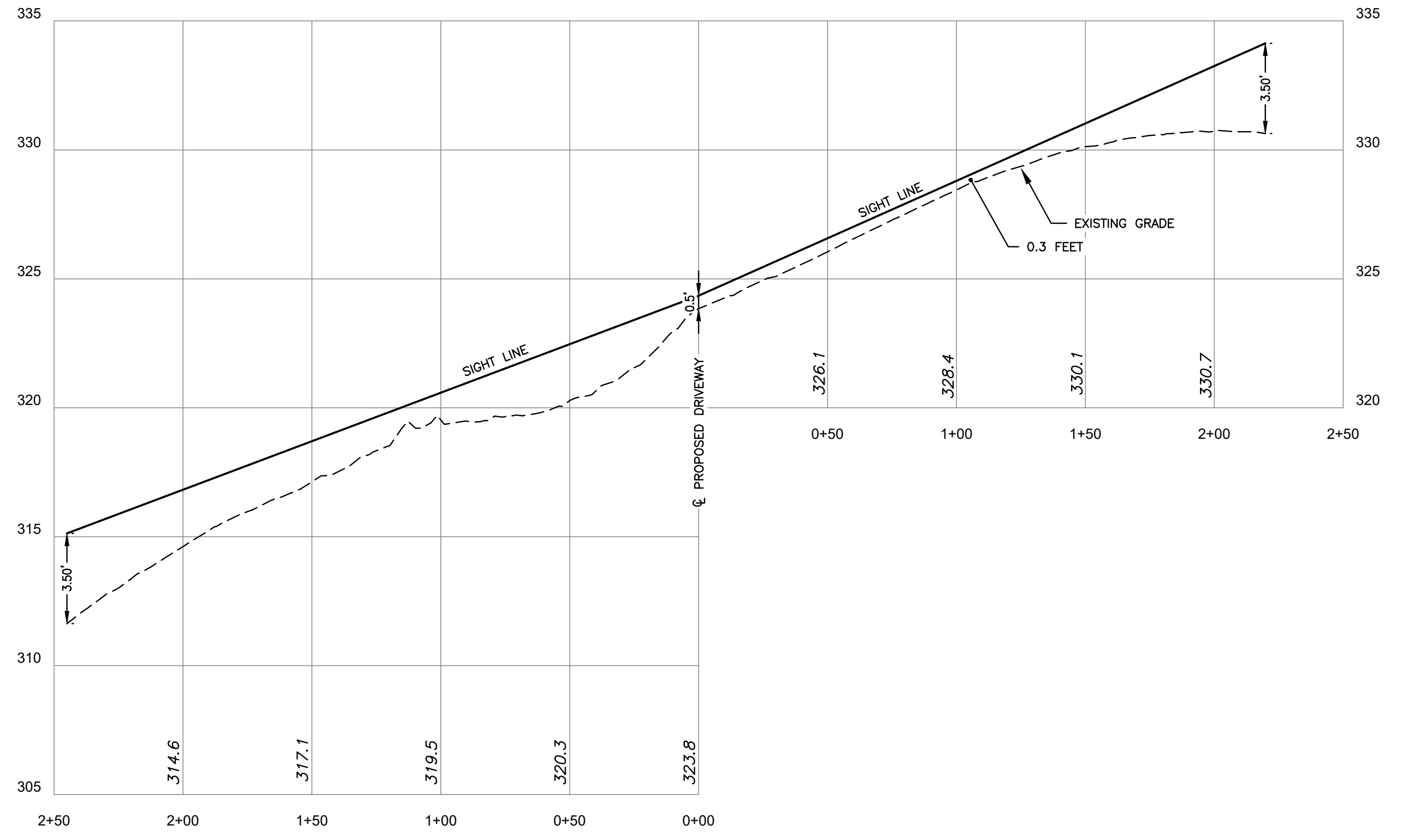
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Londonderry, NH 03053
603-458-6462 - www.thedubaygroup.com
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Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist

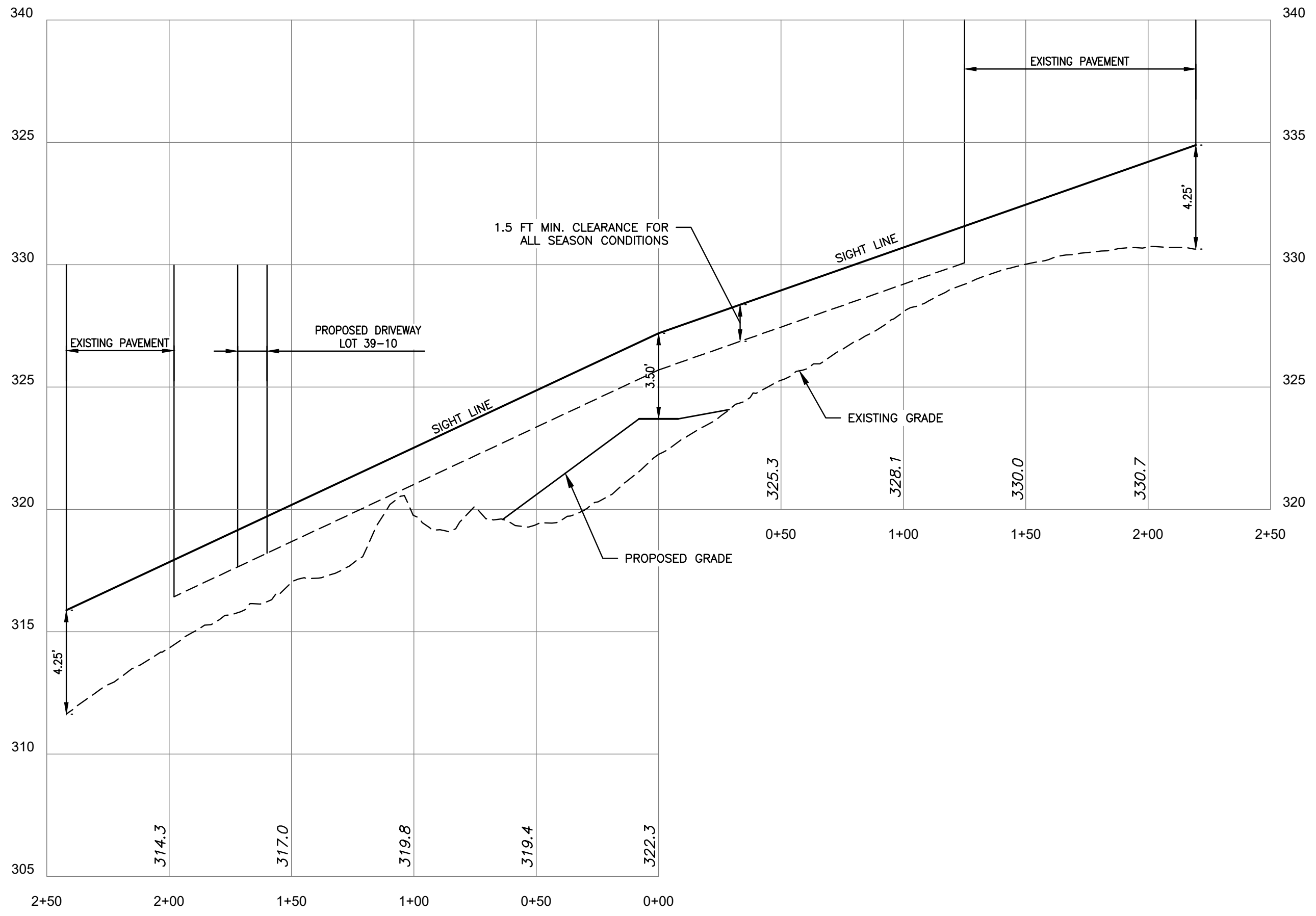
SHEET 29 of 42



005-039-10 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4'V



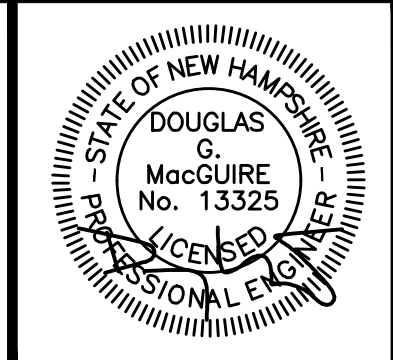
PROFILE 'B'
SCALE: 1"=40'H, 4'V

N:\PROJECTS\774-Vermont-69-Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight Dist.dwg

EXISTING LEGEND	
---	ABUTTER LINE
==	DOUBLE SOLID YELLOW LINE
---	SINGLE SOLID WHITE LINE
---	BUILDING SETBACK
---	EDGE OF PAVEMENT
○	UTILITY POLE
□	CATCH BASIN
○	DRAIN MANHOLE
---	DRAINAGE PIPE
---	OVERHEAD WIRE
---	SIGN
△	RAILROAD SPIKE
○	BOUNDARY MARKER
○	IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND	
---	PROPERTY LINE
---	EDGE OF DRIVEWAY
---	PAINT

- NOTES:**
1. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
 2. THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DJM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - F

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

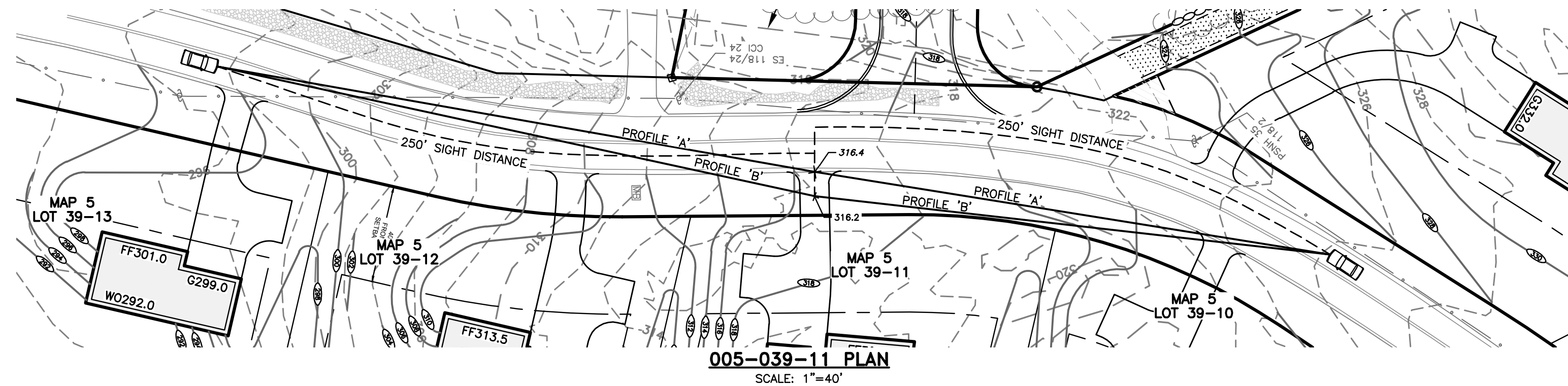
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=40' DATE: DEC. 12, 2025

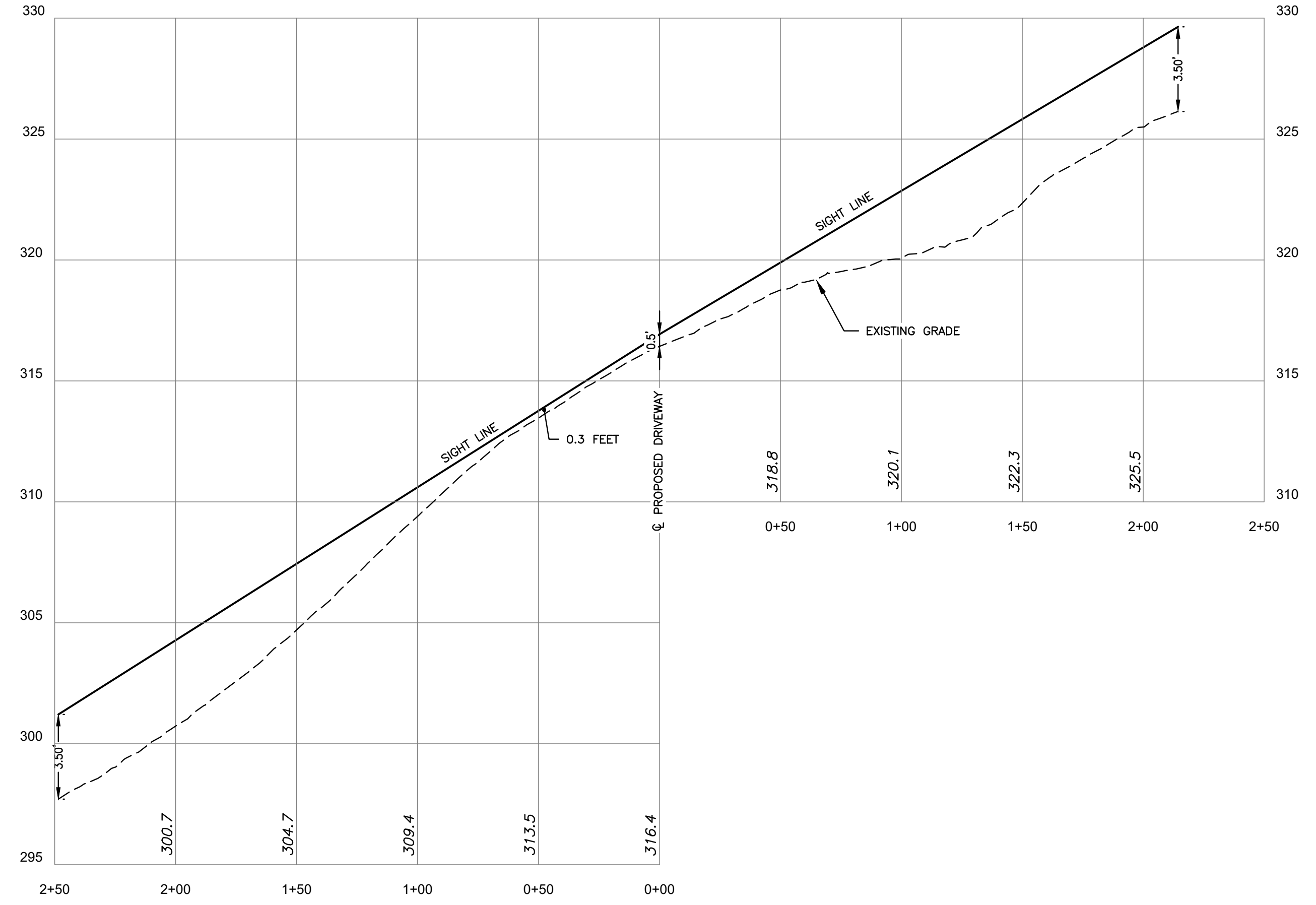
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Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist

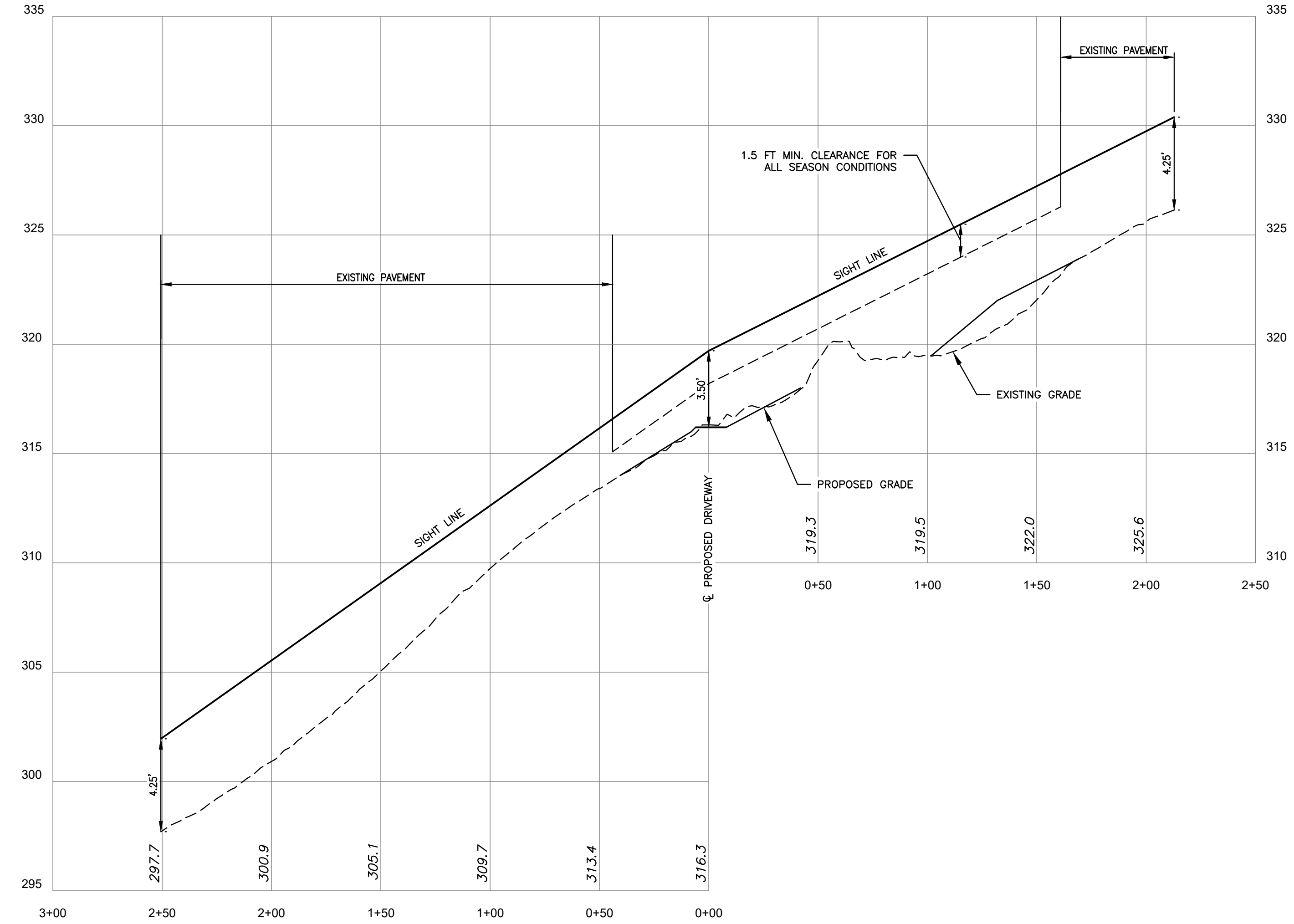
SHEET 30 of 42



005-039-11 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4'V



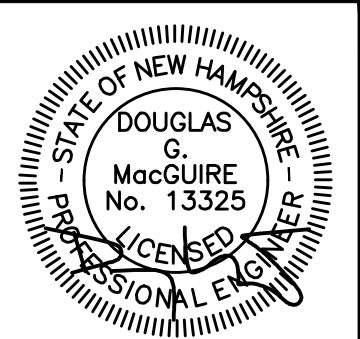
PROFILE 'B'
SCALE: 1"=40'H, 4'V

NA:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight Dist.dwg

EXISTING LEGEND	
---	ABUTTER LINE
---	DOUBLE SOLID YELLOW LINE
---	SINGLE SOLID WHITE LINE
---	BUILDING SETBACK
---	EDGE OF PAVEMENT
○	UTILITY POLE
□	CATCH BASIN
○	DRAIN MANHOLE
---	DRAINAGE PIPE
---	OVERHEAD WIRE
---	SIGN
△	RAILROAD SPIKE
○	BOUNDARY MARKER
○	IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND	
---	PROPERTY LINE
---	EDGE OF DRIVEWAY
---	PAINT

- NOTES:**
1. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
 2. THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DGM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - G

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

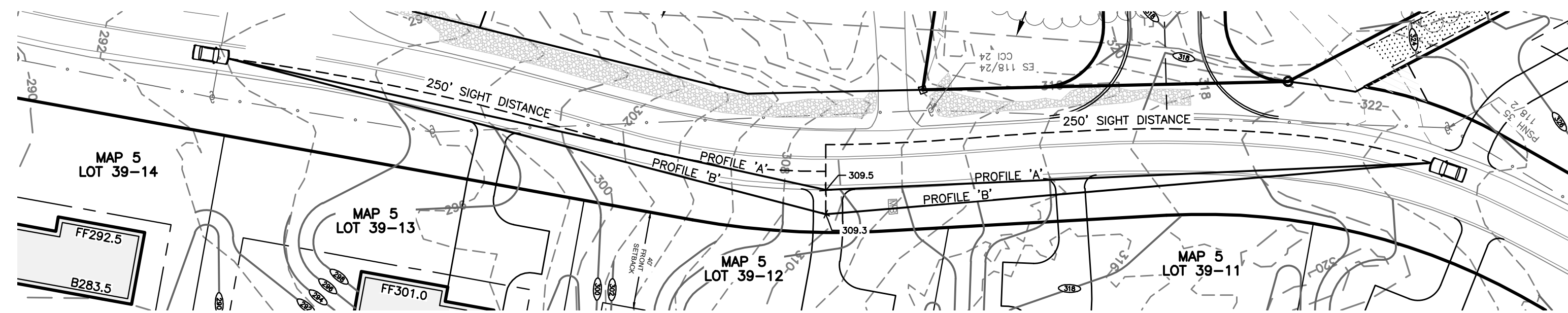
OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=40' DATE: DEC. 12, 2025

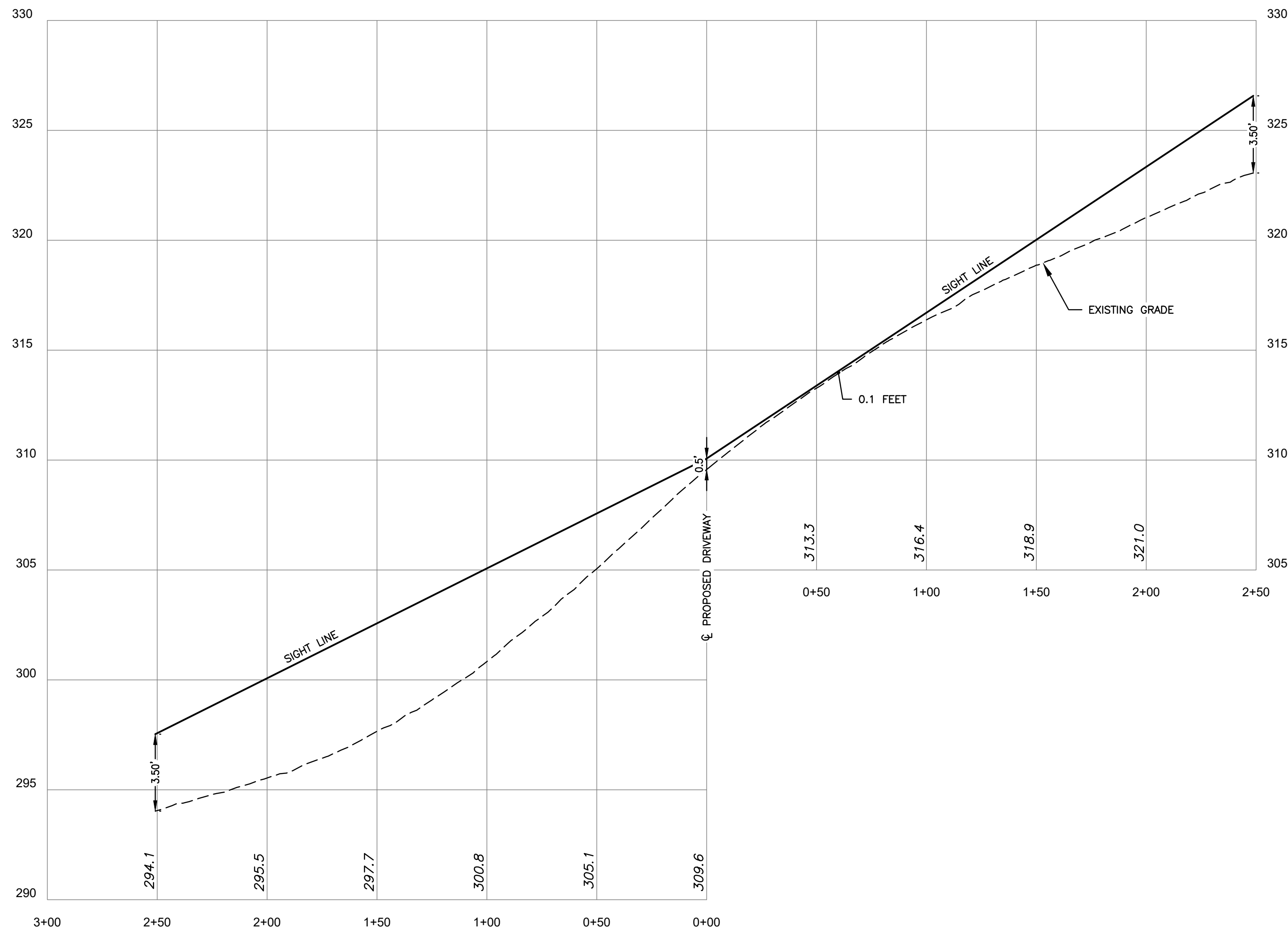
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Londonderry, NH 03053
603-458-6462 - www.thedubaiingroup.com
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Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist

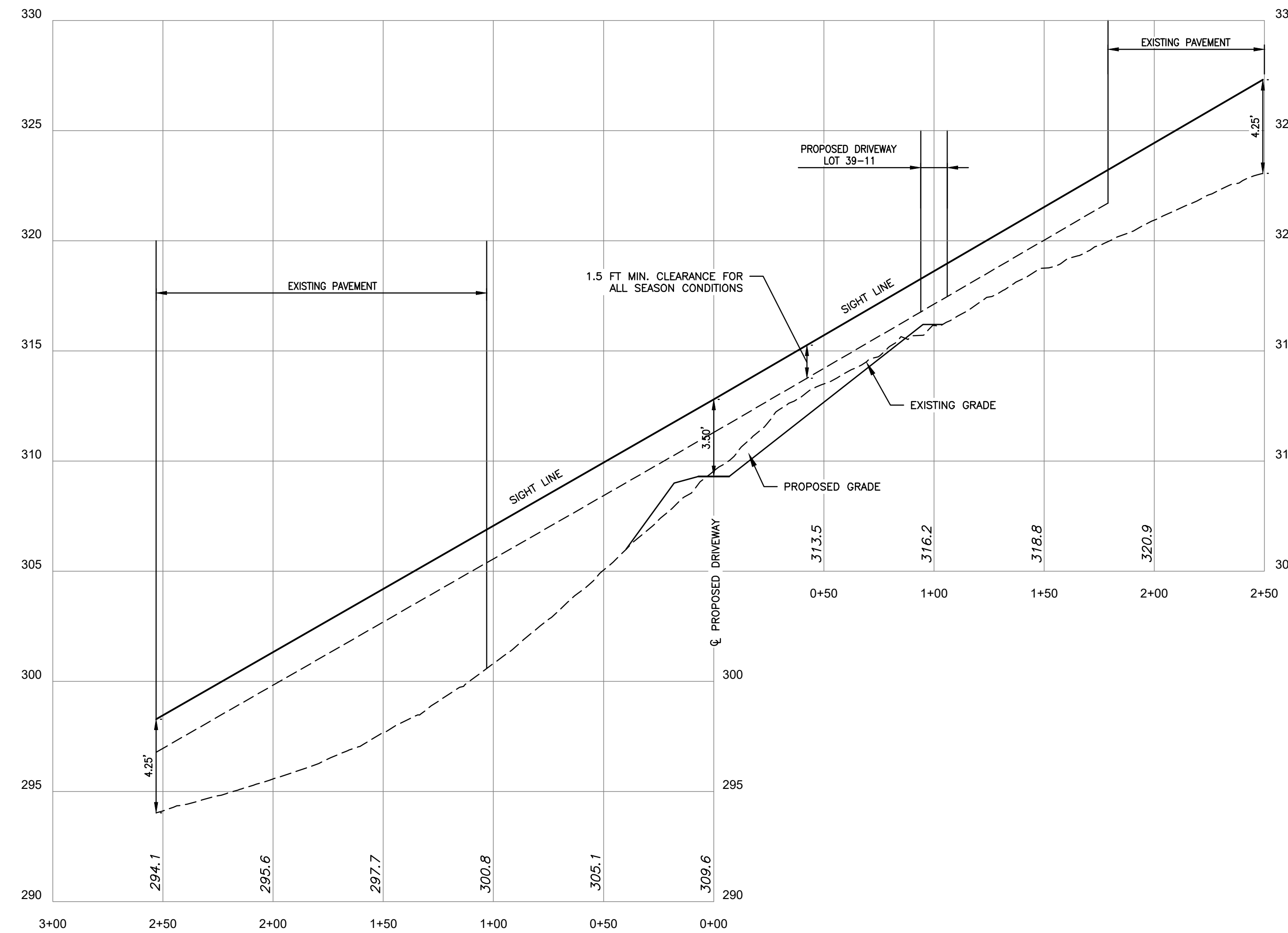
SHEET 31 of 42



005-039-12 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4"V



PROFILE 'B'
SCALE: 1"=40'H, 4"V

EXISTING LEGEND

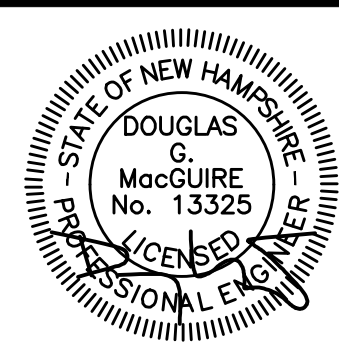
- - - ABUTTER LINE
- DOUBLE SOLID YELLOW LINE
- SINGLE SOLID WHITE LINE
- - - BUILDING SETBACK
- - - EDGE OF PAVEMENT
- UTILITY POLE
- CATCH BASIN
- DRAIN MANHOLE
- DRAINAGE PIPE
- OVERHEAD WIRE
- SIGN
- RAILROAD SPIKE
- BOUNDARY MARKER
- IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND

- PROPERTY LINE
- EDGE OF DRIVEWAY
- PAINT

NOTES:

1. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
2. THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DJM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - H

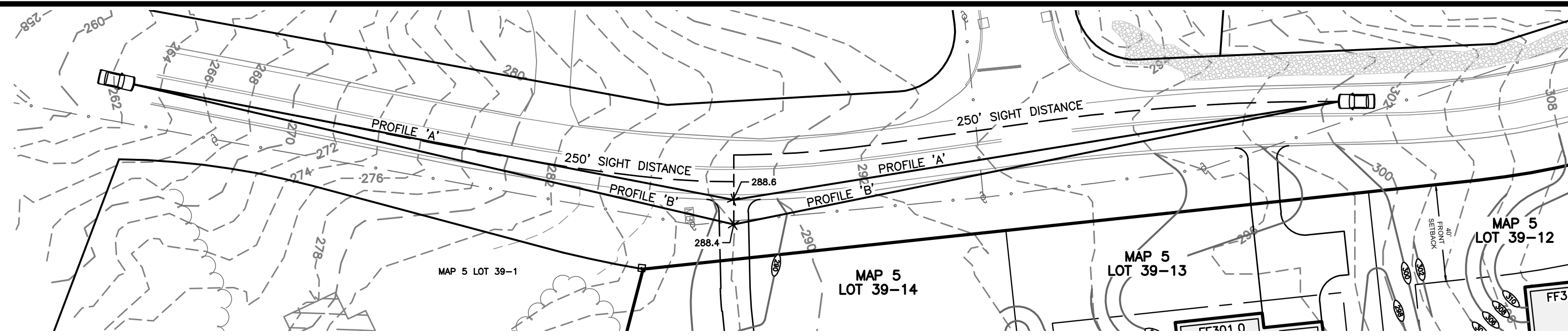
TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE
OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053
SCALE: 1"=40' DATE: DEC. 12, 2025

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Londonderry, NH 03053
603-458-6462 - www.thedubaygroup.com
Engineers | Planners | Surveyors

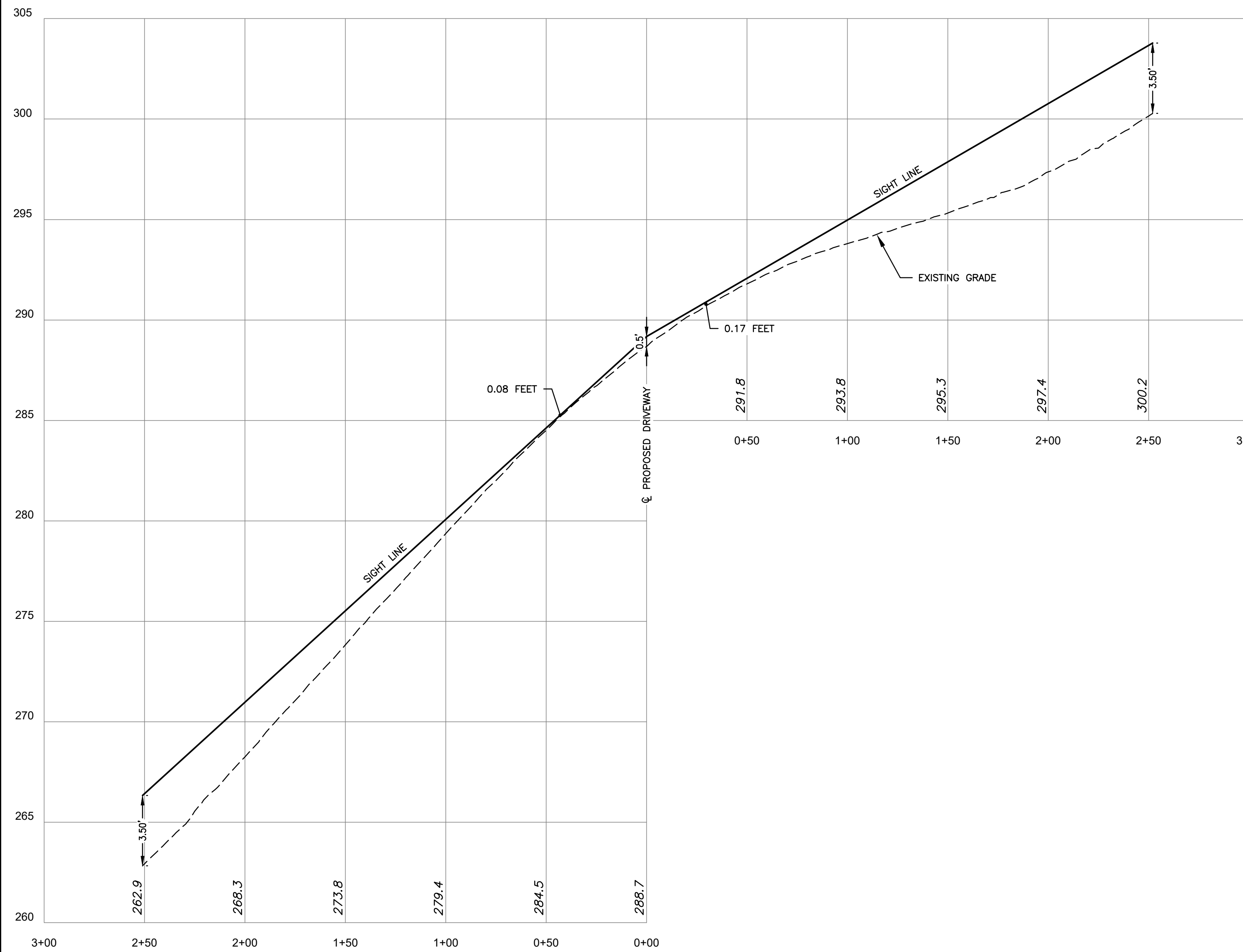
Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist

SHEET 32 of 42

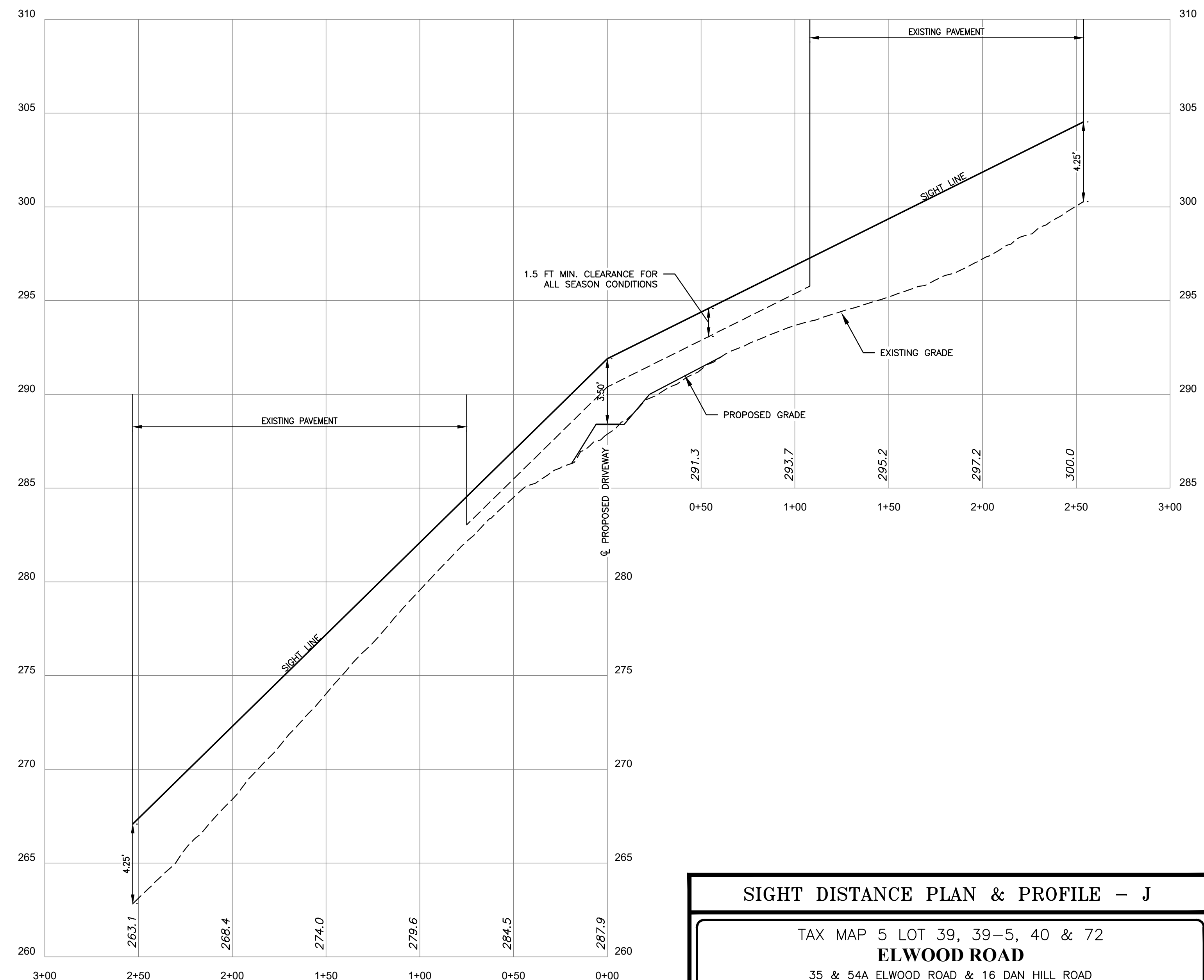
N:\PROJECTS\774-Verani-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight_Dist.dwg



005-039-14 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4'V



PROFILE 'B'
SCALE: 1"=40'H, 4'V

EXISTING LEGEND

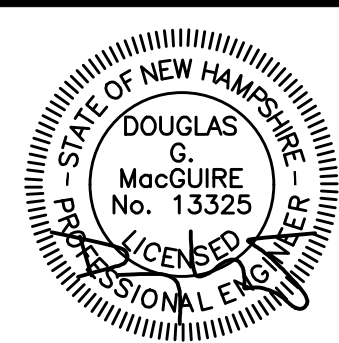
- ABUTTER LINE
- == DOUBLE SOLID YELLOW LINE
- SINGLE SOLID WHITE LINE
- BUILDING SETBACK
- EDGE OF PAVEMENT
- ⊕ UTILITY POLE
- ⊙ CATCH BASIN
- ⊙ DRAIN MANHOLE
- DRAINAGE PIPE
- OVERHEAD WIRE
- SIGN
- ▲ RAILROAD SPIKE
- BOUNDARY MARKER
- IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND

- PROPERTY LINE
- EDGE OF DRIVEWAY
- PAINT

NOTES:

1. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
2. THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DJM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - J

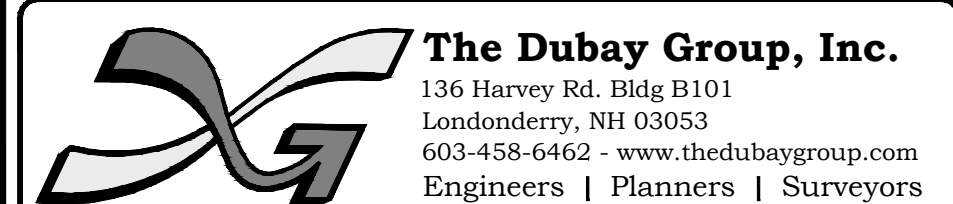
TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

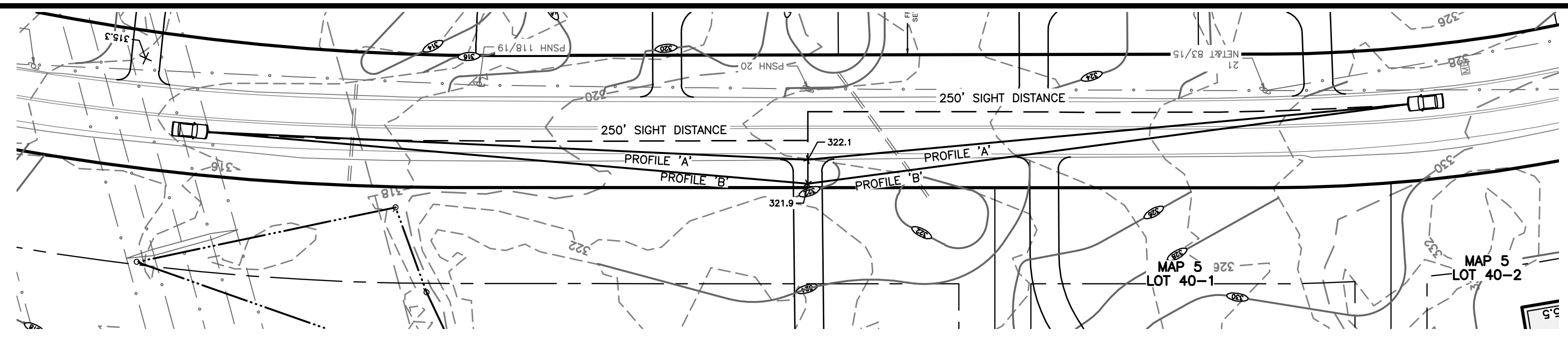
SCALE: 1"=40'

DATE: DEC. 12, 2025

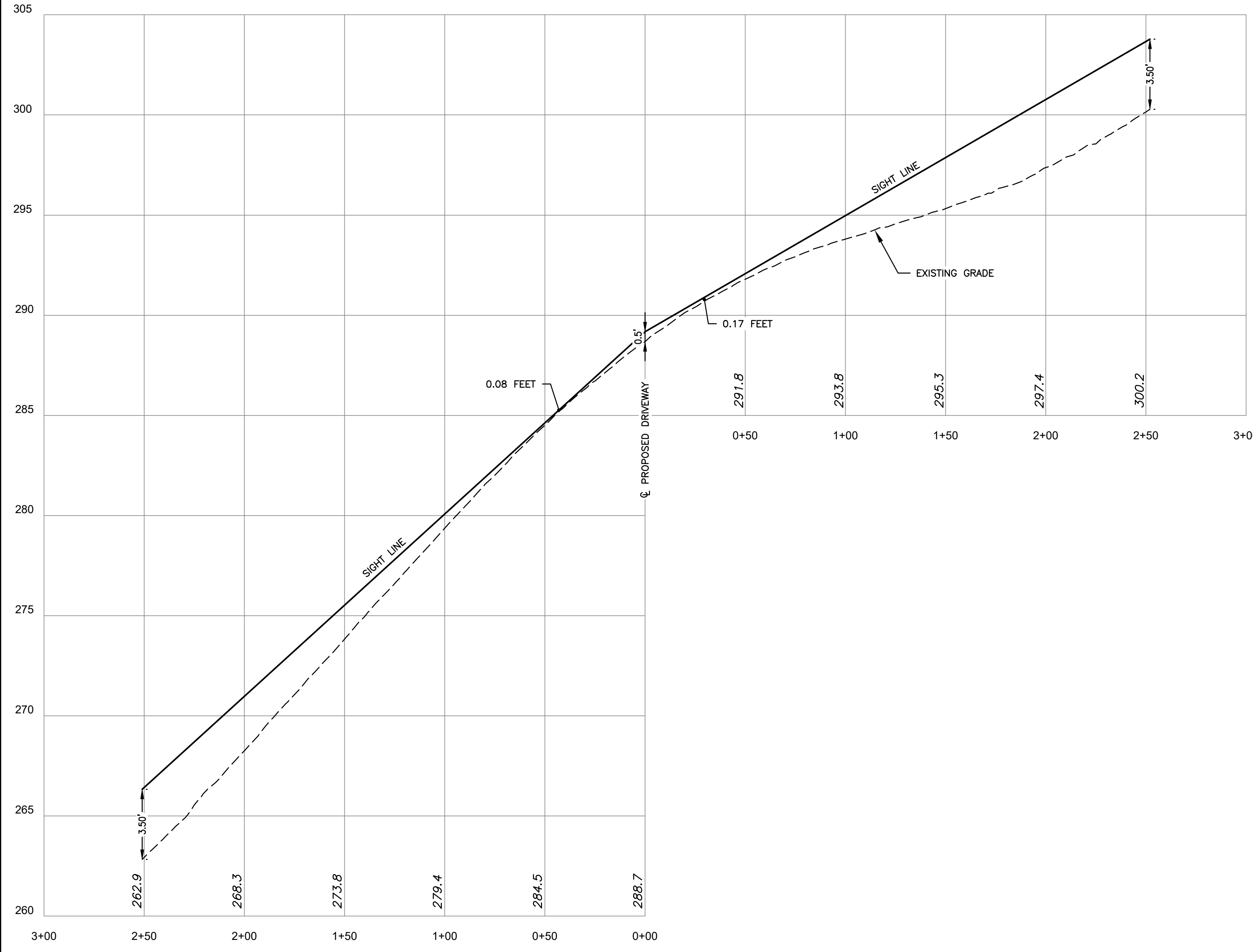


Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist

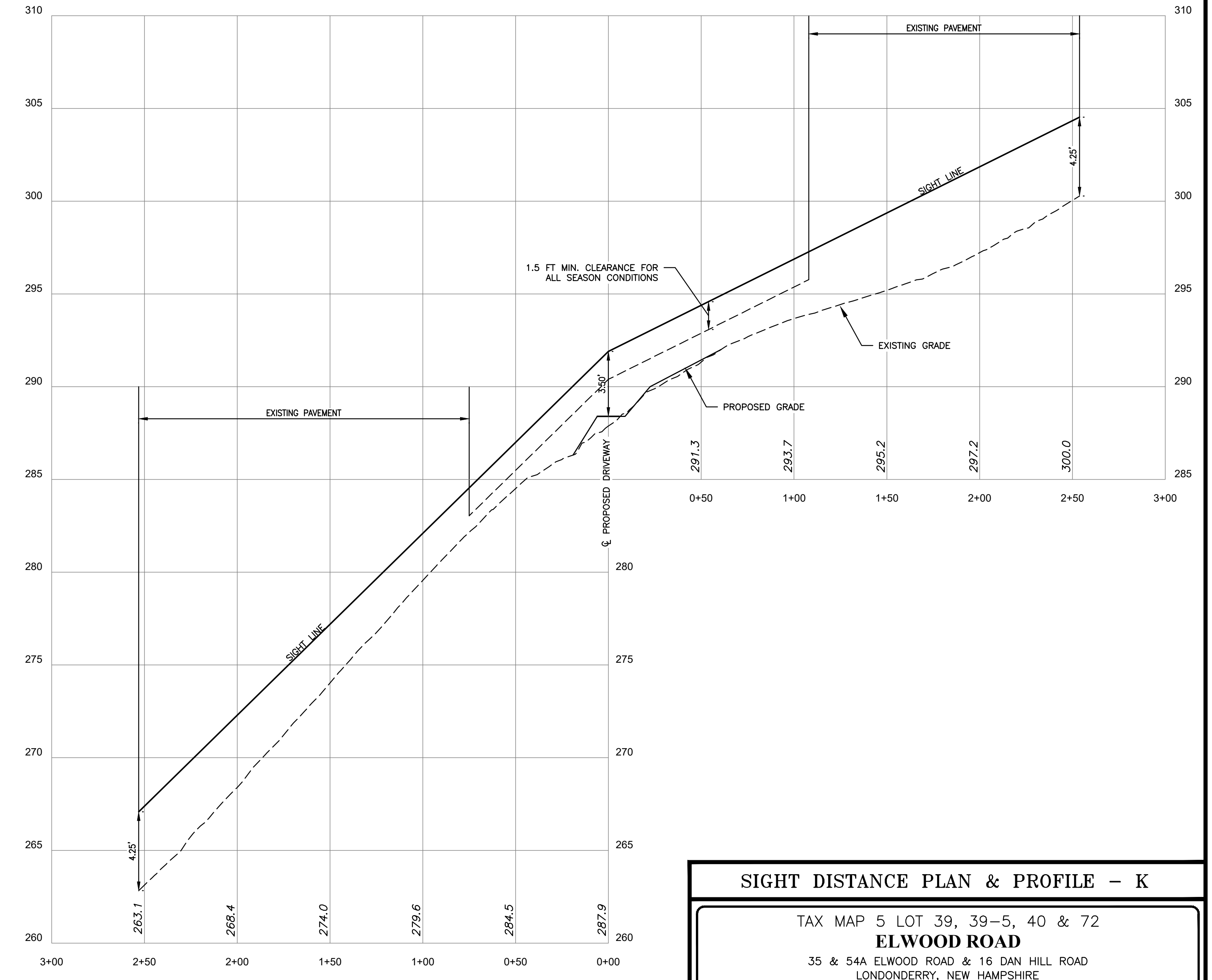
N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight_Dist.dwg



005-040 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4"V



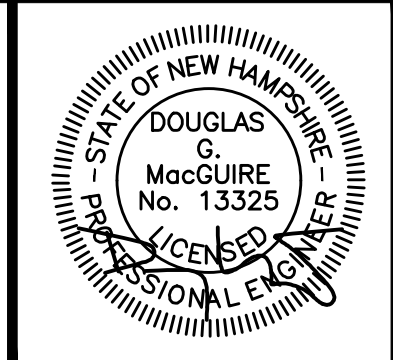
PROFILE 'B'
SCALE: 1"=40'H, 4"V

SIGHT DISTANCE PLAN & PROFILE - K

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE
 OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
 69 ELWOOD ROAD LONDONDERRY, NH 03053
 BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053
 SCALE: 1"=40' DATE: DEC. 12, 2025

- EXISTING LEGEND**
- - - ABUTTER LINE
 - DOUBLE SOLID YELLOW LINE
 - SINGLE SOLID WHITE LINE
 - - - BUILDING SETBACK
 - EDGE OF PAVEMENT
 - UTILITY POLE
 - CATCH BASIN
 - DRAIN MANHOLE
 - DRAINAGE PIPE
 - OVERHEAD WIRE
 - SIGN
 - RAILROAD SPIKE
 - BOUNDARY MARKER
 - IRON PIPE BOUNDARY MARKER
- PROPOSED LEGEND**
- PROPERTY LINE
 - EDGE OF DRIVEWAY
 - PAINT

- NOTES:**
- THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
 - THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

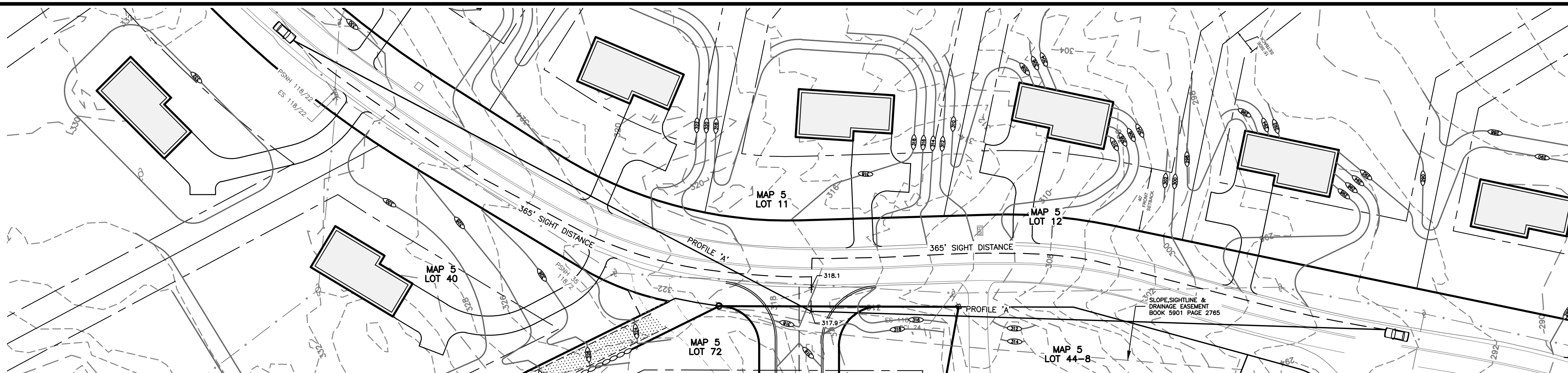
DJM 11/15/2025
 DOUGLAS MACGUIRE, PE DATE

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 Londonderry, NH 03053
 603-458-6462 - www.thedubaiygroup.com
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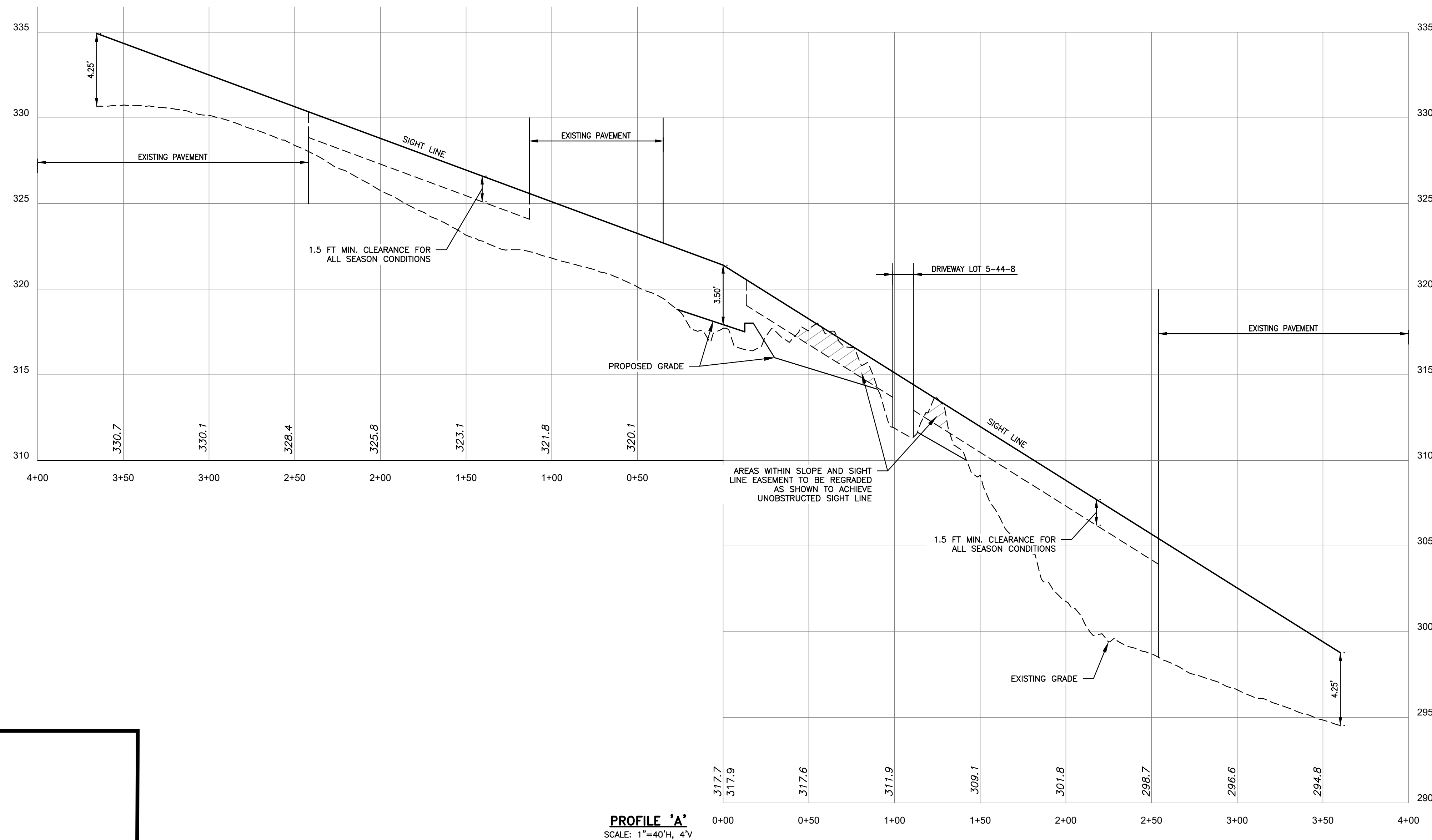
Drawn By: JHD
 Checked By: DGM
 Project: 774
 File: 774-Sight Dist

SHEET 35 of 42

N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight_Dist.dwg



005-072 PLAN
SCALE: 1"=40'



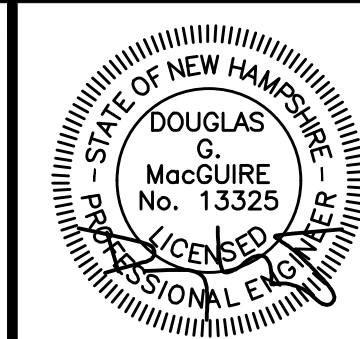
PROFILE 'A'
SCALE: 1"=40'H, 4'V

N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight Dist.dwg

EXISTING LEGEND	
---	ABUTTER LINE
---	DOUBLE SOLID YELLOW LINE
---	SINGLE SOLID WHITE LINE
---	BUILDING SETBACK
---	EDGE OF PAVEMENT
○	UTILITY POLE
□	CATCH BASIN
○	DRAIN MANHOLE
---	DRAINAGE PIPE
---	OVERHEAD WIRE
---	SIGN
△	RAILROAD SPIKE
○	BOUNDARY MARKER
○	IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND	
---	PROPERTY LINE
---	EDGE OF DRIVEWAY
---	PAINT

- NOTES:**
1. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 365' SIGHT DISTANCE VISIBILITY.
 2. THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DJM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - L

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

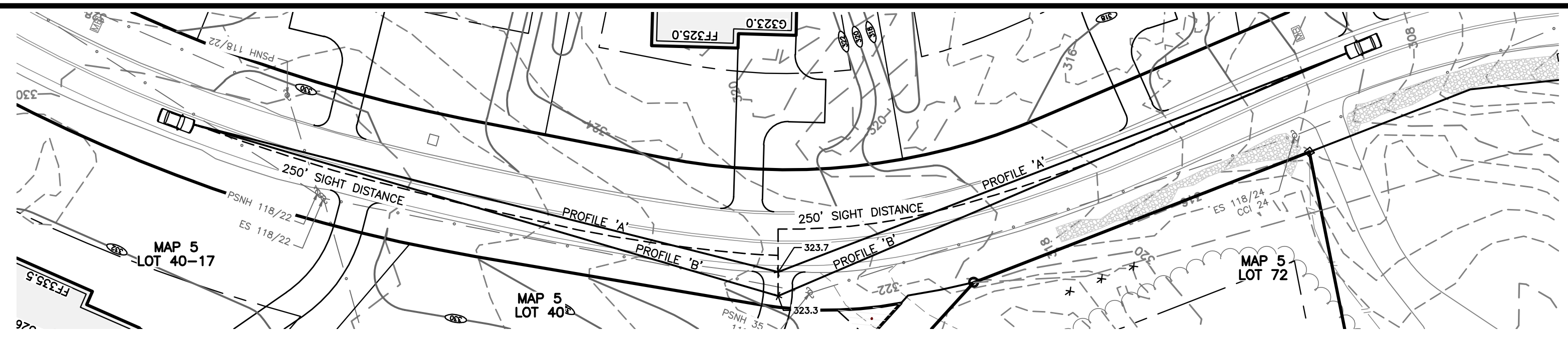
OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=40' DATE: DEC. 12, 2025

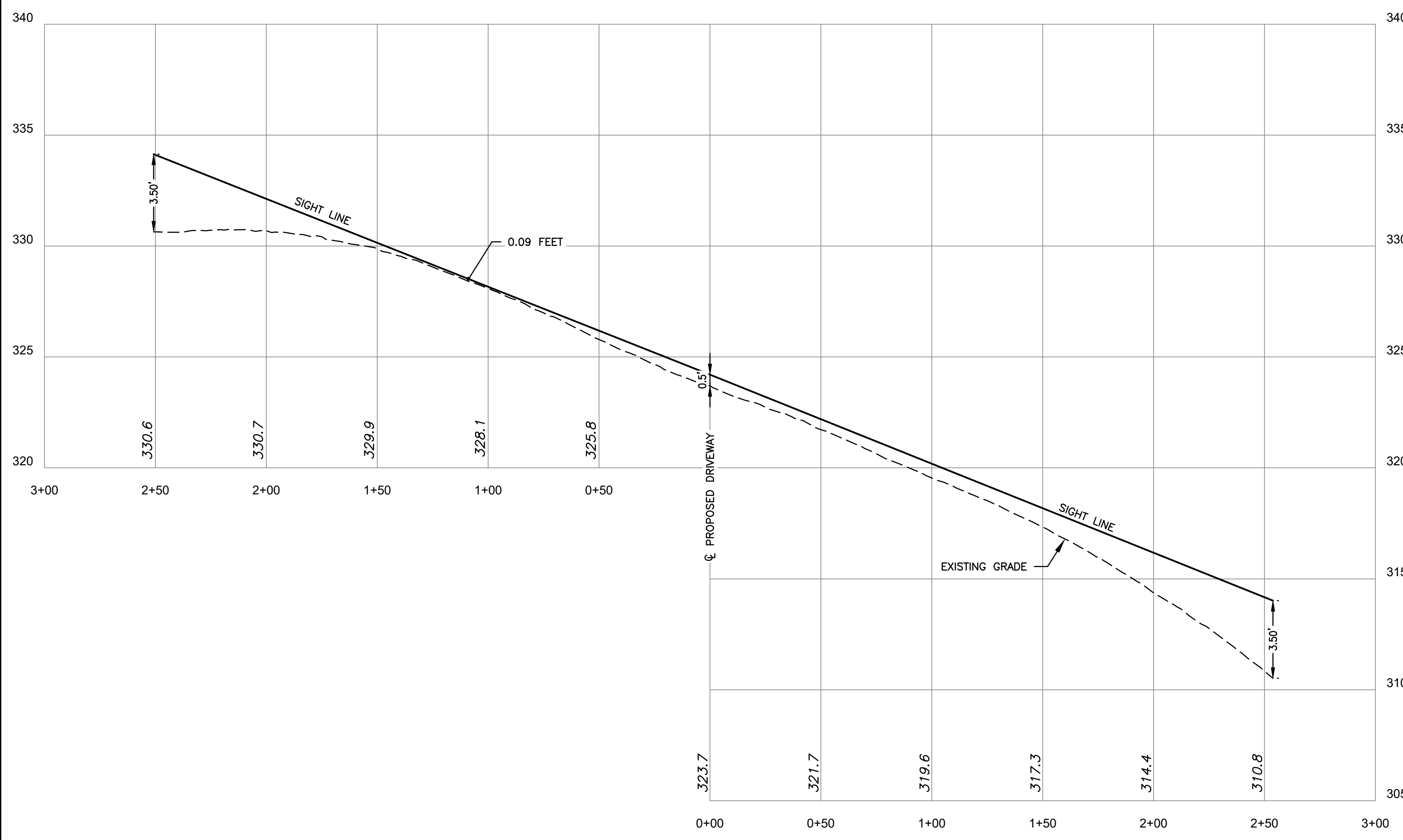
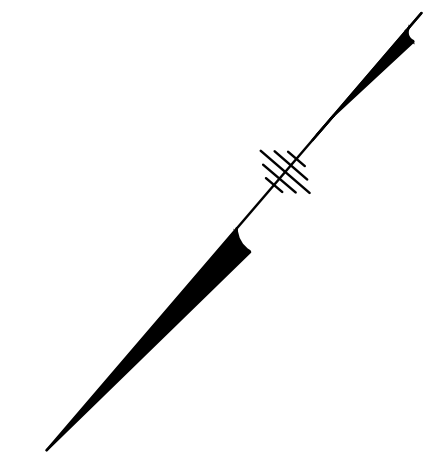
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Project: 774
File: 774-Sight Dist

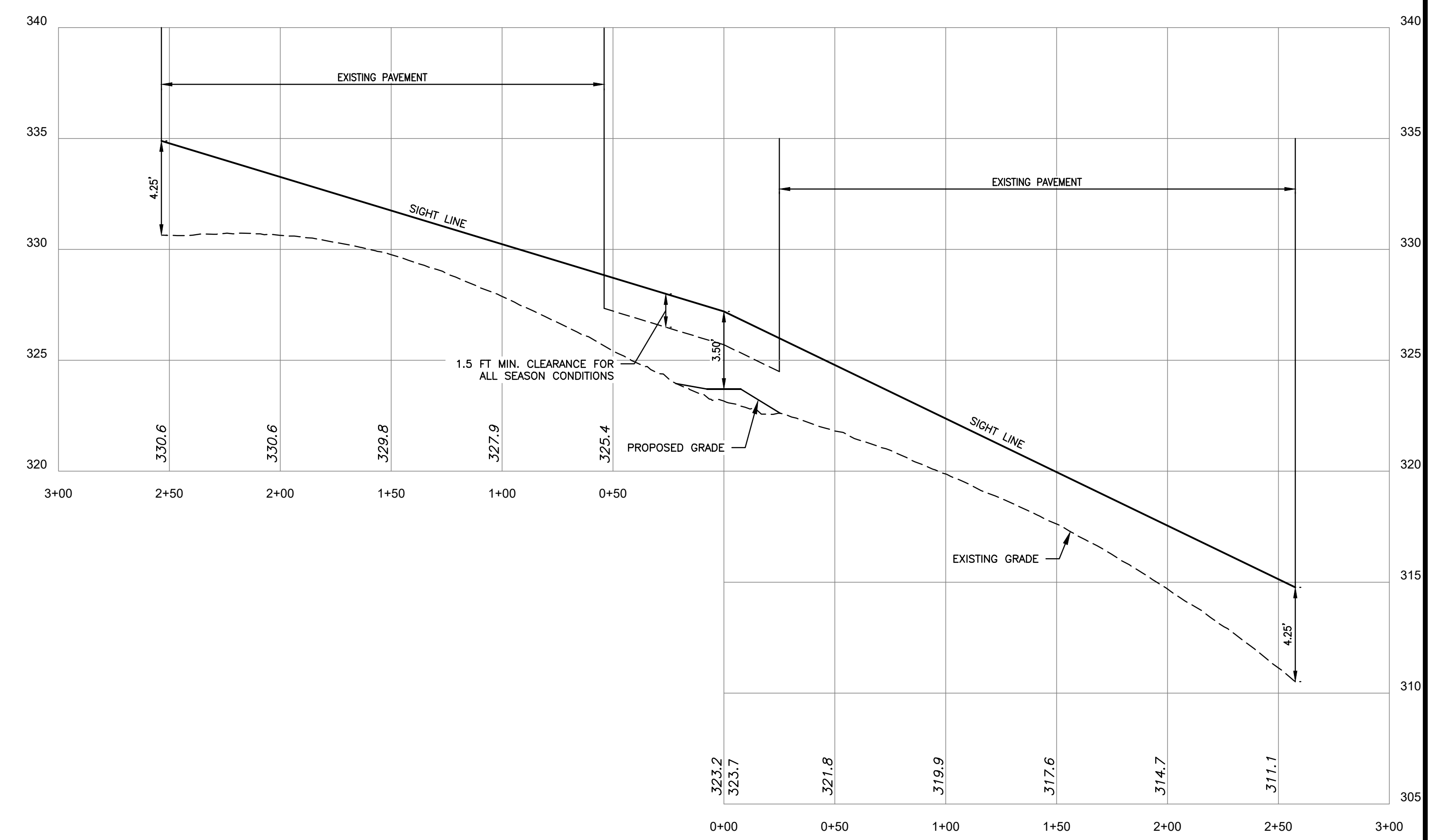
SHEET 36 of 42



005-040 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4'V

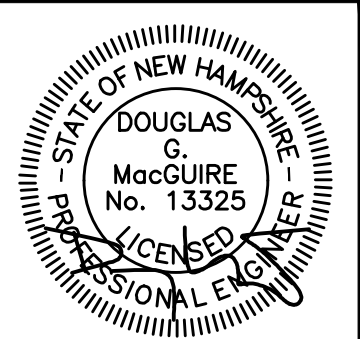


PROFILE 'B'
SCALE: 1"=40'H, 4'V

EXISTING LEGEND	
---	ABUTTER LINE
==	DOUBLE SOLID YELLOW LINE
---	SINGLE SOLID WHITE LINE
---	BUILDING SETBACK
---	EDGE OF PAVEMENT
○	UTILITY POLE
□	CATCH BASIN
⊙	DRAIN MANHOLE
---	DRAINAGE PIPE
—OH—	OVERHEAD WIRE
—	SIGN
▲	RAILROAD SPIKE
—	BOUNDARY MARKER
○	IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND	
---	PROPERTY LINE
---	EDGE OF DRIVEWAY
---	PAINT

- NOTES:**
1. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
 2. THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DGM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - L

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE
OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

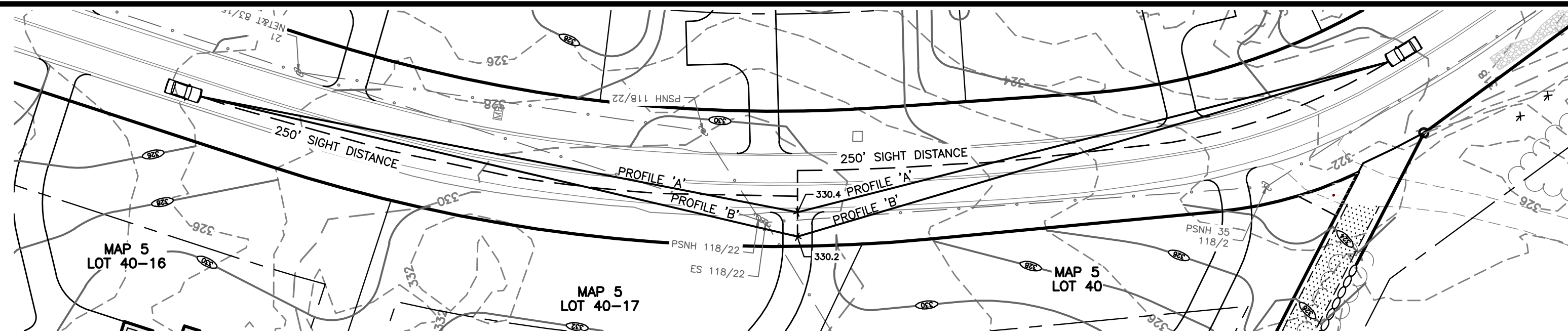
SCALE: 1"=40' DATE: DEC. 12, 2025

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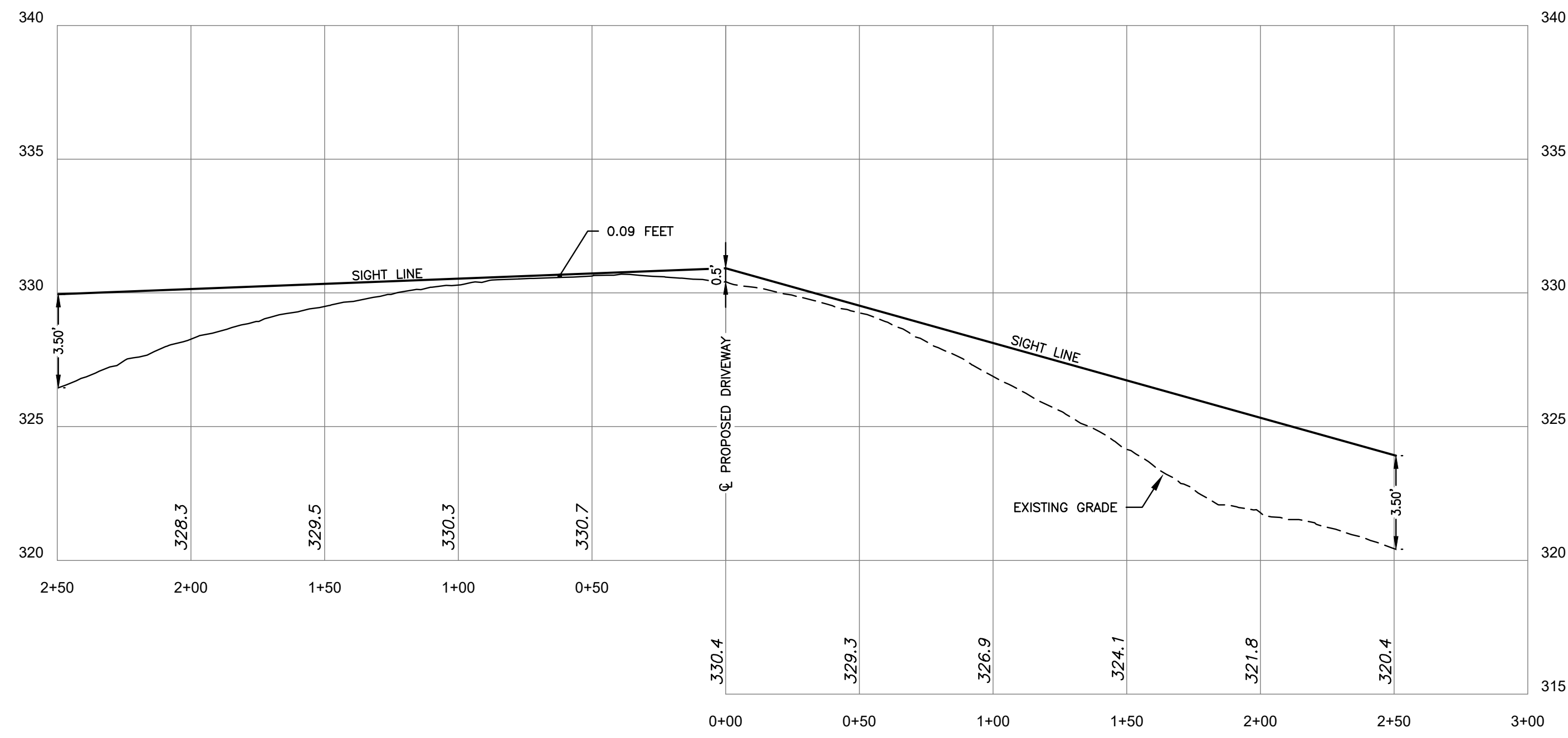
Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist

SHEET 37 of 42

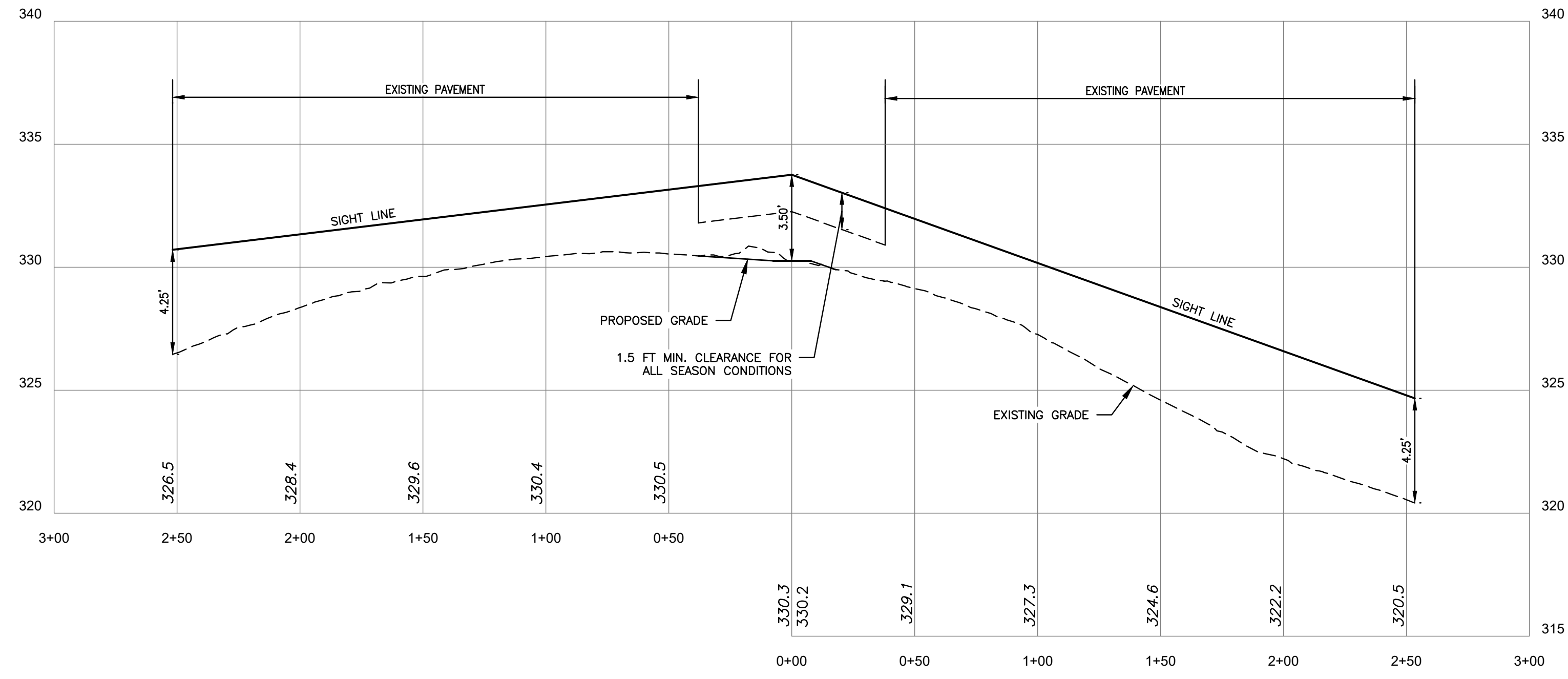
N:\PROJECTS\774-Vermont-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight Dist.dwg



005-040-17 PLAN
SCALE: 1"=40'



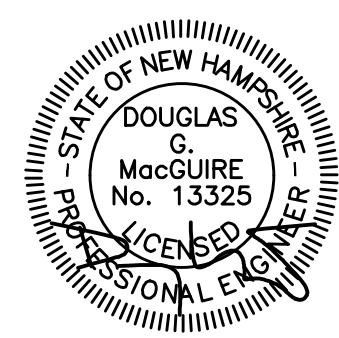
PROFILE 'A'
SCALE: 1"=40'H, 4'V



PROFILE 'B'
SCALE: 1"=40'H, 4'V

EXISTING LEGEND	
---	ABUTTER LINE
==	DOUBLE SOLID YELLOW LINE
---	SINGLE SOLID WHITE LINE
---	BUILDING SETBACK
---	EDGE OF PAVEMENT
○	UTILITY POLE
□	CATCH BASIN
⊙	DRAIN MANHOLE
---	DRAINAGE PIPE
—OH—	OVERHEAD WIRE
—	SIGN
▲	RAILROAD SPIKE
—	BOUNDARY MARKER
○	IRON PIPE BOUNDARY MARKER
PROPOSED LEGEND	
---	PROPERTY LINE
---	EDGE OF DRIVEWAY
---	PAINT

- NOTES:**
- THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
 - THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DGM 11/15/2025
DOUGLAS MACGUIRE, PE DATE

SIGHT DISTANCE PLAN & PROFILE - M

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

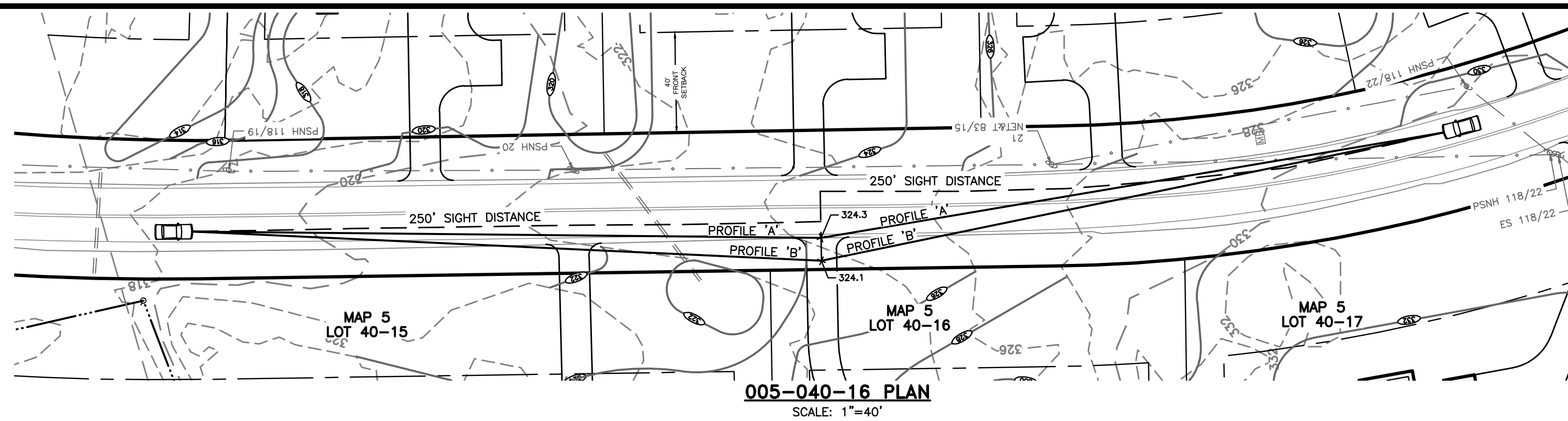
SCALE: 1"=40' DATE: DEC. 12, 2025

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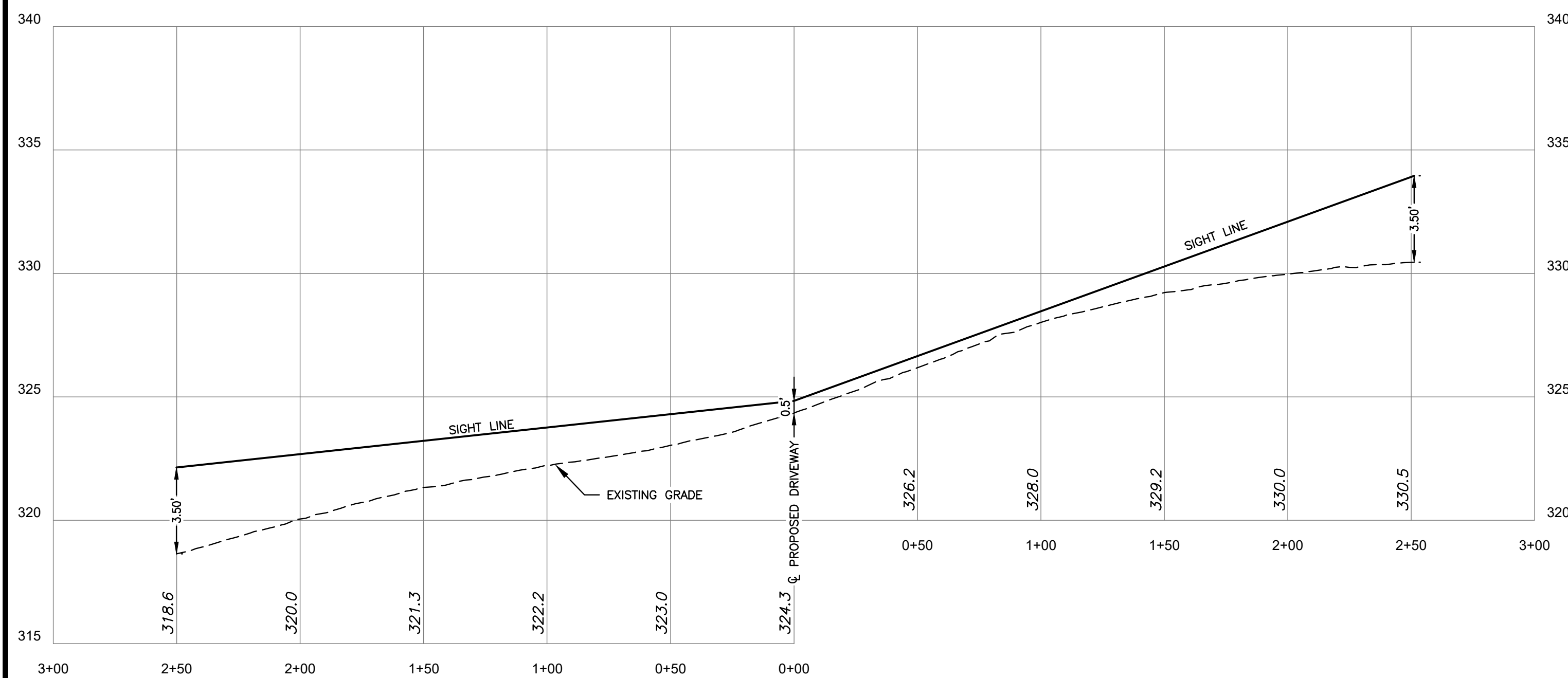
Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist

SHEET 38 of 42

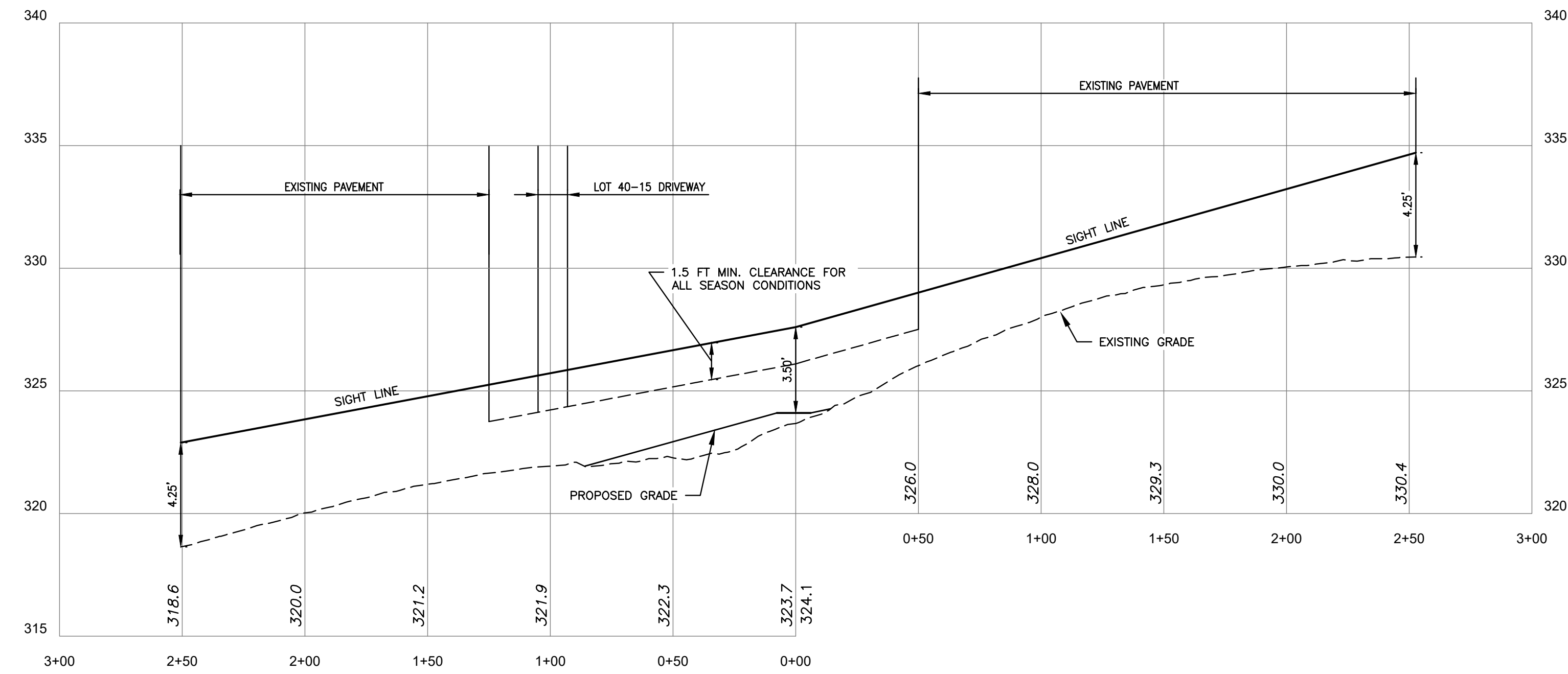
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005-040-16 PLAN
SCALE: 1"=40'



PROFILE 'A'
SCALE: 1"=40'H, 4'V



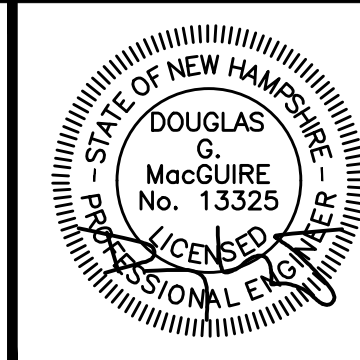
PROFILE 'B'
SCALE: 1"=40'H, 4'V

SIGHT DISTANCE PLAN & PROFILE - N

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
 35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
 LONDONDERRY, NEW HAMPSHIRE
 OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
 69 ELWOOD ROAD LONDONDERRY, NH 03053
 BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
 74 PAGE ROAD LONDONDERRY, NH 03053
 SCALE: 1"=40' DATE: DEC. 12, 2025

- EXISTING LEGEND**
- - - ABUTTER LINE
 - DOUBLE SOLID YELLOW LINE
 - SINGLE SOLID WHITE LINE
 - - - BUILDING SETBACK
 - EDGE OF PAVEMENT
 - UTILITY POLE
 - CATCH BASIN
 - DRAIN MANHOLE
 - DRAINAGE PIPE
 - OVERHEAD WIRE
 - SIGN
 - RAILROAD SPIKE
 - BOUNDARY MARKER
 - IRON PIPE BOUNDARY MARKER
- PROPOSED LEGEND**
- PROPERTY LINE
 - EDGE OF DRIVEWAY
 - PAINT

- NOTES:**
- THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
 - THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

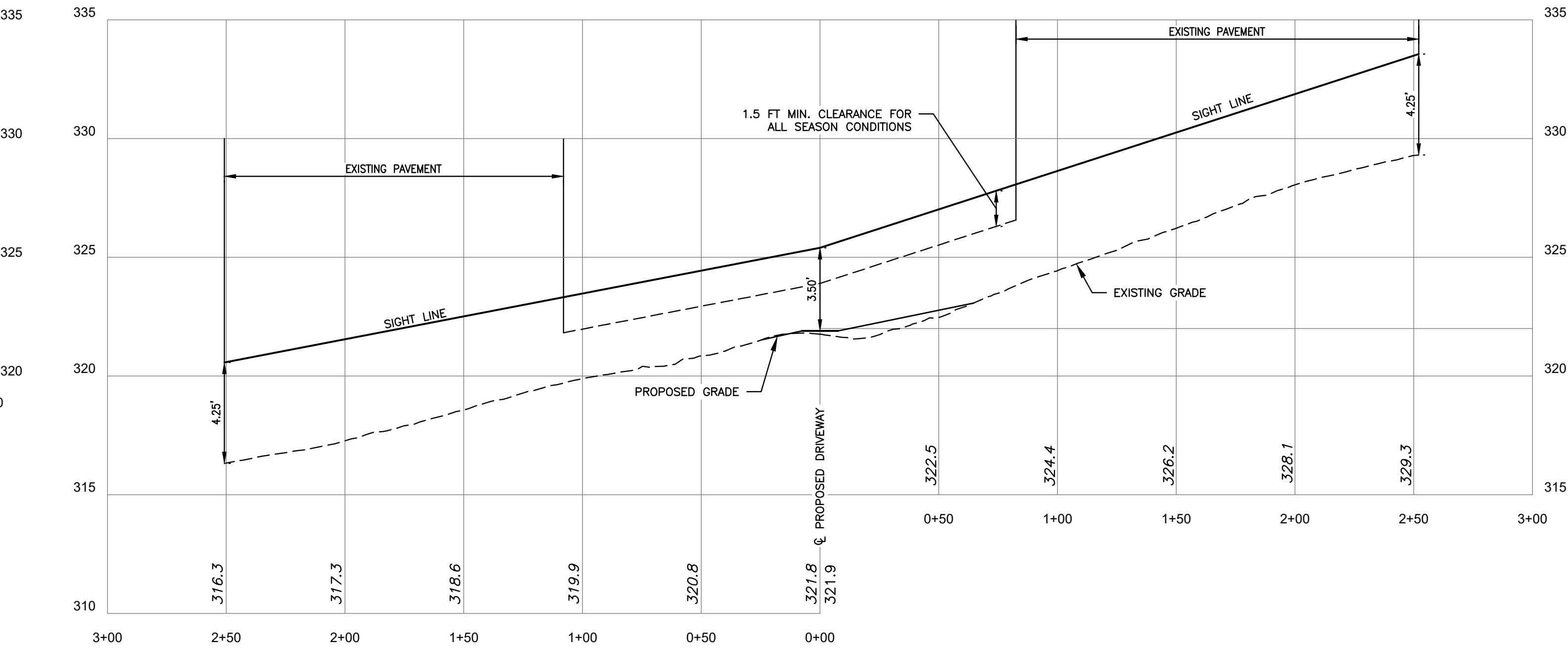
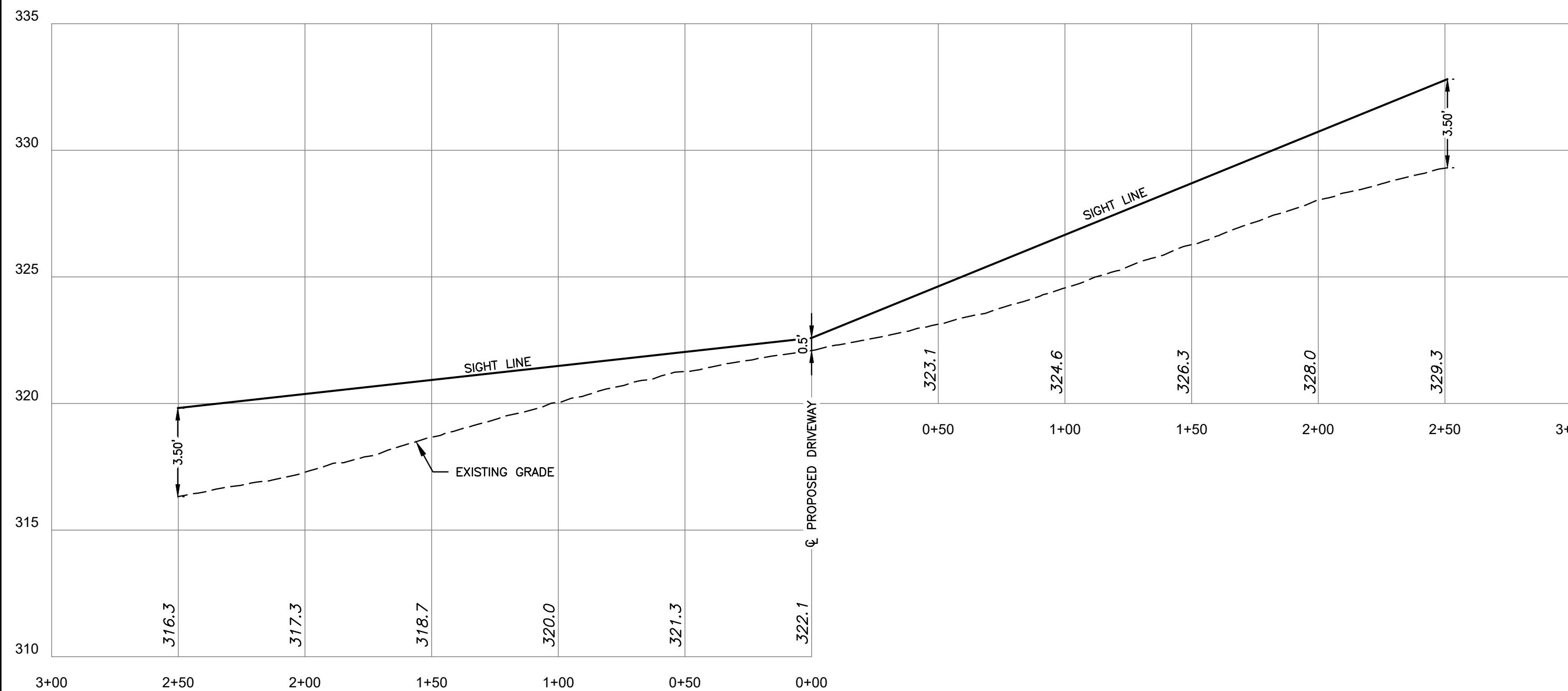
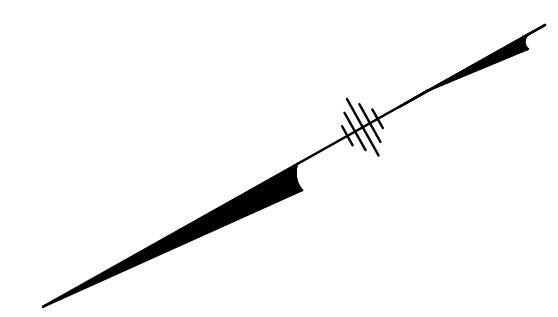
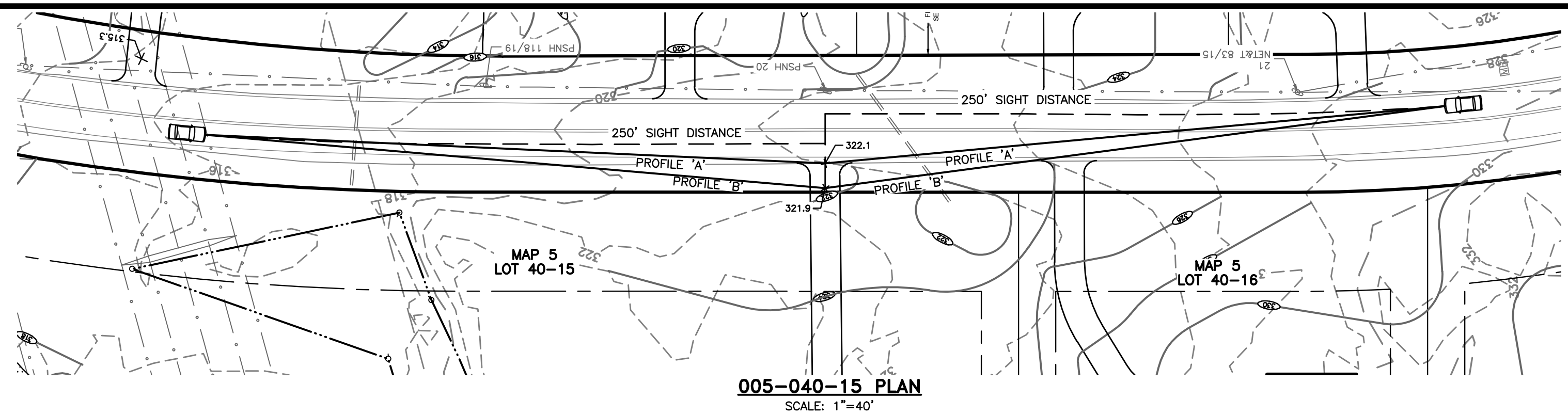
DGM 11/15/2025
 DOUGLAS MACGUIRE, PE DATE

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 Checked By: DGM
 Project: 774
 File: 774-Sight Dist

SHEET 39 of 42

N:\PROJECTS\774-Verani-69 Elwood Rd., Londonderry\DWG\CURRENT\ELWOOD ROAD SUBDIVISION\774-Sight_Dist.dwg



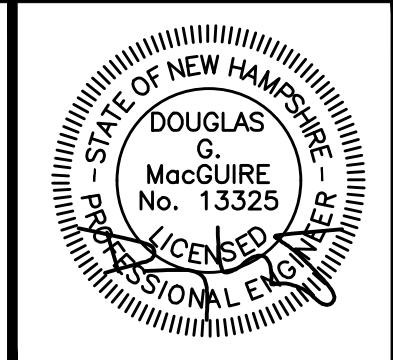
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EXISTING LEGEND	
---	ABUTTER LINE
==	DOUBLE SOLID YELLOW LINE
---	SINGLE SOLID WHITE LINE
---	BUILDING SETBACK
---	EDGE OF PAVEMENT
○	UTILITY POLE
□	CATCH BASIN
⊙	DRAIN MANHOLE
---	DRAINAGE PIPE
—OH—	OVERHEAD WIRE
—	SIGN
▲	RAILROAD SPIKE
○	BOUNDARY MARKER
○	IRON PIPE BOUNDARY MARKER

PROPOSED LEGEND	
---	PROPERTY LINE
---	EDGE OF DRIVEWAY
---	PAINT

NOTES:

- THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS BETWEEN THE STREET AND SIGHT LINES TO ACHIEVE THE REQUIRED 250' SIGHT DISTANCE VISIBILITY.
- THE SPEED LIMIT FOR ELWOOD ROAD IS 35 MPH.



NO.	DATE	DESCRIPTION	BY

SIGHT DISTANCE CERTIFICATION:

I HEREBY CERTIFY THAT THE ALL SEASON SAFE SIGHT DISTANCE AS REQUIRED BY THE TOWN OF LONDONDERRY IS ACHIEVED UPON COMPLETION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

DGM
DOUGLAS MACGUIRE, PE

11/15/2025
DATE

SIGHT DISTANCE PLAN & PROFILE - 0

TAX MAP 5 LOT 39, 39-5, 40 & 72
ELWOOD ROAD
35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:
OWNER: ESTATE OF WAYNE ELWOOD
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211
APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC
74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: 1"=40'
DATE: DEC. 12, 2025

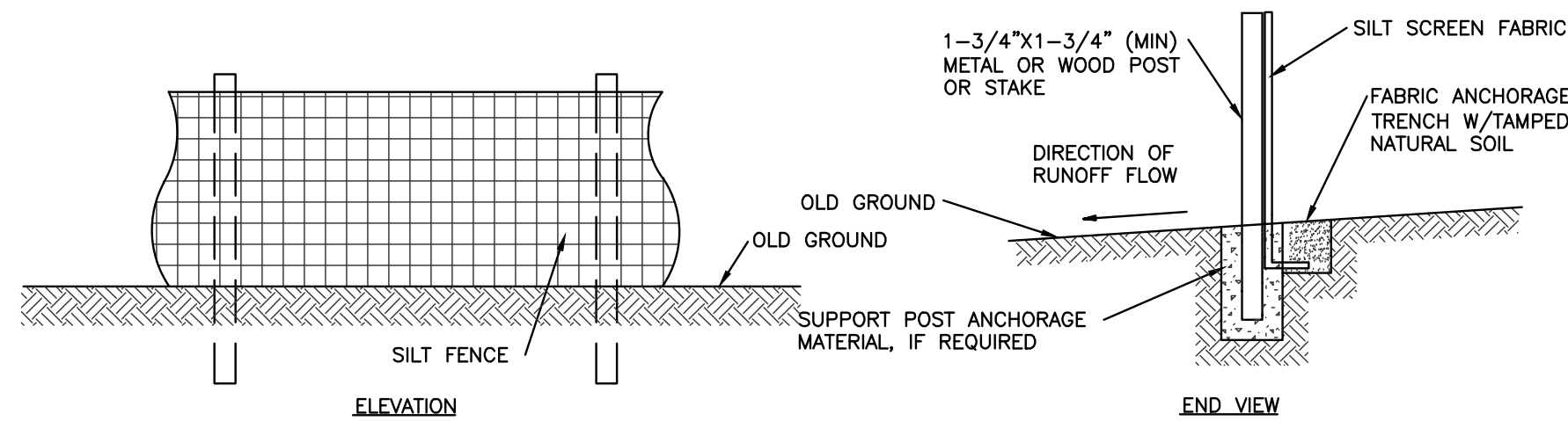
The Dubay Group, Inc.
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462 - www.thedubaygroup.com
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Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-Sight Dist

SHEET 40 of 42

CONSTRUCTION SEQUENCE

1. INSTALL PERIMETER CONTROLS, IE SILT FENCE AND/OR SILT SOX AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATION.
2. CONSTRUCT TEMPORARY CONSTRUCTION EXIT IF NEEDED.
3. CLEAR AND GRUB WITHIN AREAS OF DISTURBANCE UNLESS OTHERWISE NOTED.
4. REMOVE AND STOCKPILE MATERIALS AS REQUIRED. STOCKPILE SHALL BE SURROUNDED WITH AN EROSION CONTROL DEVICE TO PREVENT EROSION. STOCKPILE AREAS ARE LIMITED AND THUS MANAGEMENT OF MATERIALS WILL BE REQUIRED. SEDIMENT TRAPS AND/OR BASINS SHOULD BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL BASINS/PONDS ARE STABILIZED.
5. SHAPE ANY APPLICABLE DITCHES AND/OR SWALES.
6. PERFORM ROUGH SITE GRADING. INSTALL DRAINAGE SYSTEMS AND UTILITIES AS APPLICABLE.
7. BEGIN CONSTRUCTION OF THE BUILDING FOUNDATION AND CONNECT TO SITE UTILITIES. BEGIN BUILDING CONSTRUCTION.
8. PLANT POTENTIAL LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.
9. PAVE DRIVEWAY.
10. REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.



CRITERIA FOR SILT FENCES:

1) SILT FENCE FILTER CLOTH: THE FABRIC FOR THE SILT FENCE SHALL MEET THE FOLLOWING SPECIFICATIONS:

FABRIC PROPERTIES	VALUES	TEST METHOD
GRAB TENSILE STRENGTH (lbs)	90	ASTM D1682
ELONGATION AT FAILURE (%)	50	ASTM D1682
MULLEN BURST STRENGTH (PSI)	190	ASTM D3786
PUNCTURE STRENGTH (lbs)	40	ASTM D751
EQUIVALENT OPENING SIZE	40-80	US STD SIEVE

- 2) FENCE POSTS (FOR FABRICATED UNITS) - THE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG. WOOD POSTS WILL BE OF SOUND QUALITY HARDWOOD WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- 3) PREFABRICATED UNITS - PREFABRICATED UNITS MAY BE USED IN LIEU OF THE ABOVE METHOD PROVIDING: (1) THE FILTER CLOTH AND FENCE POSTS MEET THE ABOVE CRITERIA; AND (2) THE UNIT IS INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

MAINTENANCE:

- 1) SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- 2) IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- 3) SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- 4) SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

CONSTRUCTION SPECIFICATIONS:

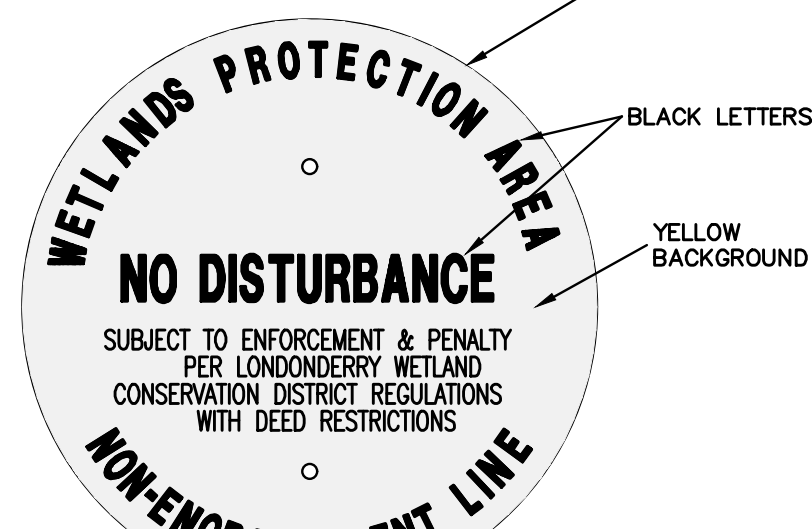
- 1) THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- 2) THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- 3) FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOODEN STAKES EVERY 12 INCHES.
- 4) WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO WOOD STAKE.
- 5) POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND, AND OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- 6) MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BULGES IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

SILTATION FENCING DETAIL

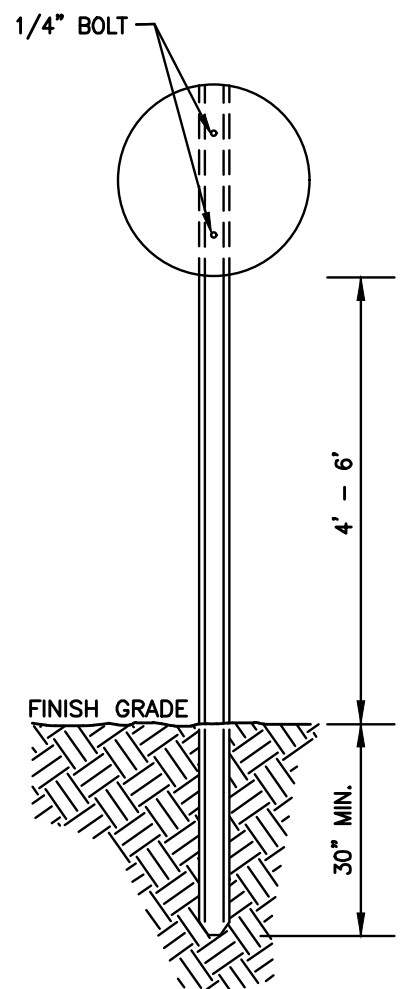
NOT TO SCALE

NOTES:

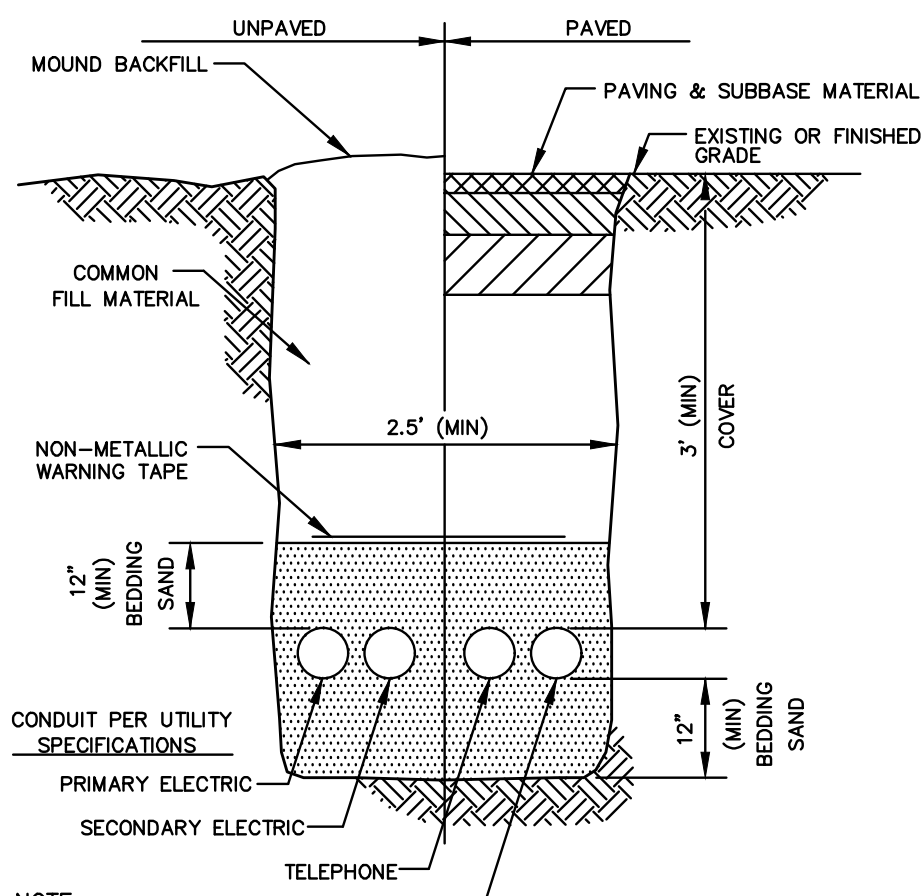
1. TAGS SHALL BE PLACED IN NEAREST TREE ALONG 50' WETLANDS BUFFER.
2. IN AREAS WHERE THERE ARE NO TREES, SIGN POSTS SHALL BE USED AND INSTALLED, SEE SIGN POST DETAIL.
3. PROVIDED BY QUALITY NAME PLATE, INC. (1-800-385-2220)



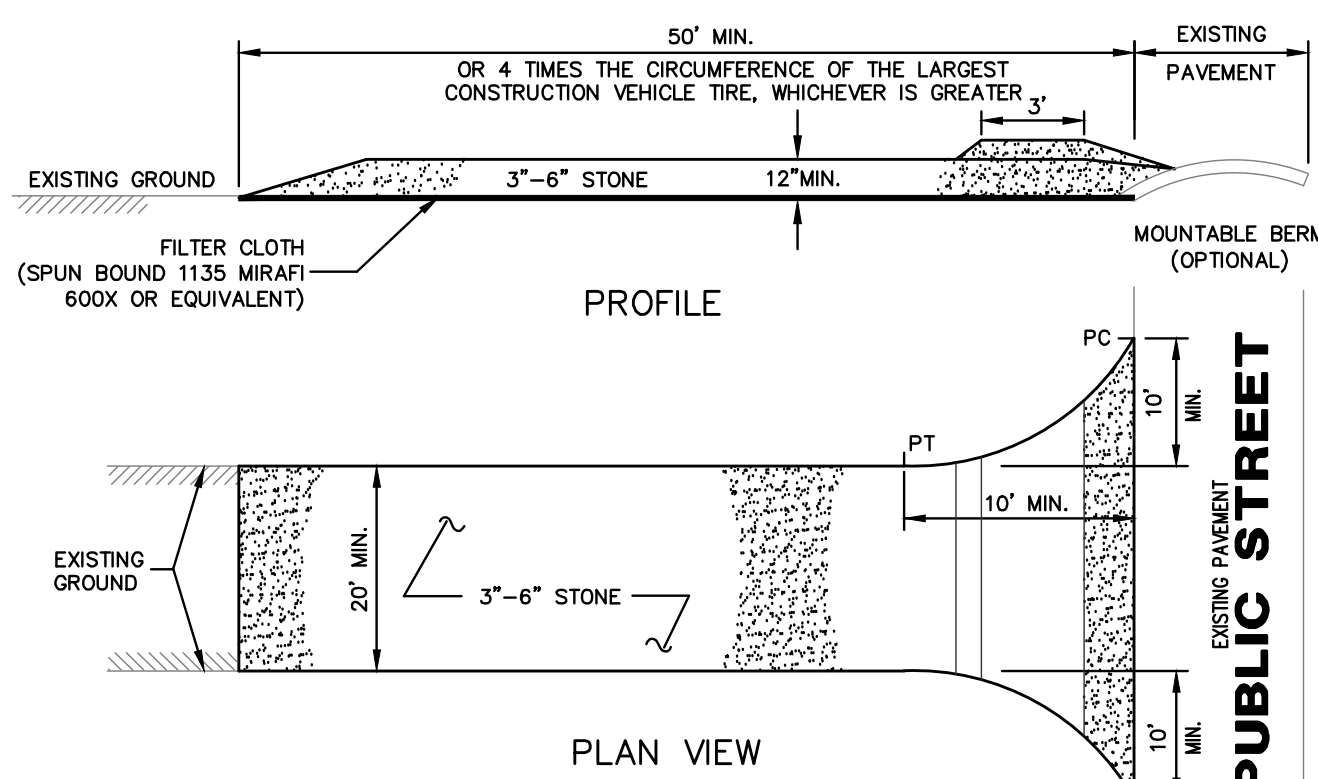
WETLAND MARKER
NOT TO SCALE



STANDARD POST MATTING INSTALLATION
NOT TO SCALE



CONDUIT TRENCH DETAIL
NOT TO SCALE

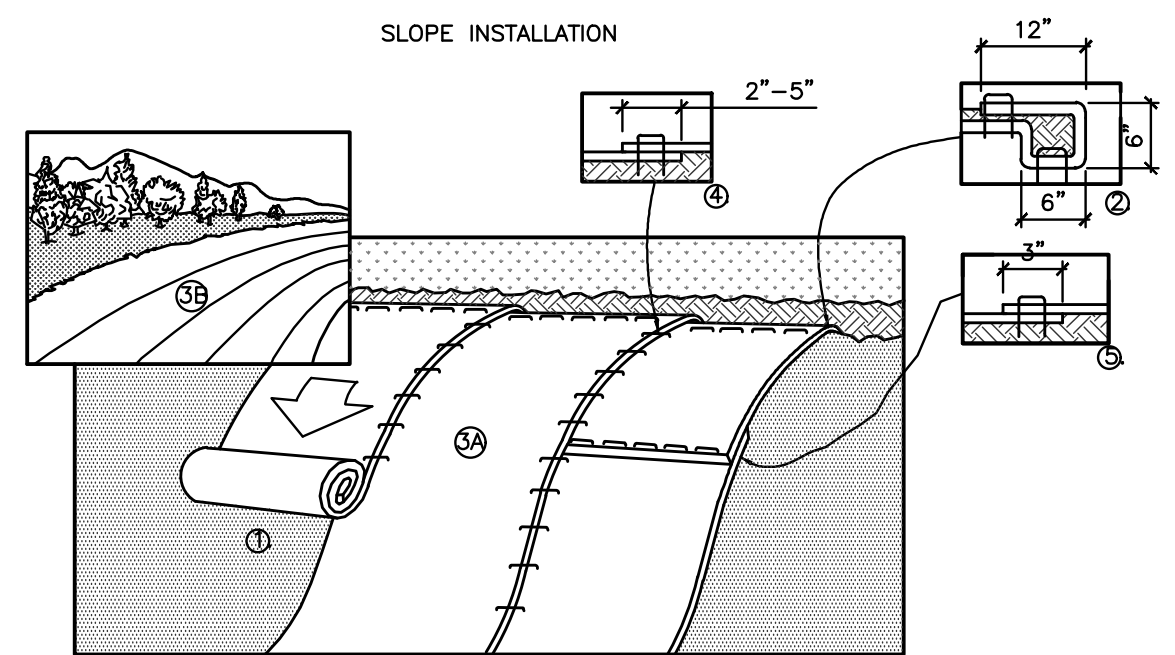


NOTES

1. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
2. WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
3. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
4. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

USDA-SCS STABILIZED TRACKING PAD

NOT TO SCALE

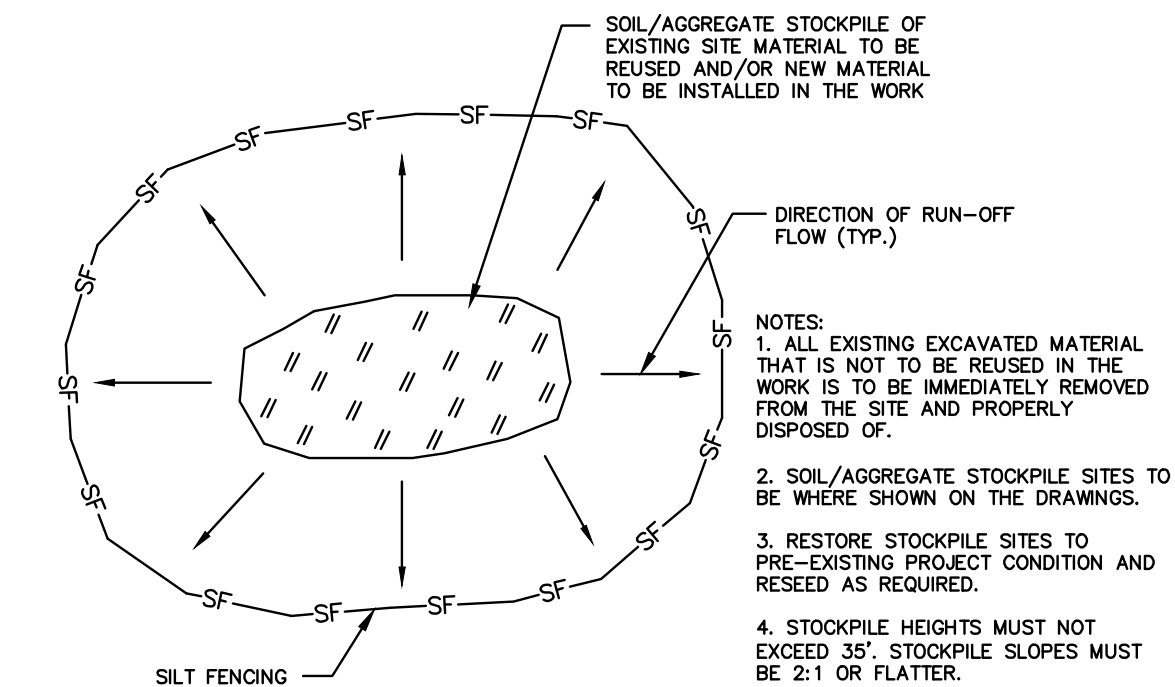


MATTING INSTALLATION NOTES

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-0-SEED DO NOT SEED PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6\"/>

SLOPE PROTECTION EROSION CONTROL MATTING

NOT TO SCALE

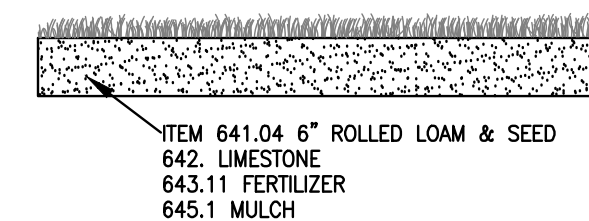


NOTES

1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
2. SOIL/AGGREGATE STOCKPILE SITES TO BE WHERE SHOWN ON THE DRAWINGS.
3. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
4. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
5. STOCKPILE MUST BE SEEDED AND/OR MULCHED PRIOR TO ONSET OF WINTER OPERATIONS.
6. EROSION CONTROL SEED MIX SHALL BE SOWN IN ALL INACTIVE CONSTRUCTION AREAS THAT WILL NOT BE PERMANENTLY SEEDED WITHIN TWO WEEKS OF DISTURBANCE.

MATERIALS STOCKPILE DETAIL

NOT TO SCALE



LOAM & SEED DETAIL
NOT TO SCALE

NOTE:

SEEDING SHALL BE MIN ONE POUND OF PERENNIAL GRASS SEED PER 50 SF OF AREAS PER 704.1.2.

DETAIL SHEET - 1

TAX MAP 5 LOT 39, 39-5, 40 & 72

ELWOOD ROAD

35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:

OWNER: ESTATE OF WAYNE ELWOOD

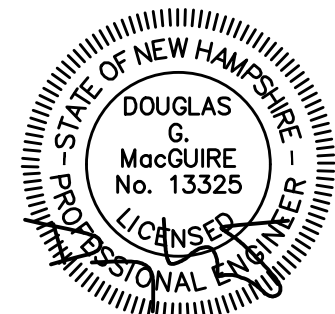
69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC

74 PAGE ROAD LONDONDERRY, NH 03053

SCALE: AS NOTED

DATE: DEC. 12, 2025



The Dubay Group, Inc.
136 Harvey Rd. Bldg B101
Londonderry, NH 03053
603-458-6462 - www.thedubaygroup.com
Engineers | Planners | Surveyors

Drawn By: JHD
Checked By: DGM
Project: 774
File: 774-DETAILS

SHEET 41 of 42

NO.	DATE	DESCRIPTION	BY

Post Construction Operation and Maintenance Plan

MAINTENANCE SCHEDULE		
Frequency	Actions	Follow-up
Weekly (or after rain event)	Erosion Inspection	Take corrective action(s) if required
Quarterly	Complete Stormwater Inspection Report Reviewing all structures and BMP's	File Stormwater Inspection Report and take any corrective actions as needed
Semi Annually	Perform sediment removal from all structures and pipes as needed	Note any problem areas and inspect as necessary

Property Owners:

Belize Real Estate Holding, LLC
74 Page Road
Londonderry, NH 03053

Responsible Parties:

Installation/Operation & Maintenance:

Belize Real Estate Holding, LLC
74 Page Road
Londonderry, NH 03053

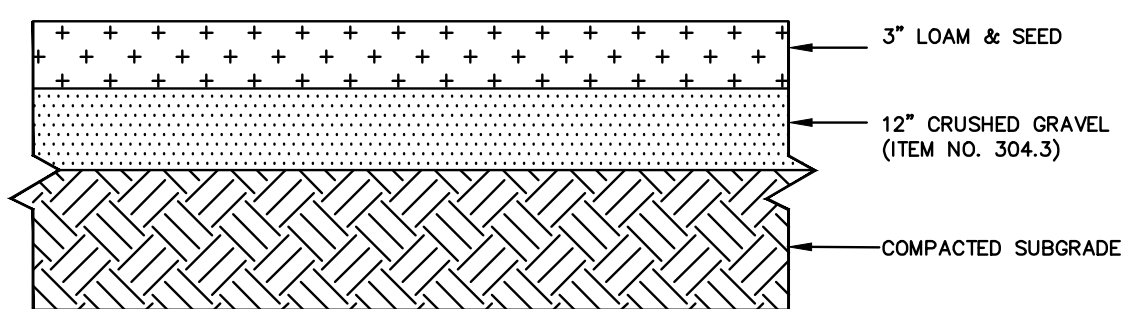
The owner (and all subsequent owners) shall be responsible for the installation of the drainage mitigation system and ongoing maintenance of the system(s). They shall include separate line items for the operation and maintenance of the systems in their yearly budget. Qualified personnel shall perform the required inspections. The responsible party will maintain records of all inspection reports and be accountable for implementation of any maintenance recommendations required by the inspector. All required maintenance shall be performed by a qualified contractor experienced with the particular BMP requiring the maintenance. All Stormwater related items and the respective operation and maintenance requirements for each have been detailed in the subsequent sections of the plan. Copies of maintenance records are to be provided to the Town Public Works on an annual basis.

Proposed Site BMP's

a) Detention Basin

Inspect soil and repair eroded areas monthly. Re-mulch void areas as needed. Remove litter and debris monthly. Treat diseased vegetation as needed. Remove and replace dead vegetation twice per year (spring and fall).

Basin Maintenance Schedule		
Activity	Time of Year	Frequency
Inspect & remove trash	Year round	Monthly
Mulch	Spring	Annually
Remove dead vegetation	Fall or Spring	Annually
Replace dead vegetation	Spring	Annually
Replace entire media & all vegetation	Late Spring/early Summer	As needed



TYPICAL MAINTENANCE ACCESS PATH SECTION DETAIL
NOT TO SCALE

Stormwater Inspection Report

Project Name _____ Location _____
 Date of Inspection _____ Start/End _____
 Inspector's Name(s) _____
 Inspector's Title(s) _____
 Inspector's Contact Info _____
 Type of Inspection _____
 Regular Pre-storm event During storm event Post-storm event
 Do you suspect that discharges may have occurred since the last inspection?
 Yes No
 Are there any discharges at the time of inspection?
 Yes No

BMP Description	BMP Installed and Operating Properly?	Corrective Action Needed	Date for corrective action/responsible person
A Detention Basins/Forebay	<input type="checkbox"/> Yes <input type="checkbox"/> No		
• Basin bottom or trench surface clear of debris	<input type="checkbox"/> Yes <input type="checkbox"/> No		
• Inlet/Inflow pipes clear of debris	<input type="checkbox"/> Yes <input type="checkbox"/> No		
• Overflow spillway clear of debris	<input type="checkbox"/> Yes <input type="checkbox"/> No		
• Outlet clear of debris	<input type="checkbox"/> Yes <input type="checkbox"/> No		

Other Comments:

Inspection and Report prepared by:

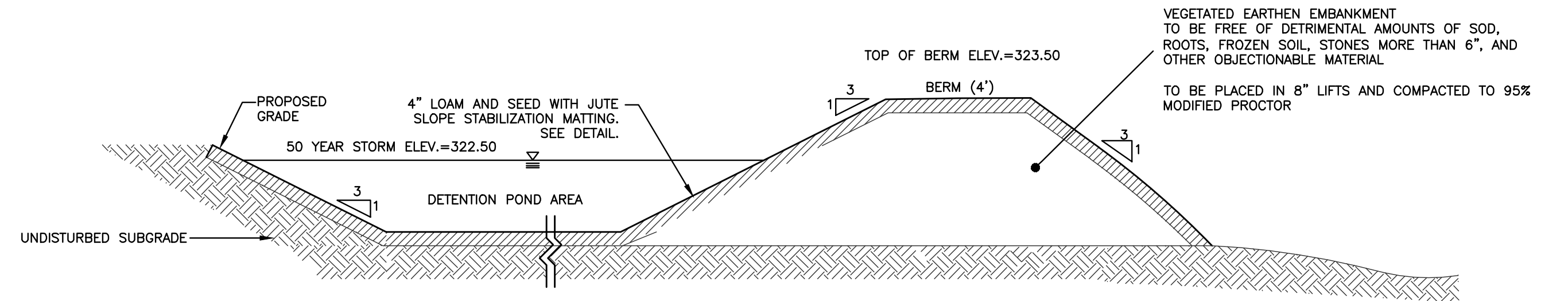
Print name: _____

Signature: _____ Date: _____

Copies to: _____

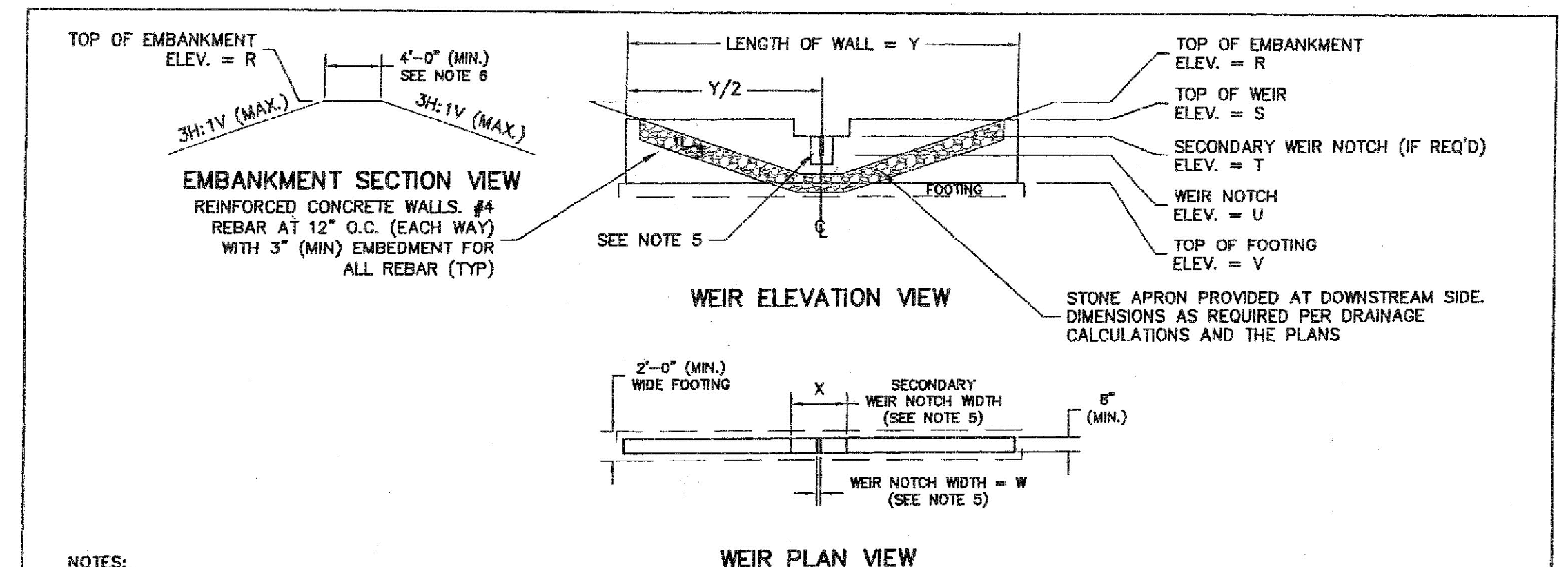
Owner: _____

City: _____



TYPICAL POND SECTION & PRINCIPLE SPILLWAY PROFILE DETAILS
NOT TO SCALE

NOTE:
 THE OWNER (AND ALL SUBSEQUENT OWNERS) SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE DRAINAGE MITIGATION SYSTEM AND ONGOING MAINTENANCE OF THE SYSTEM(S). THEY SHALL INCLUDE SEPARATE LINE ITEMS FOR THE OPERATION AND MAINTENANCE OF THE SYSTEMS IN THEIR YEARLY BUDGET. QUALIFIED PERSONNEL SHALL PERFORM THE REQUIRED INSPECTIONS. THE RESPONSIBLE PARTY WILL MAINTAIN RECORDS OF ALL INSPECTION REPORTS AND BE ACCOUNTABLE FOR IMPLEMENTATION OF ANY MAINTENANCE RECOMMENDATIONS REQUIRED BY THE INSPECTOR. ALL REQUIRED MAINTENANCE SHALL BE PERFORMED BY A QUALIFIED CONTRACTOR EXPERIENCED WITH THE PARTICULAR BMP REQUIRING THE MAINTENANCE. ALL STORMWATER RELATED ITEMS AND THE RESPECTIVE OPERATION AND MAINTENANCE REQUIREMENTS FOR EACH HAVE BEEN DETAILED IN THE SUBSEQUENT SECTIONS OF THE PLAN. COPIES OF MAINTENANCE RECORDS ARE TO BE PROVIDED TO THE TOWN PUBLIC WORKS ON AN ANNUAL BASIS.



NOTES:

- ALL CEMENT CONCRETE TO BE 4000 PSI (MIN).
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INDICATING DESIGN DETAILS AND STEEL REINFORCING PREPARED BY A NEW HAMPSHIRE LICENSED PROFESSIONAL ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- LOW FLOW STRUCTURE CAN BE USED AT DETENTION BASINS WITH INFLOWS OF LESS THAN 3 CFS.
- CONTROL WEIRS SHALL BE CAST IN AS REQUIRED. MINIMUM CONCRETE WEIR WIDTH SHALL BE 2 INCHES.
- CONTROL WEIR(S) SHALL BE SIZED TO MITIGATE DESIGN STORM AS REQUIRED BY THE REGULATIONS AND IN ACCORDANCE WITH THE APPROVED DRAINAGE CALCULATIONS. STAINLESS STEEL PLATE SHALL BE USED FOR CONTROL WEIR LESS THAN 2 INCHES ATTACHED PER EXHIBIT D107. STAINLESS STEEL SHALL BE GRADE 316.
- MINIMUM EMBANKMENT ELEVATION TO BE 12" ABOVE 50-YEAR STORM ELEVATION.

LOCATION	ELEVATIONS/DIMENSIONS							
	R	S	T	U	V	W	X	Y
	323.50	322.50	321.00	320.00	365.00	1	2.33	20

*TABLE USES UNITS OF FEET.

TYPICAL LOW FLOW OUTLET STRUCTURE AT DETENTION BASINS

NOT TO SCALE
EXHIBIT D109

DETAIL SHEET -2

TAX MAP 5 LOT 39, 39-5, 40 & 72

ELWOOD ROAD

35 & 54A ELWOOD ROAD & 16 DAN HILL ROAD
LONDONDERRY, NEW HAMPSHIRE

OWNER & APPLICANT:

OWNER: ESTATE OF WAYNE ELWOOD

69 ELWOOD ROAD LONDONDERRY, NH 03053
BOOK 5836 PAGE 375 & BOOK 6612 PAGE 2211

APPLICANT: BELIZE REAL ESTATE HOLDINGS, LLC

74 PAGE ROAD LONDONDERRY, NH 03053

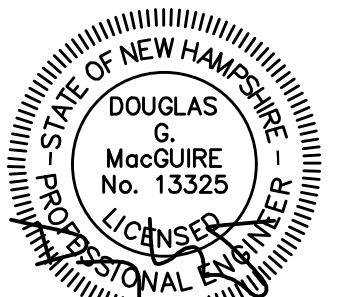
SCALE: AS NOTED

DATE: DEC. 12, 2025

The Dubay Group, Inc.
 136 Harvey Rd. Bldg B101
 Londonderry, NH 03053
 603-458-6462 - www.thedubaygroup.com
 Engineers | Planners | Surveyors

Drawn By: JHD
 Checked By: DGM
 Project: 774
 File: 774-DETAILS

SHEET 42 of 42



NO.	DATE	DESCRIPTION	BY

**LONDONDERRY PLANNING BOARD
SITE PLAN APPLICATION & CHECKLIST**

Planning Department Date Stamp



Design Review

Formal Application

Site Plan Amendment

All information provided and submitted with this Application Checklist shall conform to the Londonderry Site Plan Regulations. Please note that the Planning Board may not accept and consider the application complete if the required items as outlined in the checklist are missing from the submittal.

I. General Information:

A. Project Name: Mack's Apples 6 21
(Map) (Lot)

B. Project Location: 230A Mammoth Road Zone: AR-1

C. Primary Contact: Laura Gandia Phone: (603) 695-8722

Applicant Owner Agent E-Mail: lgandia@devinemillmet.com

D. Applicant's Name: MHO Acquisition, LLC

Address: P.O. Box 202 City: Exeter State: NH Zip: 03833

Phone: _____ Fax: _____ E-Mail: usealpha@gmail.com

Applicant Signature: _____ Date: 12/18/2025

E. Owner's Name: same

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ E-Mail: _____

Owner's Signature: _____ Date: _____

F. Engineer/Surveyor (Firm Name): Brown Engineering

Address: 34 Whittier Highway City: Moultonborough State: NH Zip: 03254

Phone: (603) 744-1044 Fax: _____ E-Mail: kent@brownengineeringllc.com

1) Name of Licensed Land Surveyor:

Signature:

KEVIN FRENCH
Kevin French

2) Name of Licensed Professional Engineer:

Signature:

KENT BROWN
KTB

3) Name of Certified Soil Scientist:

Luke Powell

4) Name of Certified Wetland Scientist:

Luke Powell

5) Name of Licensed Traffic Engineer:

KIM HAZARVATIAN

G. Lot Area (SF) 350,562 Existing Building Footprint (SF): 21,809 Proposed Addition (SF) N/A

Change or Additional Use(s): agritourism

Site Plan Application Checklist

Additional Pavement (SF): N/A Other Modification: N/A

II. General Requirements (All Applications):

	Provided	N/A
1. Executed Site Plan Application Form	<input checked="" type="checkbox"/>	
2. Complete Abutters list, 3 sets mailing labels	<input checked="" type="checkbox"/>	
3. Application Fees	<input checked="" type="checkbox"/>	
4. Four (4) sets of plans and electronic "PDF" plans (See #11)	<input checked="" type="checkbox"/>	
5. Copies of proposed easement deeds, protective covenants or other legal documents	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Waiver request(s) with justifications	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Technical reports and supporting documents (Drainage report, Traffic Study, etc.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Completed Site Plan Application Checklist	<input checked="" type="checkbox"/>	
9.. Escrow Agreement and Fees	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10.. Conditional Use Permit request(s) with justifications per Zoning	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Response Letter to DRC Review and 2 highlighted plans (Plans may substitute for 2 sets required in #4 above)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

III. General Plan Information (All Plans):

	Provided	N/A
1. Size and presentation of sheet(s) per requirements of the site plan regulations	<input checked="" type="checkbox"/>	
2. Title block information:		
a. Drawing title	<input checked="" type="checkbox"/>	
b. Name of site plan	<input checked="" type="checkbox"/>	
c. Location of site plan	<input checked="" type="checkbox"/>	
d. Tax map & lot #s of subject parcel(s)	<input checked="" type="checkbox"/>	
e. Name & address of owner(s)	<input checked="" type="checkbox"/>	
f. Date of plan	<input checked="" type="checkbox"/>	
g. Scale of plan	<input checked="" type="checkbox"/>	
h. Sheet number	<input checked="" type="checkbox"/>	
i. Name, address, & telephone number of design firm	<input checked="" type="checkbox"/>	
j. Name and address of Applicant	<input checked="" type="checkbox"/>	
3. Revision block	<input checked="" type="checkbox"/>	
4. Planning Board approval block provided on appropriate sheets (Cover sheet, site plan, landscape plan only)	<input checked="" type="checkbox"/>	
5. Certification block (for engineer, surveyor, soil scientist, or wetland scientist)	<input checked="" type="checkbox"/>	
6. Match lines (if any)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Site Plan Application Checklist

IV. Master Site Plan Sheet: (Applicant may provide separate Title Sheet)

	Provided	N/A
1. The following notes shall be provided:		
a. Purpose of plan	<input checked="" type="checkbox"/>	
b. Tax map and lot #s of all subject parcels	<input checked="" type="checkbox"/>	
c. Area (existing & proposed) of subject parcel(s)	<input checked="" type="checkbox"/>	
d. Zoning designation of subject parcel(s)	<input checked="" type="checkbox"/>	
e. Min. lot area, frontages & setback dimensions	<input checked="" type="checkbox"/>	
f. Existing and proposed uses	<input checked="" type="checkbox"/>	
g. Parking calculations, as outlined in the Regulations	<input checked="" type="checkbox"/>	
h. % green area, as outlined in the Zoning Ordinance	<input checked="" type="checkbox"/>	
i. % building coverage, as outlined in the Zoning Ordinance	<input checked="" type="checkbox"/>	
j. Sanitary sewer source (name of provider company if offsite)	<input checked="" type="checkbox"/>	
k. Water supply source (name of provider company if offsite)	<input checked="" type="checkbox"/>	
l. Zoning variances/special exceptions with conditions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
m. List FEMA sheet(s) used to identify 100-year flood elevation. (Note if no flood zone present as applicable)	<input checked="" type="checkbox"/>	
n. List of required permits and permit approval numbers	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o. List of Planning Board waivers and Conditional Use Permits with Regulation or Ordinance section reference (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
p. Note identifying which plans are on file at the Town	<input checked="" type="checkbox"/>	<input type="checkbox"/>
q. Note the following: "If, during construction, it becomes apparent that deficiencies exist in the approved design drawings, the Owner shall be required to correct the deficiencies to meet the requirements of the regulations at no expense to the Town."	<input checked="" type="checkbox"/>	<input type="checkbox"/>
r. Note the following: "If, during construction, it becomes apparent that additional erosion control measures are required to stop any erosion on the construction site due to actual site conditions, the Owner shall be required to install the necessary erosion protection at no expense to the Town."	<input checked="" type="checkbox"/>	<input type="checkbox"/>
s. Note the following: "All materials and methods of construction shall conform to Town of Londonderry Site Plan Regulations and the latest edition of the New Hampshire Department of Transportation's Standard Specifications for Road & Bridge Construction."	<input checked="" type="checkbox"/>	<input type="checkbox"/>
t. Note the following: "In accordance with Section 6.01 of the Londonderry Site Plan Regulations and RSA § 676:13, all improvements specified on these site plans shall be constructed, completed, and inspected and approved by the Town of Londonderry prior to the issuance of a certificate of occupancy."	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Site Plan Application Checklist

u.	For sites requiring off-site improvements, note the following: "In accordance with Section 6.01 of the Londonderry Site Plan Regulations and RSA § 676:12, all off-site improvements specified on these site plans shall be constructed, completed, and inspected and approved by the Town of Londonderry (and/or the NHDOT, if applicable) prior to the issuance of a certificate of occupancy."	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2.	Vicinity plan (at a scale of 1"=2500')	<input checked="" type="checkbox"/>	
3.	Plan Index indicating all sheets	<input checked="" type="checkbox"/>	<input type="checkbox"/>
V.	Existing Conditions Plan:	Provided	N/A
1.	Surveyor's certification stamped and signed by LLS	<input checked="" type="checkbox"/>	
2.	Boundary of entire property by metes and bounds	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3.	Boundary monuments:		
	a. Monuments found	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Monuments to be set	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.	Map # and Lot #, name addresses, and zoning of all abutting land owners	<input checked="" type="checkbox"/>	
5.	Existing streets:		
	a. Name labeled	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Status noted or labeled	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	c. Right-of-way dimensioned	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	d. Pavement width dimensioned	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.	Municipal boundaries (if any)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7.	Existing easements (identified by type)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8.	North arrow	<input checked="" type="checkbox"/>	
9.	Locus map (at a scale of 1" = 2,500)	<input checked="" type="checkbox"/>	
10.	Limits of wetlands & CO District Boundary	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11.	Wetland delineation criteria & Certification	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12.	SCS Soils (Boundary & Type)	<input checked="" type="checkbox"/>	
13.	Owner(s) signature(s)	<input checked="" type="checkbox"/>	
14.	All required setbacks (including any applicable buffers)	<input checked="" type="checkbox"/>	
15.	Existing physical features:		
	Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Wells	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Septic systems	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Stone walls	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Paved drives	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Gravel drives	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16.	Location & name (if any) of any streams or waterbodies	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17.	Location & elevation(s) of 100-year flood zone per FEMA Flood Insurance Study or as determined by drainage study	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18.	Location of existing overhead utility lines, poles, towers, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19.	Plan and deed references	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20.	Zoning District boundary lines (if any)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Site Plan Application Checklist

VI. Improvement Plans (Grading Plan, Utility Plan, etc. and Stamped by Engineer Licensed in NH):

	Provided	N/A
1. Grading and Drainage Plan:		
a. Existing topography (two-foot contour interval minimum)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Proposed contours	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Existing spot elevations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Proposed spot elevations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Existing edge of pavement	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Proposed edge of pavement	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Existing curb line	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h. Proposed curb line	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i. Existing buildings and structures	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j. Proposed buildings and structures	<input type="checkbox"/>	<input checked="" type="checkbox"/>
k. Existing retaining walls	<input type="checkbox"/>	<input checked="" type="checkbox"/>
l. Proposed retaining walls	<input type="checkbox"/>	<input checked="" type="checkbox"/>
m. Existing stone walls	<input type="checkbox"/>	<input checked="" type="checkbox"/>
n. Proposed and reconstructed stone walls	<input type="checkbox"/>	<input checked="" type="checkbox"/>
o. Wetland Mapping		
1.) Wetland limits identified	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2.) Impact Area in square feet for each individual location	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.) Mitigation areas (as may be required)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
p. Existing treeline	<input type="checkbox"/>	<input checked="" type="checkbox"/>
q. Proposed treeline	<input type="checkbox"/>	<input checked="" type="checkbox"/>
r. Benchmarks	<input type="checkbox"/>	<input checked="" type="checkbox"/>
s. Existing drainage systems:		
1) Pipes/culverts (each location):		
i. Type	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii. Size	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iii. Length and slope	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iv. Inverts	<input type="checkbox"/>	<input checked="" type="checkbox"/>
v. End sections/Headwalls	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2) Structures (catch basins, drain manholes, special structures):		
i. Location (station and off-set)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii. Type	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iii. Size	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iv. Rim Elevations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
v. Inverts	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3) Swales/Ditches/Waterways:		
i. Flow arrows (direction of flow)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii. Topography	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iii. Spot elevations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
t. Proposed Drainage Systems:		
1) Pipes/culverts (each location):		
i. Type	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii. Size	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iii. Length and slope	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iv. Inverts	<input type="checkbox"/>	<input checked="" type="checkbox"/>
v. End sections/headwalls	<input type="checkbox"/>	<input checked="" type="checkbox"/>
vi. Identify minimum cover and location	<input type="checkbox"/>	<input checked="" type="checkbox"/>
vii. Outlet erosion protection	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Site Plan Application Checklist

		Provided	N/A
2)	Structures (catchbasins, drain manholes, special structures):		
	i. Location (sta. and off-set)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	ii. Type	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	iii. Size	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	iv. Rim elevations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	v. Inverts	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3)	Swales/ditches/waterways:		
	i. Flow arrows (direction of flow)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	ii. Grading	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	iii. Spot elevations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	iv. Erosion protection (riprap, matting, etc.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
u.	Temporary erosion protection during construction:		
	1) Silt fence, haybales, etc.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	2) Matting, mulch, etc.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
v.	Tree protection for existing areas and/or individual trees 15" in diameter or greater	<input type="checkbox"/>	<input checked="" type="checkbox"/>
w.	Plan note stating that the edge of the Conservation Overlay District and Non-Disturbance Zones shall be appropriately delineated in the field prior to construction	<input type="checkbox"/>	<input checked="" type="checkbox"/>

2. Utilities Plan:

		Provided	N/A
a.	Existing sanitary sewer system:		
	1) Pipes:		
	i. Type	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	ii. Size	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	iii. Length and slope	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	2) Structures:		
	i. Location (sta. and off-set)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	ii. Type	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	iii. Size	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	iv. Rim elevations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	v. Inverts	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b.	Proposed sanitary sewer system:		
	1) Pipes (gravity):		
	i. Type	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	ii. Size	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	iii. Length and slope	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	iv. Separation (18" below water)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	v. Identify minimum cover and locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	2) Force Main:		
	i. Type	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	ii. Size	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	iii. Direction of flow (flow arrows)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	iv. Bends and thrust blocking	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	v. Air relief valves and structures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	vi. Clean-out structures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	vii. Identify minimum cover and locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	3) Structures:		
	i. Location (sta. and off-set)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	ii. Type	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	iii. Size	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	iv. Rim elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	v. Inverts	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	4) Service laterals to each individual lot:		
	i. Type	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Site Plan Application Checklist

		Provided	N/A
	ii. Size	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	iii. Length and slope	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	iv. Separation (18" below water)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	v. Minimum cover and locations identified	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	vi. Location of connection	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c.	Existing Water System:		
	1) Pipes:		
	i. Type	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	ii. Size	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	2) Hydrants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	3) Valves	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	4) Bends and thrust blocks	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	5) Tees	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d.	Proposed Water System:		
	1) Pipes:		
	i. Type	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	ii. Size	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	2) Hydrants		
	i. Locations approved by Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	3) Valves	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	4) Bends and thrust blocks	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	5) Tees	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e.	Existing Gas Lines:		
	1) Pipes:		
	i. Type	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	ii. Size	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	2) Valves	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f.	Proposed Gas Lines:		
	1) Pipes:		
	i. Type	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	ii. Size	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	2) Valves	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	3) Services to each lot	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g.	Telephone/Electrical/Cable:		
	1) U-poles	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	2) Pedestals/transformers	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	3) Overhead lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	4) Underground lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	5) Services to each lot	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3.	Roadways: If streets are to be built as part of a site plan (e.g., for a multi-family residential site plan), then the design of such streets shall comply with Section 3.09 of the Londonderry Subdivision Regulations, please see Subdivision Application Checklist.		

VII. Landscape Plan (Section 3.09):

		Provided	N/A
1.	General Information		
a.	Native Plants as suggested by Appendix LS1	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b.	No use of Invasive materials as listed in Appendix LS2	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c.	Plant materials meet winter hardiness requirement	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Site Plan Application Checklist

		Provided	N/A
d.	Proposed materials are of proper caliper or height	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e.	Stone walls incorporated into Landscape Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f.	Existing vegetation preservation (no-cut) areas described by metes and bounds and monumented	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g.	Landscaping Calculations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h.	Plant Schedule	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i.	Landscaping Details	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j.	Tree Protection Detail	<input type="checkbox"/>	<input checked="" type="checkbox"/>
k.	Note on Plan stating No Plant Conflicts with Snow Storage Areas, Light Fixtures, Underground Utilities	<input type="checkbox"/>	<input checked="" type="checkbox"/>
l.	Note on Plan stating No Landscaping Conflicts with Sight Distance	<input type="checkbox"/>	<input checked="" type="checkbox"/>
m.	Submit a Landscape Master Sheet for Review (Landscaping, site features, snow storage, light poles, detention basin edges, grading, utilities)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2.	Parking Lot Landscaping		
a.	Interior landscaping percentage based on Section 3.11e	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b.	Interior shade trees @ 1 per 15 parking spaces	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c.	Perimeter shade trees @ 1 per 20 parking spaces OR 1 per 50 feet of perimeter with buffer required	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d.	Screening provides proper vertical opacity per Section 3.11e	<input type="checkbox"/>	<input checked="" type="checkbox"/>
VIII.	Illumination Plan & Lighting Details (Section 3.13):		
		Provided	N/A
1.	Full Cut-Off Fixtures with plan note stating all lights are full cut-off fixtures as required	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2.	Shielded, downcast building/external signage lighting	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3.	No direct light source at residential property lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.	Plan to scale with illumination levels shown in footcandles	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5.	Specification (details) for all proposed lighting fixtures including photometric data, designation as IESNA "cut-off" fixtures, Color Rendering Index (CRI) of all lamps (bulbs), and other descriptive information about fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.	Proposed mounting height of all exterior lighting fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7.	Illumination levels not to exceed 0.2 footcandles at any property line (Except at driveway intersections per Regulations)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8.	Gas Station Canopies to meet requirements of Appendix Light 2	<input checked="" type="checkbox"/>	<input type="checkbox"/>
IX.	Building Design & Renderings (Section 3.12):		
1.	Building Elevations/Renderings in compliance with Section 3.13	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2.	Signage renderings/details	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3.	Large Retail Establishments - Comply with Section 3.13H	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Site Plan Application Checklist

X. Construction Detail Drawings:

Note: Construction details to conform with NHDOT Standards & Specifications for Roads & Bridges, Town of Londonderry Department of Public Works requirements, and Subdivision & Site Plan Regulations

	Provided	N/A
1. Typical cross-section of pavement	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Typical driveway apron detail	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Curbing detail	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Guardrail detail	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Sidewalk detail	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
6. Traffic signs and pavement markings	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Typical underdrain trench detail	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Drainage structure(s):		
a. Catchbasin (including frame and grate)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Manhole (including frame and cover)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Outlet structure (detention basins)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Headwalls	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Flared end sections	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Outlet protection riprap apron	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Level spreader	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Treatment swale	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. Typical section at detention basin	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Typical pipe trench:		
a. Drainage	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Sewer	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Water	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Utilities	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Sewer structures:		
a. Manholes (including frame and cover, inverts)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Drop manholes	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Special structures (pump stations, blowoffs, etc.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Pipe manhole joint details	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Typical sewer lateral service connection detail	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Project specific sewer details (sleeves, etc.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Typical sewer notes (per NHDES & Sewer Div. requirements)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Hydrant detail	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Thrust block details	<input type="checkbox"/>	<input checked="" type="checkbox"/>
20. Valve box detail	<input type="checkbox"/>	<input checked="" type="checkbox"/>
21. Typical water connection service detail	<input type="checkbox"/>	<input checked="" type="checkbox"/>
22. Erosion control details:		
a. Haybale barriers at waterways	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Silt fence	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Stone check dam	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Stone construction entrance	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Inlet filter basket	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Haybale barrier at catchbasin	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Site Plan Application Checklist

24.	Notes:		
a.	General notes as required by the Department of Public Works	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b.	Construction sequence	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c.	Erosion control notes	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d.	Turf establishment notes	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e.	Sewer construction notes (as required by Sewer Ordinance)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f.	Water system construction notes (as required by local water company)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25.	Tree protection details	<input type="checkbox"/>	<input checked="" type="checkbox"/>
XI.	Supporting Documentation:	Provided	N/A
1.	Traffic Impact Analysis:		
a.	Traffic Impact analysis as required by Section 3.14	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2.	Stormwater management report including the following:		
a.	Table of contents	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b.	Narrative statement (including conclusions)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c.	Summary table comparing existing and post-development conditions	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d.	Summary table of data for each pipe & piping system:		
1.)	Discharge	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2.)	Depth of flow	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.)	Velocity	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e.	Summary table of data for each swale & channel:		
1.)	Discharge	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2.)	Depth of flow	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.)	Velocity	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f.	Project location plan (on USGS quadrangle)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g.	Watershed area plan for existing condition	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h.	Watershed area plan for post-development condition	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i.	Runoff calculations for existing & post-development conditions	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j.	Flood routing calculations for each detention basin	<input type="checkbox"/>	<input checked="" type="checkbox"/>
k.	Design for water quality treatment facilities (level spreaders, treatment swales, etc.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
l.	Riprap design calculations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
m.	Report stamped by licensed professional engineer in NH	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.	Fiscal impact study provided (if required)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.	Off-site improvements:		
a.	Design plans included in the project drawings	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b.	Arrangements and agreements	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c.	Easements	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.	Utility clearance letters (as applicable):		
a.	Electric	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b.	Telephone	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c.	Cable television	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d.	Gas	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e.	Water	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f.	Sewer	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6.	Other project-specific information as required by the Design Review Committee (DRC)	<input type="checkbox"/>	<input checked="" type="checkbox"/>


Site Plan Application Checklist

XII. Required Project Permits (as applicable to applications):


	Provided	N/A	App Submitted
1. NHDES site-specific approval	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. NHDES wetlands permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. NHDES sewer discharge permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. NHDES water supply permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. NHDES dam permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. NHDOT driveway permit	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Londonderry ZBA variance(s)/special exception(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Londonderry sewer discharge permit	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Army Corps of Engineers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Federal Aviation Administration	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Other federal, state or local permits (if applicable) for project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

XIII. Acknowledgment and Signature:


The undersigned acknowledges he/she has read and understands all of the Town's current zoning, subdivision, site plan, and health regulations and requirements for obtaining all required local, state, and federal permits. .



 (Signature of person preparing plans)



 (Name)



 (Title)



 (Date)

MACK'S APPLES FARM MARKET

TAX MAP 6 - LOT 21

230 MAMMOTH ROAD

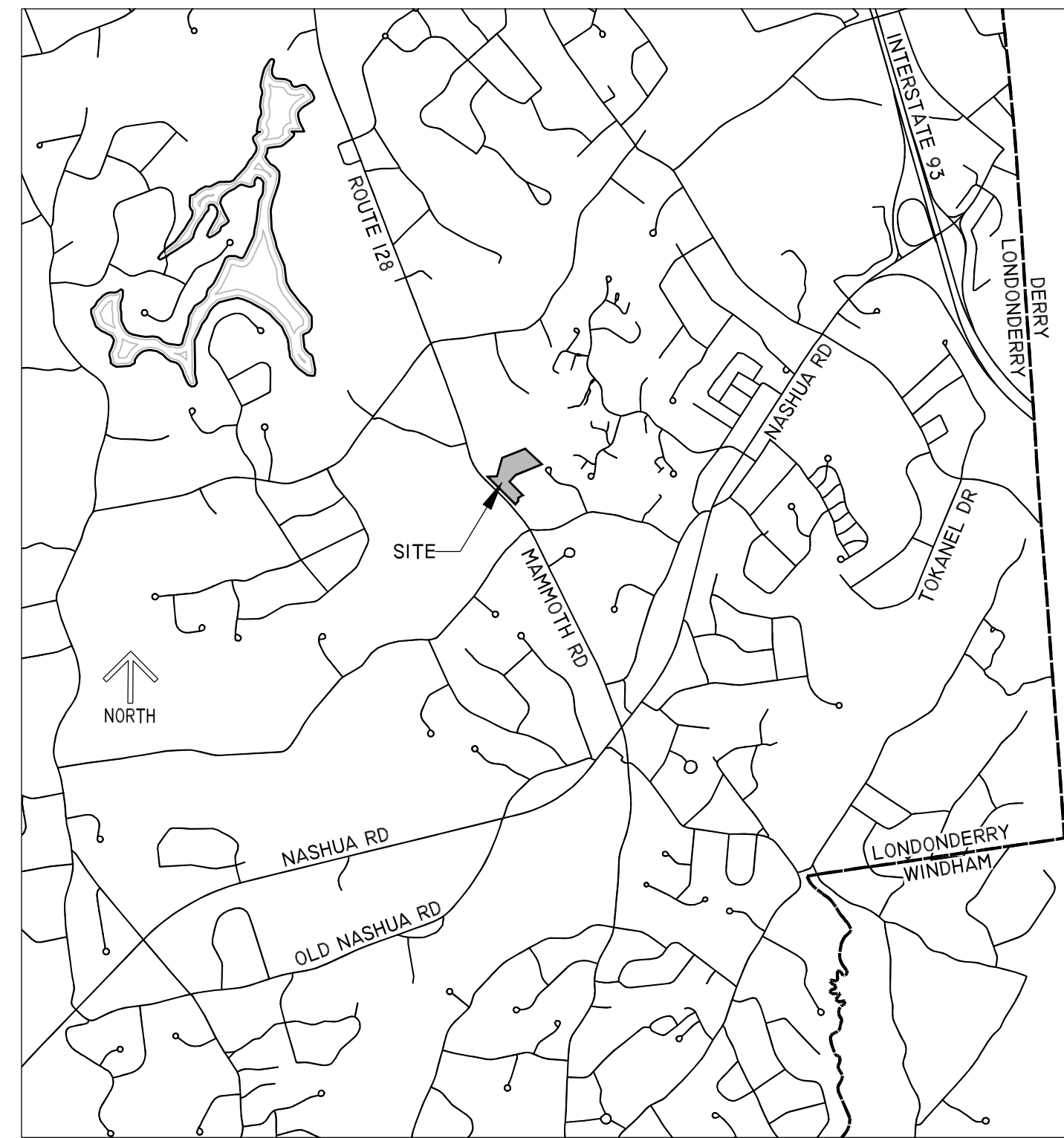
LONDONDERRY, NH 03053

LIST OF DRAWINGS

DWG	SHT NO.	DESCRIPTION
C-1	1 OF 12	COVER SHEET
EB-1	2 OF 12	EXISTING BOUNDARY PLAN
EC-1	3 OF 12	EXISTING CONDITIONS PLAN
SP-1	4 OF 12	PROPOSED SITE PLAN
ED-1	5 OF 12	ENTRANCE DETAIL PLAN
SEP-1	6 OF 12	SEPTIC DESIGN AND UTILITY PLAN
SEP-2	7 OF 12	SEPTIC DESIGN PLAN
LPP-1	8 OF 12	LIGHTING PLAN
MD-1	9 OF 12	MISCELLANEOUS DETAIL SHEET
MD-2	10 OF 12	MISCELLANEOUS DETAIL SHEET
ARCH-1	11 OF 12	FLOOR PLAN OF PROPOSED RESTAURANT
ARCH-2	12 OF 12	ELEVATION PROPOSED RESTAURANT

SYMBOLS LEGEND

	EXISTING PROPERTY LINE		PROPOSED 2 FOOT CONTOUR
	EXISTING ABUTTERS PROPERTY LINE		PROPOSED 10 FOOT CONTOUR
	EXISTING EASEMENT LINE		PROPOSED 1 FOOT CONTOUR
	EXISTING PROPERTY SETBACK LINE		PROPOSED SPOT GRADE
	EXISTING 2 FOOT CONTOUR		PROPOSED BUILDING
	EXISTING 10 FOOT CONTOUR		PROPOSED WATER LINE
	EXISTING SOIL DELINEATION LINE		PROPOSED SEPTIC-MAIN LINE
	EXISTING FENCE LINE		PROPOSED FORCE-MAIN LINE
	EXISTING STONE WALL		PROPOSED DRAIN LINE
	EXISTING TREE LINE		PROPOSED ROOF DRAIN
	EXISTING WATER LINE		PROPOSED UNDER DRAIN
	EXISTING SEWER LINE		PROPOSED GAS LINE
	EXISTING SEWER SERVICE W. CLEAN OUT		PROPOSED OVERHEAD ELECTRIC
	EXISTING DRAIN LINE		PROPOSED OVERHEAD ELECTRIC
	EXISTING GAS LINE		PROPOSED LIGHTING UNITS
	EXISTING ELECTRIC LINE		PROPOSED DRAIN MANHOLE
	EXISTING OVERHEAD ELECTRIC		PROPOSED CATCH BASIN
	EXISTING WETLAND BOUNDARY		PROPOSED DRAINAGE OUTLET STRUCTURE
	EXISTING BUILDING		PROPOSED SEWER MANHOLE
	EXISTING GRAVEL DRIVEWAY		PROPOSED WATER GATE VALVE
	EXISTING PICNIC TABLE		PROPOSED WELL
	EXISTING DRAIN MANHOLE		PROPOSED GAS GATE VALVE
	EXISTING CATCH BASIN		PROPOSED FES WITH RIP-RAP OUTLET PROTECTION
	EXISTING SEWER MANHOLE		STONE BOUND TO BE SET
	EXISTING WATER GATE VALVE		RE-BAR TO BE SET
	EXISTING FIRE HYDRANT		PROPOSED LIGHT POLE
	EXISTING WELL		PROPOSED DRAINAGE FLOW ARROWS
	EXISTING GAS GATE		PROPOSED PAVEMENT
	EXISTING TREE AND CALIPER		PROPOSED DREDGE AND FILL PERM. DISTURBANCE
	EXISTING LIGHT POLE		PROPOSED DREDGE AND FILL TEMP. DISTURBANCE
	EXISTING POWER POLE		
	TEMPORARY BENCH MARK (TBM)		
	TEST PIT LOCATION (TP)		
	STONE BOUND FOUND (SBF)		
	DRILL HOLE FOUND (DHF)		
	IRON PIPE FOUND (IPF)		
	RE-BAR FOUND (RBF)		
	PHOTO NUMBER AND DIRECTION		



VICINITY MAP
SCALE 1" = 2500'

OWNER / APPLICANT:

MHO ACQUISITION LLC.
230 MAMMOTH ROAD
LONDONDERRY, NH 03053

PROFESSIONAL CONSULTANTS LIST

ENGINEER:	BROWN ENGINEERING, LLC 34 WHITTIER HIGHWAY MOULTONBOROUGH, NH 03254 OFFICE PHONE - 603-744-1044
SURVEYOR:	FRENCH LAND SERVICES INC. 581 SCHOOL STREET RUMNEY, NH 03266 OFFICE PHONE - 603786-9790
SOIL SCIENTIST & WETLAND SCIENTIST:	POWELL ASSET MAPPING, LLC 234 CRYSTAL LAKE ROAD GILMINTON IRON WORKS, NH 03837 OFFICE PHONE - 603-364-0136

INITIAL PLAN SET SUBMISSION DATE

DECEMBER 18, 2025

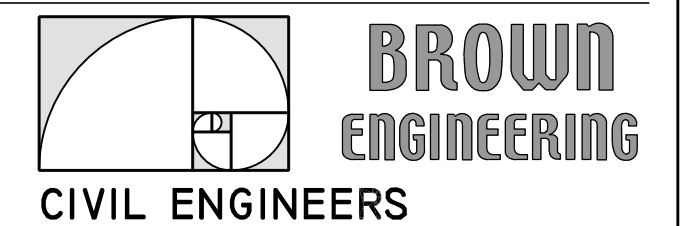
LATEST REVISION DATE:

NO.	DATE	DESCRIPTION	BY

APPROVED BY THE LONDONDERRY, NH PLANNING BOARD
ON DATE: _____
CERTIFIED BY: _____

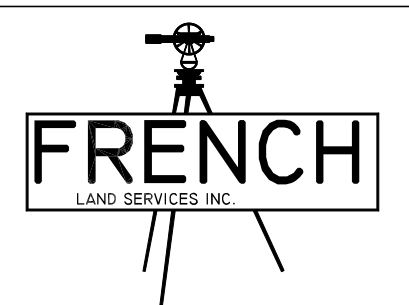
PREPARED BY:

BROWN ENGINEERING LLC
34 WHITTIER HIGHWAY
MOULTONBOROUGH, NH 03254
TEL: (603) 744-1044
WWW.BROWNEENGINEERINGLLC.COM



FRENCH LAND SERVICES INC.

581 SCHOOL STREET
RUMNEY, N.H. 03266
TEL: (603) 786-9790
FRENCH@WORLD.PATH.NET



CS-1
1 OF 12

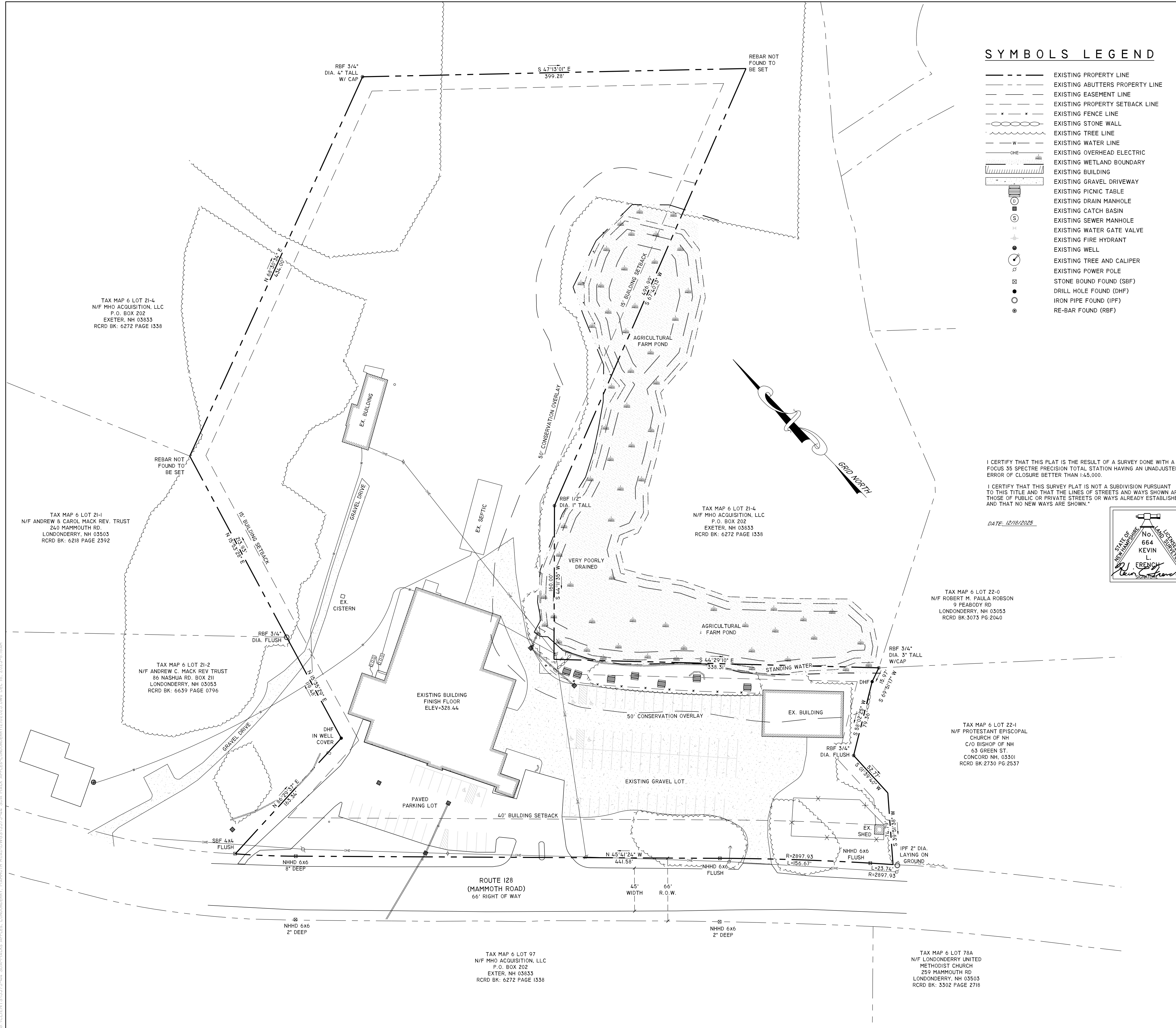
CONTACT DIG SAFE 72 HOURS
PRIOR TO CONSTRUCTION

THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. BROWN ENGINEERING, LLC MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ANY UTILITIES WHETHER THEY BE ABOVE OR BELOW GROUND. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233).

NOTE:

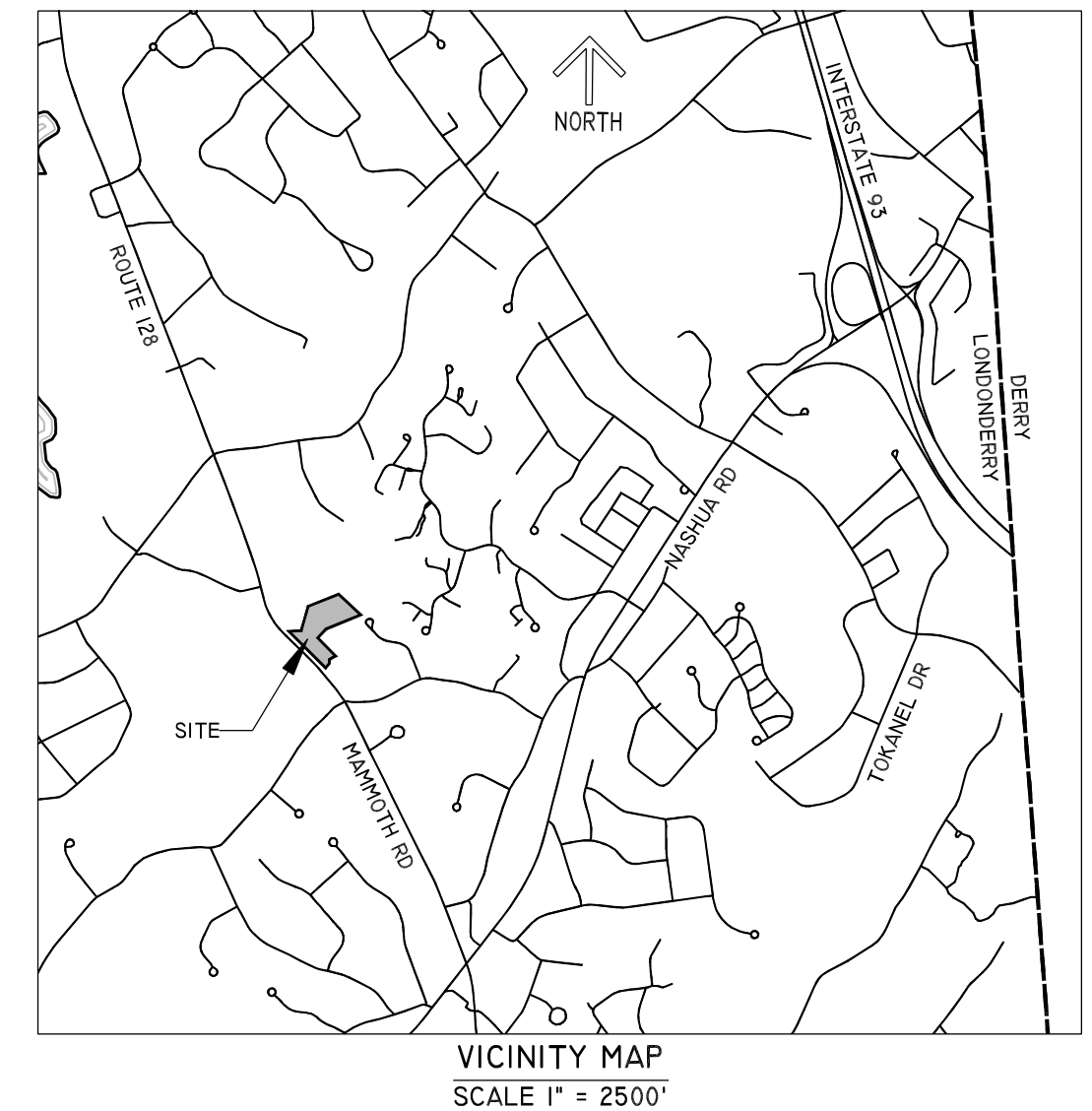
ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE TOWN OF LONDONDERRY REGULATIONS AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.





SYMBOLS LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING ABUTTERS PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - EXISTING PROPERTY SETBACK LINE
- - - EXISTING FENCE LINE
- - - EXISTING STONE WALL
- - - EXISTING TREE LINE
- - - EXISTING WATER LINE
- - - EXISTING OVERHEAD ELECTRIC
- - - EXISTING WETLAND BOUNDARY
- - - EXISTING BUILDING
- - - EXISTING GRAVEL DRIVEWAY
- - - EXISTING PICNIC TABLE
- - - EXISTING DRAIN MANHOLE
- - - EXISTING CATCH BASIN
- - - EXISTING SEWER MANHOLE
- - - EXISTING WATER GATE VALVE
- - - EXISTING FIRE HYDRANT
- - - EXISTING WELL
- - - EXISTING TREE AND CALIPER
- - - EXISTING POWER POLE
- - - STONE BOUND FOUND (SBF)
- - - DRILL HOLE FOUND (DHF)
- - - IRON PIPE FOUND (IPF)
- - - RE-BAR FOUND (RFB)



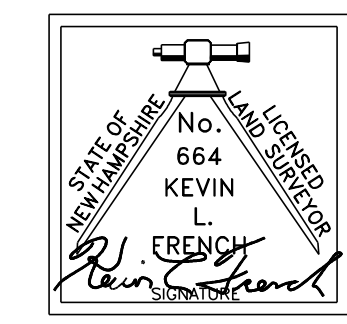
GENERAL NOTES:

1. THE PROPERTY IS DESIGNATED TAX MAP 6 LOT 21. THE PROPERTY IS 8.04 ACRES IN SIZE. THE OWNER OF RECORD IS: MHO ACQUISITION LLC, 230 MAMMOTH ROAD, LONDONDERRY, NH 03053, BOOK 6272 PAGE 1338 ROCKINGHAM COUNTY
2. THE PROPERTY IS ZONED AGRICULTURAL RESIDENTIAL (AR-1).
3. EXISTING USE IS AGRICULTURAL AND PROPOSED USE IS AGRICULTURAL.
4. TOWN OF LONDONDERRY BUILDING SETBACKS: 40' FRONT, 15' SIDE YARD, 15' REAR, 35' BUILDING HEIGHT
5. TOPOGRAPHY SHOWN IN PLAN IS A MIXTURE OF ON GROUND TOPO BY BROWN ENGINEERING LLC, AND LIDAR FROM FLIGHTS PROVIDED BY EARTH SYSTEMS RESEARCH CENTER, INSTITUTE FOR THE STUDY OF EARTH OCEANS AND SPACE, & UNIVERSITY OF NEW HAMPSHIRE. DATUM IS BASED ON NAD 1983.
6. NO PORTION OF THE SUBJECT PARCEL IS IN THE FLOODPLAIN PER FEMA PANEL # 33015C0526E.
7. ABUTTING PARCELS PROPERTY LINES ARE BASED ON TAX MAP INFORMATION AND ARE APPROXIMATE.
8. BOUNDARY INFORMATION DEPICTED IS FROM FIELD LOCATION OF MONUMENTS AND DEPENDENT UPON A PLAN ENTITLED "TAX MAP 6 LOT 21 SUBDIVISION PLAN PREPARED FOR MOOSE HILL ORCHARDS, INC. LAND OF MOOSE HILL ORCHARDS, INC. 230 MAMMOTH RD., LONDONDERRY, NH SCALE: 1"=50' DATE: OCTOBER 2, 1998 SHEETS 1 THROUGH 5 REVISED 5/8/99, 2/8/99 BY BEDFORD DESIGN CONSULTANTS" RECORDED IN RCRD PLAN #D-27284.
9. BEARINGS ESTABLISHED USING GPS OBSERVATIONS PERFORMED MAY 2025.

I CERTIFY THAT THIS PLAT IS THE RESULT OF A SURVEY DONE WITH A FOCUS 35 SPECTRE PRECISION TOTAL STATION HAVING AN UNADJUSTED ERROR OF CLOSURE BETTER THAN 1:45,000.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

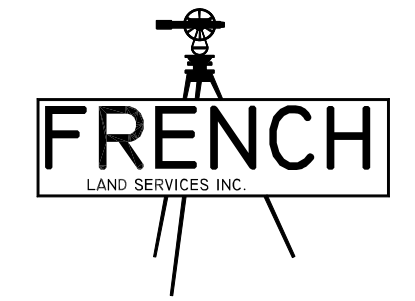
DATE: 12/18/2025



PLANS OF REFERENCE:

1. PLAN ENTITLED "TAX MAP 6 LOT 21 SUBDIVISION PLAN PREPARED FOR MOOSE HILL ORCHARDS, INC. LAND OF MOOSE HILL ORCHARDS, INC. 230 MAMMOTH RD., LONDONDERRY, NH SCALE: 1"=50' DATE: OCTOBER 2, 1998 SHEETS 1 THRU 5 REVISED 5/8/99, 2/8/99 BY BEDFORD DESIGN CONSULTANTS" RECORDED IN RCRD PLAN #D-27284.

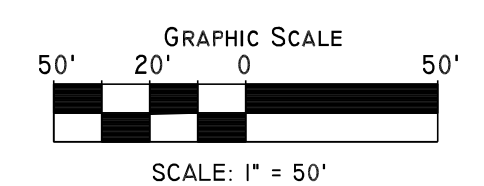
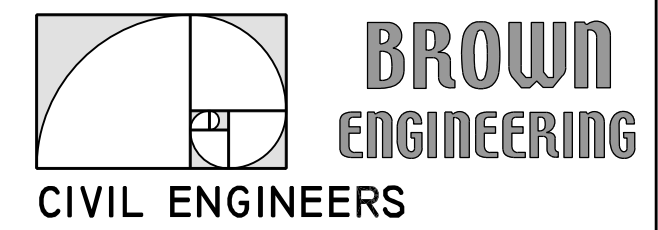
FRENCH LAND SERVICES INC.
 581 SCHOOL STREET
 RUMNEY, N.H. 03266
 TEL: (603) 786-9790
 FRENCHLS@WORLDPATH.NET



MACK'S APPLES FARM MARKET
EXISTING BOUNDARY PLAN
 TAX MAP 6 LOT 21
 230 MAMMOTH ROAD, LONDONDERRY, NH 03053

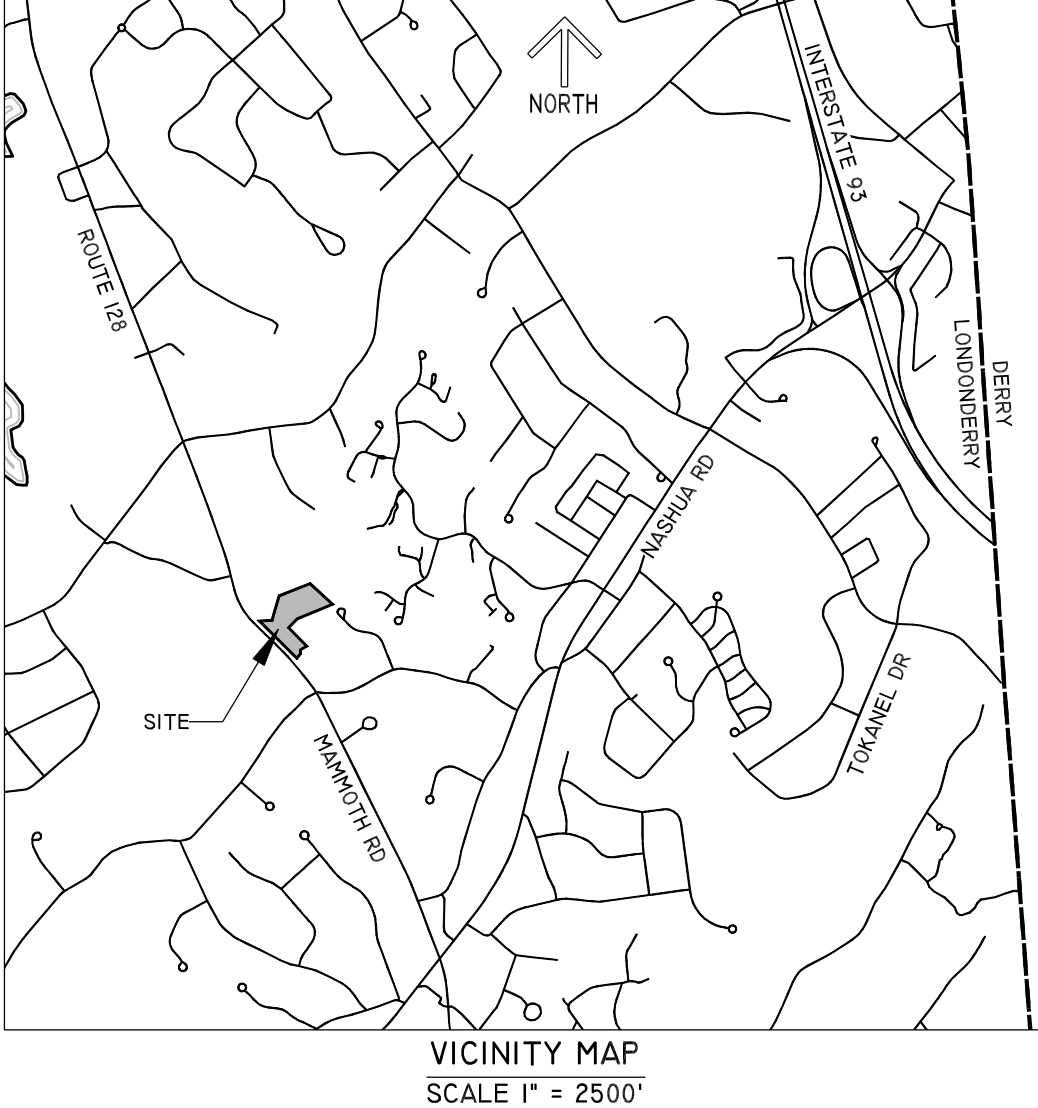
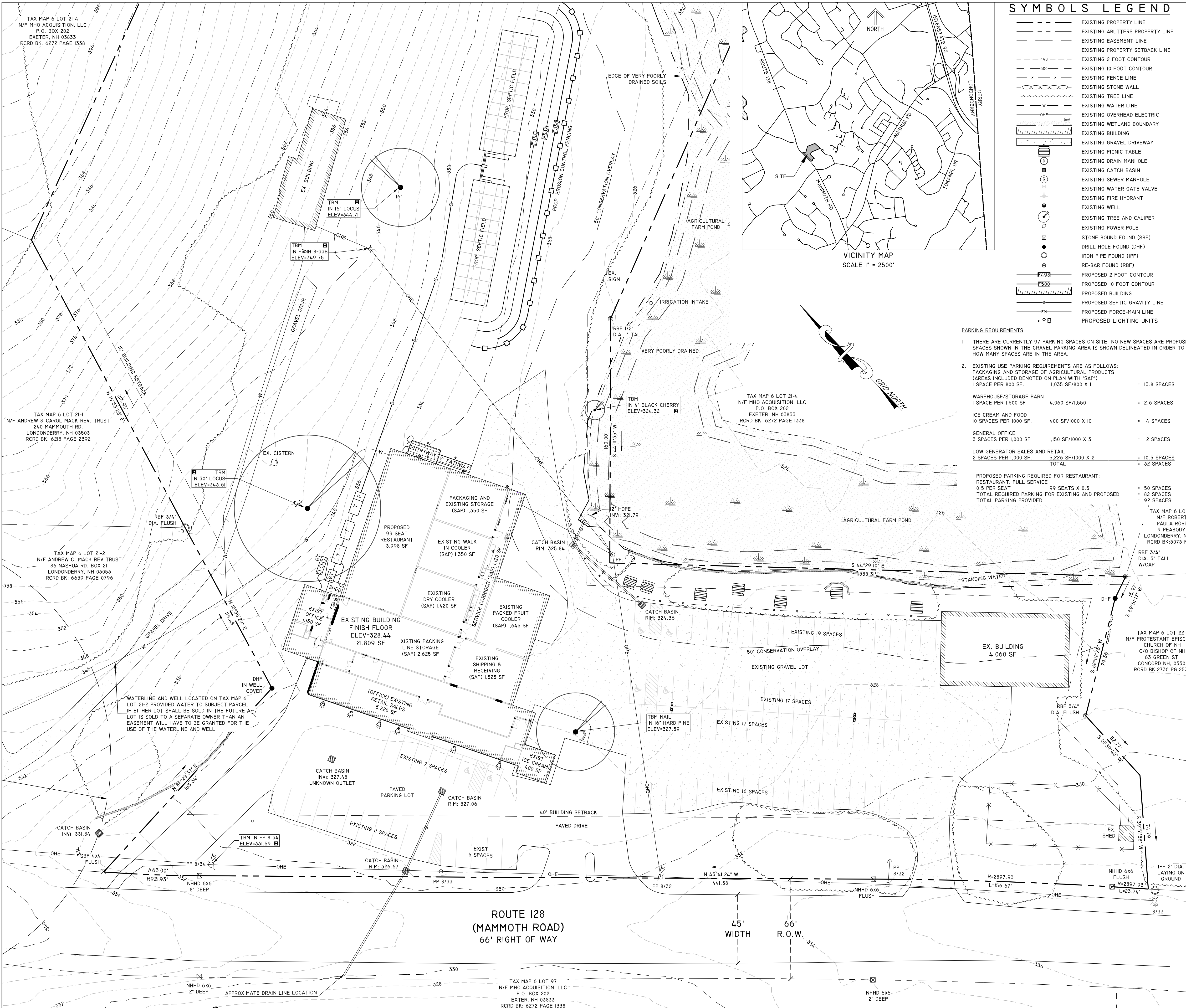
PREPARED FOR:
 MHO ACQUISITION LLC,
 230 MAMMOTH ROAD,
 LONDONDERRY, NH 03053
 BOOK 6272 PAGE 1338

PREPARED BY:
BROWN ENGINEERING LLC
 34 WHITTIER HIGHWAY
 MOULTONBOROUGH, NH 03254
 TEL: (603) 744-1044
 WWW.BROWNEENGINEERINGLLC.COM



REV.	DATE	DESCRIPTION	BY

DATE: 12-18-2025
 JOB NO: 5375-44



SYMBOLS LEGEND

- EXISTING PROPERTY LINE
- EXISTING ADJUTERS PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING PROPERTY SETBACK LINE
- - - EXISTING 2 FOOT CONTOUR
- - - EXISTING 10 FOOT CONTOUR
- - - EXISTING 20 FOOT CONTOUR
- - - EXISTING FENCE LINE
- - - EXISTING STONE WALL
- - - EXISTING TREE LINE
- - - EXISTING WATER LINE
- - - EXISTING OVERHEAD ELECTRIC
- - - EXISTING WETLAND BOUNDARY
- ▭ EXISTING BUILDING
- ▭ EXISTING GRAVEL DRIVEWAY
- ▭ EXISTING PICNIC TABLE
- ▭ EXISTING DRAIN MANHOLE
- ▭ EXISTING CATCH BASIN
- ▭ EXISTING SEWER MANHOLE
- ▭ EXISTING WATER GATE VALVE
- ▭ EXISTING FIRE HYDRANT
- ▭ EXISTING WELL
- ▭ EXISTING TREE AND CALIPER
- ▭ EXISTING POWER POLE
- ▭ STONE BOUND FOUND (SBF)
- ▭ DRILL HOLE FOUND (DHF)
- ▭ IRON PIPE FOUND (IPF)
- ▭ RE-BAR FOUND (RBF)
- ▭ PROPOSED 2 FOOT CONTOUR
- ▭ PROPOSED 10 FOOT CONTOUR
- ▭ PROPOSED BUILDING
- ▭ PROPOSED SEPTIC GRAVITY LINE
- ▭ PROPOSED FORCE-MAIN LINE
- ▭ PROPOSED LIGHTING UNITS

PARKING REQUIREMENTS

- THERE ARE CURRENTLY 97 PARKING SPACES ON SITE. NO NEW SPACES ARE PROPOSED. THE SPACES SHOWN IN THE GRAVEL PARKING AREA IS SHOWN DELINEATED IN ORDER TO SHOW HOW MANY SPACES ARE IN THE AREA.
- EXISTING USE PARKING REQUIREMENTS ARE AS FOLLOWS:

WAREHOUSE/STORAGE BARN	1 SPACE PER 1,500 SF	4,060 SF/1,500	= 2.6 SPACES
ICE CREAM AND FOOD	10 SPACES PER 1000 SF	400 SF/1000 X 10	= 4 SPACES
GENERAL OFFICE	3 SPACES PER 1,000 SF	1,150 SF/1000 X 3	= 2 SPACES
LOW GENERATOR SALES AND RETAIL	2 SPACES PER 1,000 SF	5,226 SF/1000 X 2	= 10.5 SPACES
TOTAL			= 32 SPACES

- PROPOSED PARKING REQUIRED FOR RESTAURANT:
- | | | |
|--------------------------------------------------|----------------|-------------|
| RESTAURANT, FULL SERVICE | 99 SEATS X 0.5 | = 50 SPACES |
| 0.5 PER SEAT | | = 82 SPACES |
| TOTAL REQUIRED PARKING FOR EXISTING AND PROPOSED | | = 92 SPACES |
| TOTAL PARKING PROVIDED | | = 92 SPACES |

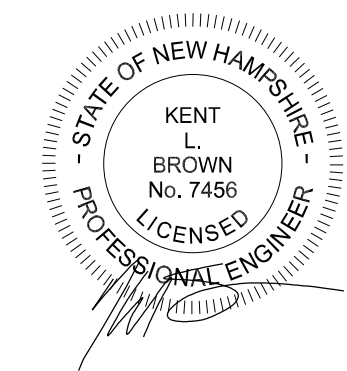
GENERAL NOTES:

- THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING AND PROPOSED CONDITIONS OF THE SITE.
- THE PROPERTY IS DESIGNATED TAX MAP 6 LOT 21.
- THE AREA OF THE EXISTING PROPERTY IS 350,562 SF, 8.0+ ACRES
- THE ZONING DESIGNATION FOR THE PROPERTY IS AGRICULTURAL-RESIDENTIAL (AR-I).
- THE MINIMUM LOT AREA REQUIRED + ACRES (SEE ZONING BELOW)

MIN. FRONTAGE	= 50'
MIN. BUILDING SEPARATION	= 40'
MIN. CONSERVATION OVERLAY	= 50'
MIN. FRONT SETBACK	= 40'
MIN. SIDE SETBACK	= 15'
MIN. REAR SETBACK	= 15'
MIN. WETLAND BUFFER	= 50'
MIN. STREAM BUFFER	= 100'
- ELEVATIONS AND COORDINATES ARE BASED ON STATE PLANE COORDINATES FROM A SOLUTION GENERATED BY NGS OPUS ON MAY, 5, 2025 FROM DATA COLLECTED BY THIS OFFICE ON MAY 5, 2025. THE OPUS SOLUTION IS BASED ON THE NAD 83 (2011) REF. FRAME AND THE NAVD 88.
- THE EXISTING USE FOR THE SITE IS AGRI-TOURISM. THE PROPOSED USE OF THE LOT IS TO CONTINUE TO BE AGRI-TOURISM.
- THE PROPOSED WORK ASSOCIATED WITH THIS PLAN DOES NOT INCLUDE THE ADDITION OF ANY ADDITIONAL IMPERVIOUS AREAS OR CHANGE IN DIRECTION OF FLOW. THE PROPOSED WORK WILL NOT ALTER THE EXISTING DRAINAGE AND THERE WILL BE NO ADVERSE IMPACT TO ADJUTING PROPERTIES.
- SEPTIC WILL BE PROVIDED ON THE LOT. NHDES SUBSURFACE APPROVAL FOR THE REVISED SEPTIC IS PENDING.
- WATER TO BE PROVIDED BY A WELL LOCATED ON TAX MAP 6 LOT 21-2. TAX MAP 6 LOT 21 AND TAX MAP 6 LOT 21-2 ARE CURRENTLY OWNED BY THE SAME OWNER. IF IN THE FUTURE A LOT IS SOLD TO A SEPARATE OWNER THAN AN EASEMENT WILL HAVE TO BE GRANTED FOR THE USE OF THE WATERLINE AND WELL.
- NO PORTION OF THE SUBJECT PARCEL IS IN THE FLOODPLAIN PER FEMA PANEL #3301050526E
- THE SITE PLAN SP-I WILL BE RECORDED WITH THE TOWN OF LONDONDERRY.
- ALL MONUMENTS HAVE BEEN SET IN ACCORDANCE WITH THESE REGULATIONS. ANY MONUMENTS THAT ARE NOT SET PRIOR TO APPROVAL BY THE PLANNING BOARD AS A PART OF THE CONDITIONS OF APPROVAL AND MARKED ON THE PLANS AS "TO BE SET".
- IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
- IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF LONDONDERRY SITE PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
- IN ACCORDANCE WITH SECTION 6.01 OF THE LONDONDERRY SITE PLAN REGULATIONS AND RSA 6676:13, ALL IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, AND INSPECTED AND APPROVED BY THE TOWN OF LONDONDERRY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- IN ACCORDANCE WITH SECTION 6.01 OF THE LONDONDERRY SITE PLAN REGULATIONS AND RSA 676:12, ALL OFF-SITE IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, AND INSPECTED AND APPROVED BY THE TOWN OF LONDONDERRY (AND/OR THE NHDOT, IF APPLICABLE) PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WAIVERS REQUESTED PER RSA 674-32: C, II:
 - V.IO LIMITS OF WETLANDS & CO DISTRICT BOUNDARY AND SECTION 5.06
 - LANDSCAPE PLAN
 - 2 STORMWATER MANAGEMENT REPORT
 - 30% PARKING DESIGN & CONSTRUCTION STANDARDS (PLEASE NOTE THAT THE APPLICANT WILL BE PROCEEDING UNDER SECTION V TOP ALLOW THE EXISTING GRAVEL PARKING AREA TO REMAIN AS IS)
- LISTED BELOW ARE PREVIOUSLY PROPOSED VARIANCES/SPECIAL EXCEPTIONS

DATE	REQUESTER	VARIANCE/SPECIAL EXCEPTIONS	RESPONSE
11/20/1973-5	MOOSE HILL ORCHARD INC.	VARIANCE FOR NON-ACCESSORY SIGN.	GRANTED PENDING TOWN MEETING
10/18/1973-3	MOOSE HILL ORCHARD INC.	VARIANCE TO ERECT SIGN, 72 SQ. FT. ON EXISTING WALL OF RETAIL MARKET	DENIED
08/15/1989-5	MOOSE HILL ORCHARD INC.	VARIANCE TO OPERATE RETAIL ICE CREAM STAND TO SELL ICE CREAM RELATED PRODUCTS AND STEAMED HOT DOGS, WHICH IS A COMMERCIAL USE IN AR-I ZONE.	DENIED
04/16/1991-3	MOOSE HILL ORCHARD INC.	SPECIAL EXCEPTION TO PERMIT RETAIL SALE OF NON-FARM GROWN PRODUCT AS PRESENTED	GRANTED W/ RESTRICTIONS: SALE OF ICE CREAM ONLY
08/18/2021-3	KYLE CHRISTENSEN	REQUEST FOR A SPECIAL EXCEPTION PURSUANT TO LZO 5.13 FOR FARM RETAIL SALE OF CONSUMABLE NON-FARM PRODUCTS, HOT DOGS, AND TO EXTEND THE SELLING OF ICE CREAM TO THE END OF OCTOBER	GRANTED W/ CONDITIONS
04/20/2022-1	MOOSE HILL ORCHARD, LLC/ KYLE CHRISTENSEN	REQUEST FOR SPECIAL EXCEPTION PURSUANT TO LZO 5.13 FOR THE FARM SALE OF CONSUMABLE NON-FARM PRODUCTS	GRANTED W/ CONDITIONS

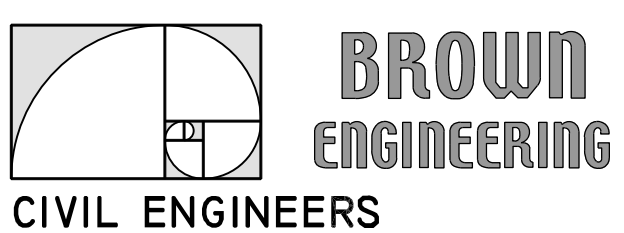
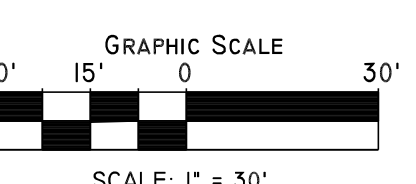
APPROVED BY THE LONDONDERRY, NH PLANNING BOARD
 ON DATE: _____
 CERTIFIED BY: _____



MACK'S APPLES FARM MARKET
PROPOSED SITE PLAN
 TAX MAP 6 LOT 21
 230 MAMMOTH ROAD, LONDONDERRY, NH 03053

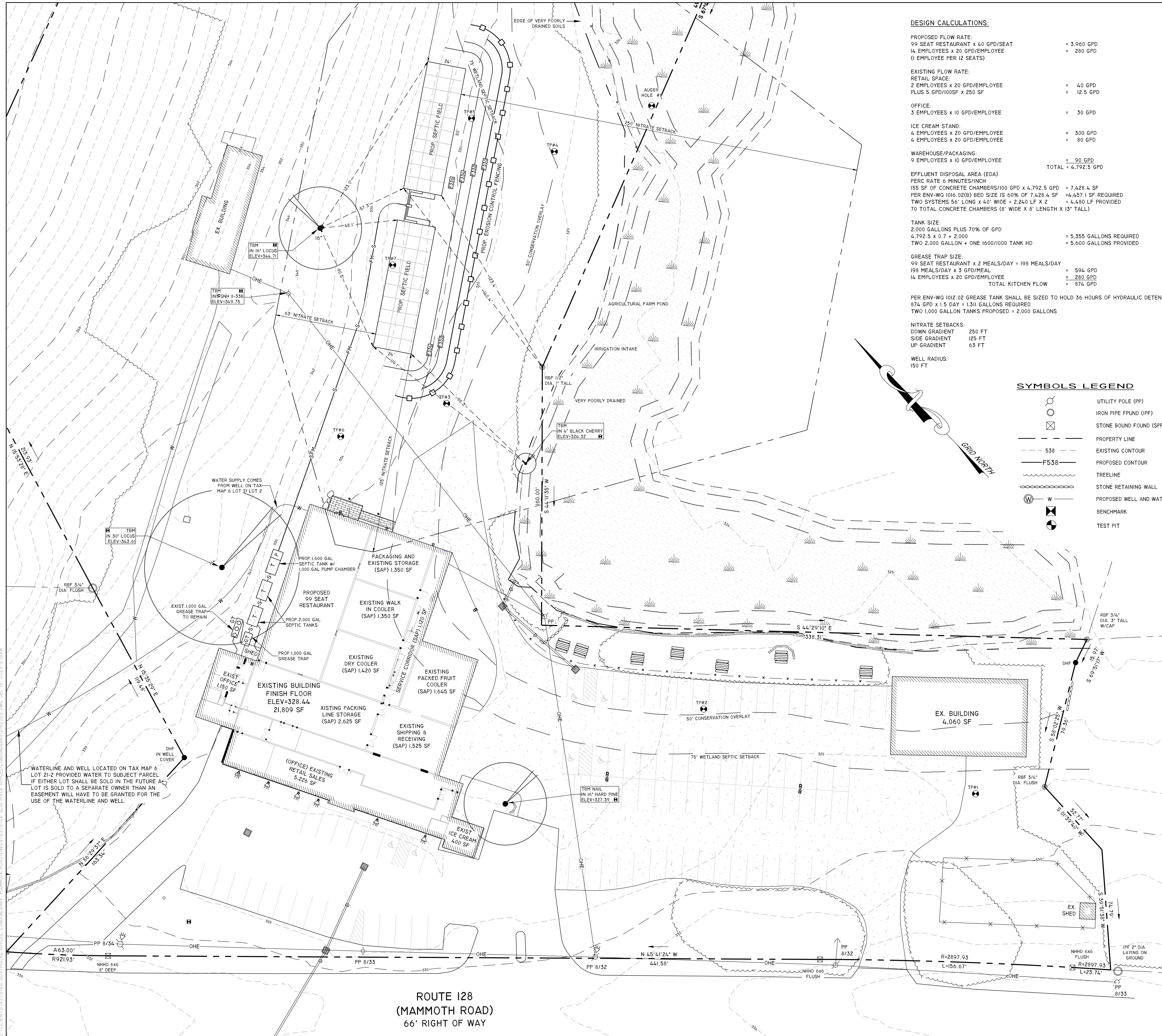
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DATE: 12-18-2025
 JOB NO: 5375-44

REV.	DATE	DESCRIPTION	BY



DESIGN CALCULATIONS:

PROPOSED FLOW RATE:
 99 SEAT RESTAURANT x 4.0 GPD/SEAT = 3,960 GPD
 14 EMPLOYEES x 20 GPD/EMPLOYEE = 280 GPD
 (1 EMPLOYEE PER 12 SEATS)

EXISTING FLOW RATE:
 RETAIL SPACE:
 2 EMPLOYEES x 20 GPD/EMPLOYEE = 40 GPD
 PLUS 5 GPD/100SF x 250 SF = 12.5 GPD

OFFICE:
 3 EMPLOYEES x 10 GPD/EMPLOYEE = 30 GPD

ICE CREAM STAND:
 4 EMPLOYEES x 20 GPD/EMPLOYEE = 80 GPD
 4 EMPLOYEES x 20 GPD/EMPLOYEE = 80 GPD

WAREHOUSE/PACKAGING:
 9 EMPLOYEES x 10 GPD/EMPLOYEE = 90 GPD
 TOTAL = 4,792.5 GPD

EFFLUENT DISPOSAL AREA (EDA)
 PERC RATE 6 MINUTES/INCH
 155 SF OF CONCRETE CHAMBERS/100 GPD x 4,792.5 GPD = 7,428.4 SF
 PER ENV-WQ 101.02(B) BED SIZE IS 60% OF 7,428.4 SF = 4,457.1 SF REQUIRED
 TWO SYSTEMS 56' LONG x 4.0' WIDE = 2,240 LF x 2 = 4,480 LF PROVIDED
 70 TOTAL CONCRETE CHAMBERS (8' WIDE x 8' LENGTH x 13' TALL)

TANK SIZE:
 2,000 GALLONS PLUS 70% OF GPD
 4,792.5 x 0.7 + 2,000 = 5,355 GALLONS REQUIRED
 TWO 2,000 GALLON + ONE 1600/1000 TANK HD = 5,600 GALLONS PROVIDED

GREASE TRAP SIZE:
 99 SEAT RESTAURANT x 2 MEALS/DAY = 198 MEALS/DAY
 198 MEALS/DAY x 3 GPD/MEAL = 594 GPD
 14 EMPLOYEES x 20 GPD/EMPLOYEE = 280 GPD
 TOTAL KITCHEN FLOW = 874 GPD

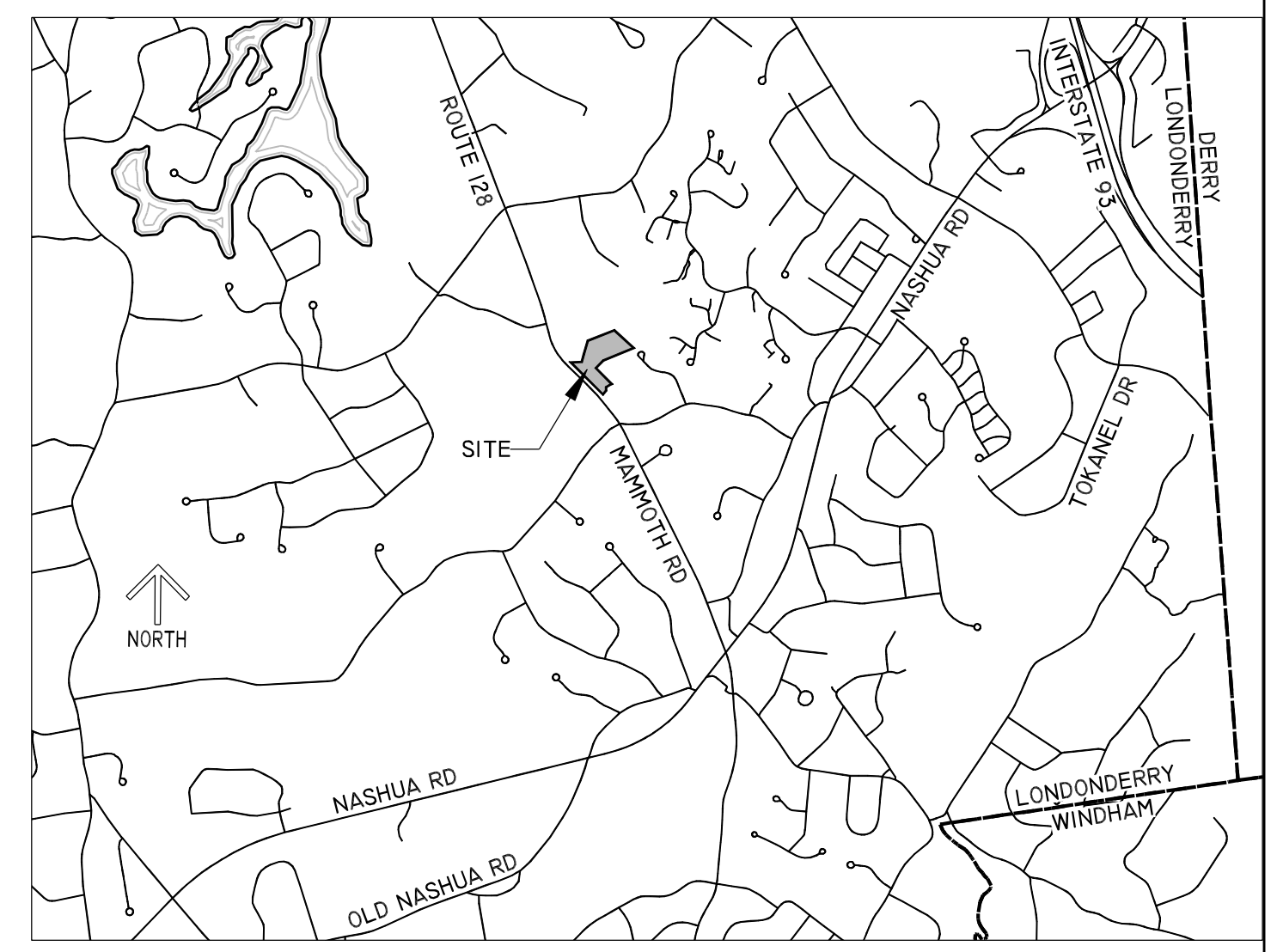
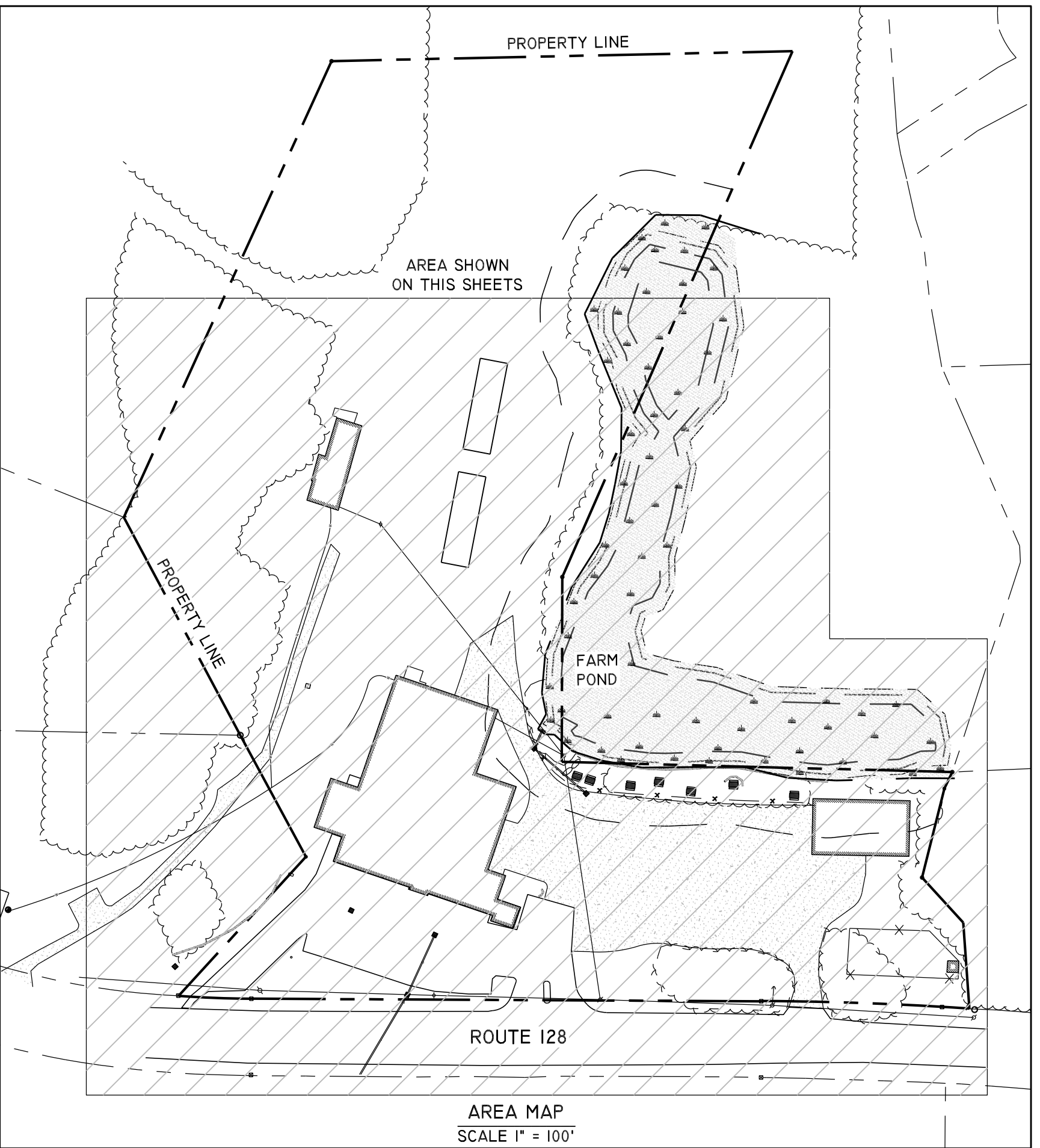
PER ENV-WQ 101.02 GREASE TANK SHALL BE SIZED TO HOLD 36 HOURS OF HYDRAULIC DETENTION.
 874 GPD x 1.5 DAY = 1,311 GALLONS REQUIRED
 TWO 1,000 GALLON TANKS PROPOSED = 2,000 GALLONS

NITRATE SETBACKS:
 DOWN GRADIENT 250 FT
 SIDE GRADIENT 125 FT
 UP GRADIENT 63 FT

WELL RADIUS:
 150 FT

SYMBOLS LEGEND

- UTILITY POLE (PP)
- IRON PIPE FLUND (IPF)
- STONE BOUND FOUND (SFF)
- PROPERTY LINE
- 538 EXISTING CONTOUR
- F538 PROPOSED CONTOUR
- TREELINE
- STONE RETAINING WALL
- PROPOSED WELL AND WATER LINE
- BENCHMARK
- TEST PIT

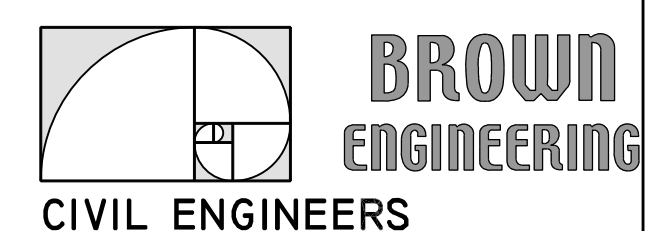
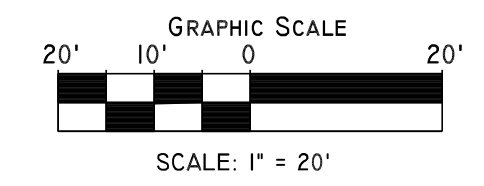
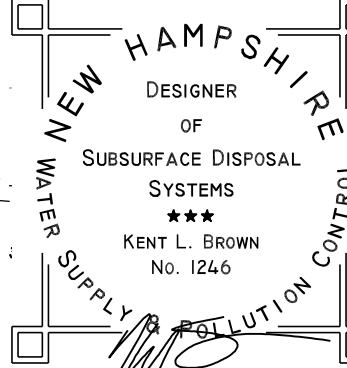
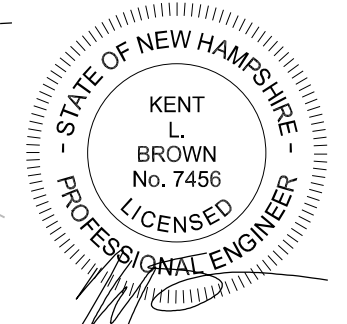


**MACK'S APPLES FARM MARKET
 SANITARY SYSTEM DESIGN PLAN**

TAX MAP 6 LOT 21
 230 MAMMOTH ROAD, LONDONDERRY, NH 03053

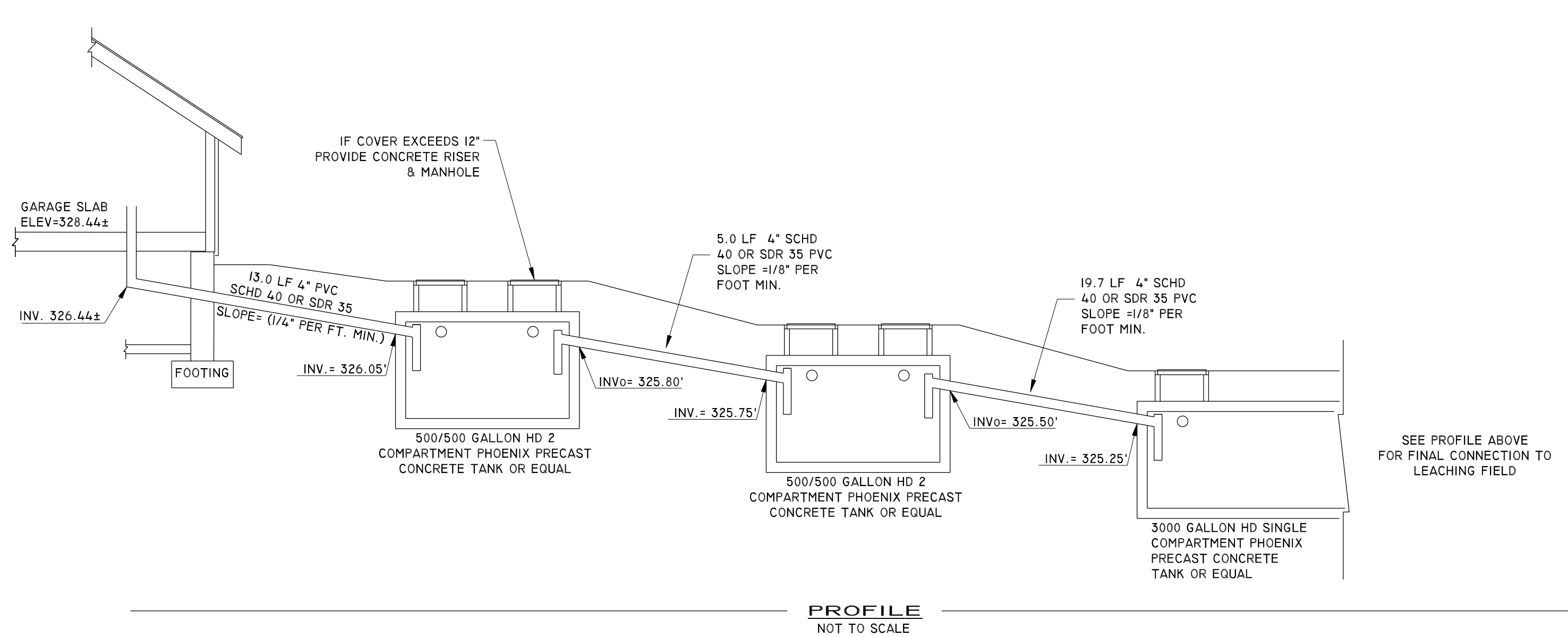
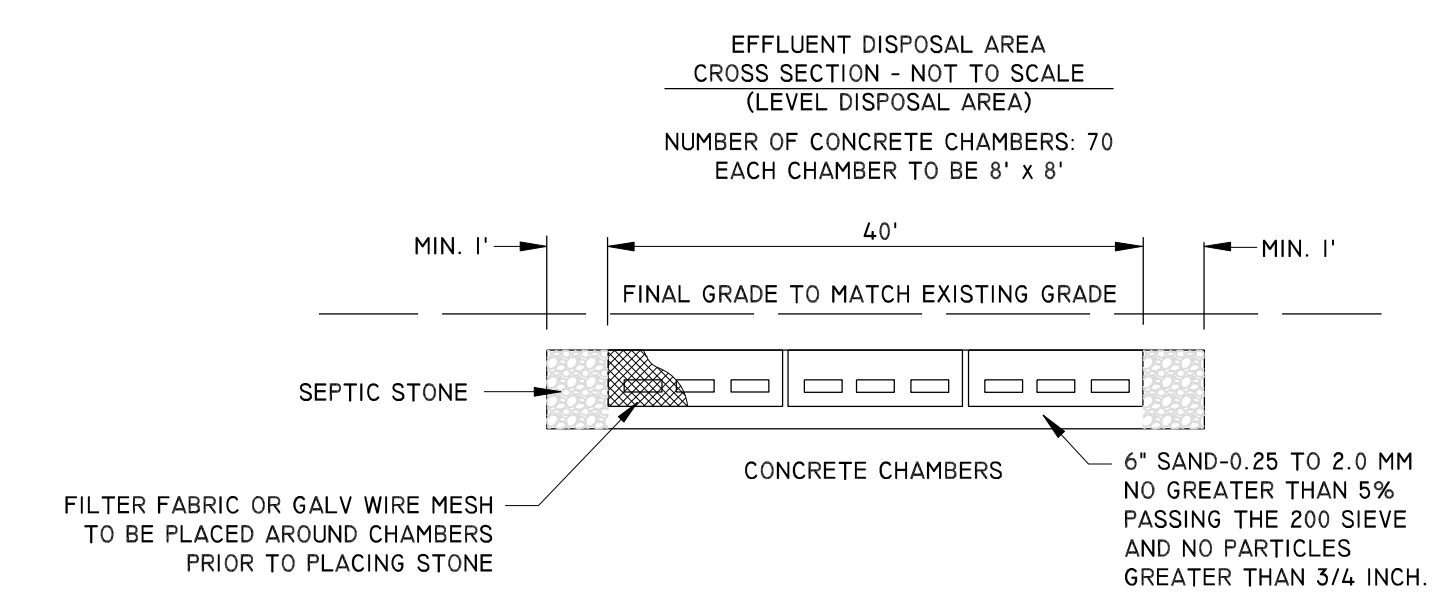
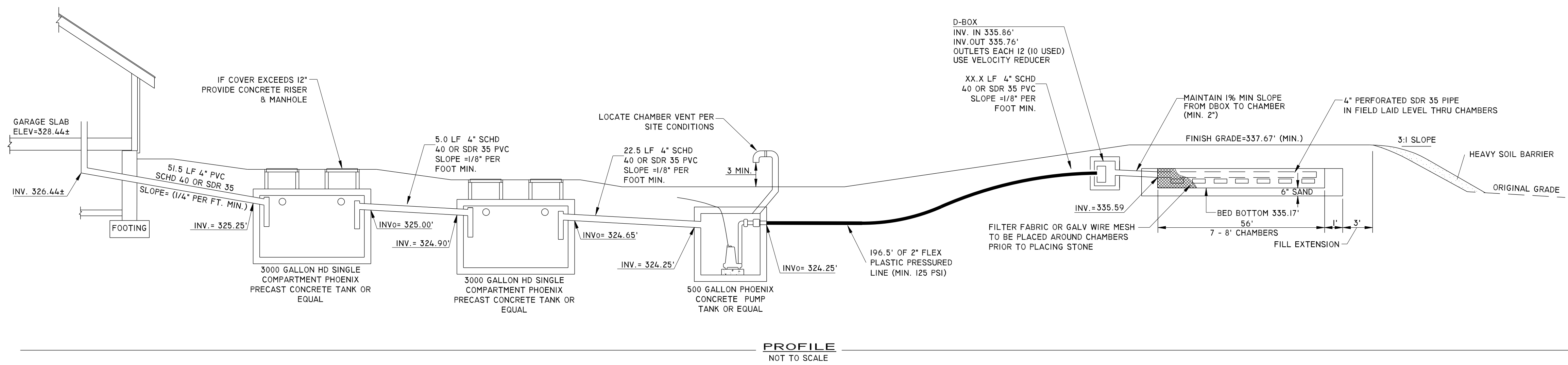
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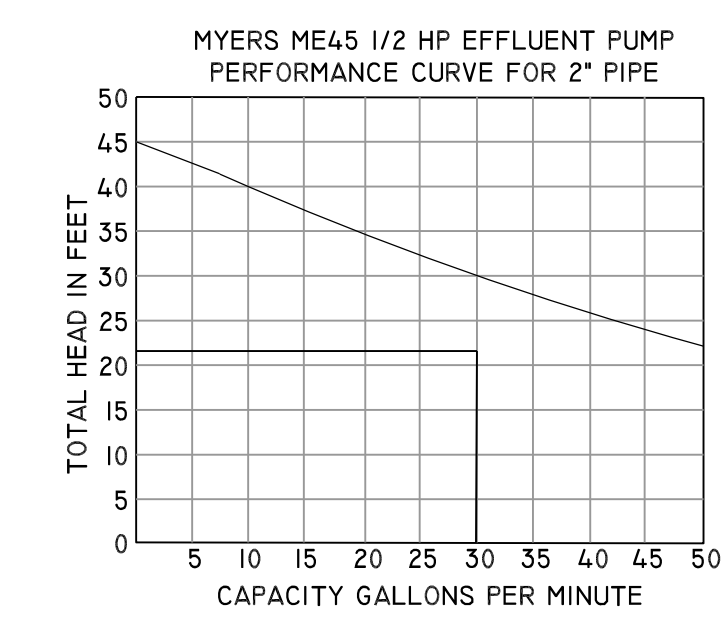


DATE: 12-18-2025
 JOB NO: 5375-44

REV.	DATE	DESCRIPTION	BY



PUMP CALCULATIONS FOR PUMP IN TANK ATTACHED TO MAIN HOUSE:
 USE MYERS EFFLUENT PUMP ME45 1/2 HP.
 ELEVATION DIFF. PUMP OFF TO D-BOX = 17.03'
 FRICTION LOSS FOR 2" PLASTIC = ±5.56'
 TOTAL HEAD = ±22.59'
 PUMP ON = 320.96'
 PUMP OFF = 318.83'
 HIGH WATER ALARM = 321.01'
 200 GALLONS/DOSE 24 TIMES/DAY=4792.5 GPD



LOT LOADING CALCULATION
 COMPOSITE AVERAGE SLOPE OF LOT = 10%
 SOIL GROUP = 3 (MODERATELY WELL DRAINED TO WELL DRAINED)
 FACTOR = 1.76
 LOT SIZE REQUIRED = 900/2000*FACTOR
 = 900/2000*1.76
 = 0.79 ACRES / 34,500 SF (MIN.)
 LOT AREA LESS WELL RADIUS
 = 2.272 AC - 0.72 AC = 1.551 AC / 67,552 SF

SYSTEM DESIGN CALCULATION:
 X BEDROOMS AT 150 GPD EACH = XXX GPD TOTAL
 X MINUTES PER INCH PERC. RATE = XXX SF REQUIRED XXX SF PROVIDED
 PIPE SPACING (CENTER-TO-CENTER) = X'
 LENGTH OF FIELD = XX'; WIDTH OF FIELD = X' (X LINES)
 LINES TO BE LAID LEVEL

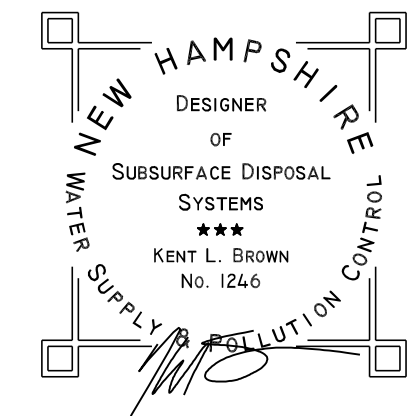
DESIGN INTENT:
 THE BOTTOM OF THE EFFLUENT DISPOSAL SYSTEM (EDS) SHALL BE CONSTRUCTED AT XX.XX' ELEVATION, WHICH IS APPROXIMATELY X.XX FEET BELOW ORIGINAL HIGH GROUND ON THE HIGH CONTOUR OF THE DESIGNED EDS (XX.XX').

THIS DOCUMENT HAS BEEN PREPARED TO ASSIST IN THE CONSTRUCTION OF A SUBSURFACE SANITARY WASTE DISPOSAL SYSTEM ONLY. THE LICENSED DESIGNER ASSUMES NO LIABILITY TO ANY PERSONS USING THIS DOCUMENT FOR PURPOSES OTHER THAN THE CONSTRUCTION OF A SUBSURFACE SANITARY WASTE DISPOSAL SYSTEM.

THIS OFFICE ASSUMES NO LIABILITY FOR ANY ALTERATIONS TO THIS DESIGN DURING CONSTRUCTION, OR SYSTEMS NOT INSTALLED PROPERLY. THE LICENSED DESIGNER SHALL BE NOTIFIED OF ANY CONDITIONS CONTRARY TO THOSE DEPICTED ON THIS PLAN.

- NOTES**
- THIS IS NOT A PROPERTY LINE SURVEY. NO CERTIFICATION OR OPINION AS TO THE ACCURACY OF PROPERTY LINES IS EITHER EXPRESSED OR IMPLIED. DATA SHOWN HEREON IS BASED UPON IMMEDIATE PUBLIC RECORDS AND MAY NOT BE ACCURATE. ALL PROPERTY LINES ARE TO BE VERIFIED BY THE CONTRACTOR OR OWNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - THE INSTALLER SHALL NOT ALLOW ANY VEHICULAR TRAVEL TO OCCUR ACROSS THE PROPOSED LEACH FIELD AREA AT ANY TIME EXCEPT DURING THE CONSTRUCTION OF THE LEACH FIELD.
 - THERE ARE NO OPEN WATER OR HYDRIC "A" SOILS WITHIN 75' OF THIS PROPOSED SYSTEM OR ITS COMPONENTS, AND THERE ARE NO HYDRIC "B" SOILS WITHIN 50' OF THIS PROPOSED SYSTEM OR ITS COMPONENTS.
 - FIELD IS TO BE REBUILT IN PLACE IF REPLACEMENT BECOMES NECESSARY.
 - ALL CONNECTIONS BETWEEN A SEPTIC TANK AND THE PIPES LEADING TO AND EXITING FROM THE SEPTIC TANK SHALL BE SEALED WITH WATERTIGHT, FLEXIBLE JOINT CONNECTOR
 - ALL INVERT ELEVATIONS AND GRADES ARE REFERENCED FROM T.B.M. DEPICTED HEREON
 - CAUTION TO BE EXERCISED DURING FILL PLACEMENT/SITE PREPARATION TO AVOID COMPACTION OR SMEARING OF THE INFILTRATIVE SURFACE.
 - MAINTAIN 8-12 INCHES OF FILL BETWEEN EQUIPMENT TRACKS AND PREPARED SURFACE.
 - FILL MATERIAL SHALL BE A MEDIUM TO COARSE TEXTURED SAND, AS DEFINED BY THE USDA, SCS CLASSIFICATION, WITH AN EFFECTIVE SIZE OF 0.25 TO 2.0 MM.
 - SOILS DATA AT THE LEACH FIELD: I400-CHATFIELD-HOLLIS-CANTON COMPLEX
 - SUBDIVISION APPR. NO.: 5+ ACRES
 - PREVIOUS CONSTRUCTION APPR.: CA2021091604
 - DEED REFERENCE: BK. 6272 PG. 1538 REGISTRY OF DEEDS; ROCKINGHAM OWNER: MHO ACQUISITION LLC, 230 MAMMOTH ROAD, LONDONDERRY, NH 03053
 - WATER IS SUPPLIED BY ON-SITE WELL
 - REMOVE ANY RESTRICTIVE LAYERS FOUND DURING CONSTRUCTION TO THE ESHWT.
 - REMOVE TREES WITHIN 10' OF THE LEACH FIELD.
 - THE SEPTIC SYSTEM HAS NOT BEEN DESIGNED TO ACCOMMODATE A GARBAGE DISPOSAL OR A WATER FILTRATION SYSTEM.
 - ANY DISCREPANCIES OF DESIGN INFORMATION FOUND DURING CONSTRUCTION SHALL BE REPORTED.
 - THE PROPOSED SYSTEM IS NOT WITHIN 100' OF ANY KNOWN BURIAL SITES OR CEMETERIES.
 - WETLAND SOILS WERE DELINEATED IN ACCORDANCE WITH ENV-1014.06.

TEST PIT #3	TEST PIT #5
0'-13" DARK GRAYISH BROWN - 10YR 3/2 FINE SANDY LOAM, WEAK FINE GRANULAR, FRIABLE, FINE ROOTS	0'-9" VERY DARK GRAYISH BROWN - 10YR 3/2 FINE SANDY LOAM, WEAK FINE GRANULAR, FRIABLE, FINE ROOTS
13'-16" DARK BROWN - 10YR 3/3 FINE SANDY LOAM, WEAK FINE GRANULAR, FRIABLE, FINE ROOTS	9'-13" DARK BROWN - 7.5YR 3/4 SANDY LOAM, MODERATE MEDIUM SUBANGULAR BLOCKY, FRIABLE, 3% COARSE GRAVEL
16'-27" BROWN - 10YR 4/3 LOAMY SAND, MEDIUM SUBANGULAR BLOCKY, FRIABLE, FINE ROOTS, 5% COBBLES	13'-27" LIGHT OLIVE BROWN - 2.5Y 5/3 SANDY LOAM, MODERATE MEDIUM SUBANGULAR BLOCKY, FRIABLE
27'-45" LIGHT YELLOWISH BROWN - 2.5Y 6/3 LOAMY SAND, MASSIVE, FRIABLE	27'-60" LIGHT OLIVE BROWN - 2.5Y 5/4 GRAVEL SAND, LOOSE, 15% COARSE GRAVEL
45'-60" LIGHT OLIVE BROWN - 2.5Y 5/4 LOAMY SAND, MEDIUM SUBANGULAR BLOCKY, FRIABLE	ESHWT = 34' NO OBSERVED WATER NO OBSERVED LEDGE
ESHWT = 49' NO OBSERVED WATER NO OBSERVED LEDGE	
TEST PIT #6	TEST PIT #7
0'-10" DARK GRAYISH BROWN - 10YR 4/2 LOAM, LOOSE, MANY FINE AND MEDIUM ROOTS	0'-8" DARK GRAYISH BROWN - 10YR 3/2 LOAM, LOOSE, MANY FINE ROOTS
10'-42" BROWN - 7.5YR 5/4 FINE SANDY LOAM, FRIABLE	8'-12" REDDISH BROWN - 2.5YR 4/4 FINE SANDY LOAM, LOOSE
42'-90" LIGHT BROWNISH GRAY - 7.5Y 5/4 FINE SANDY LOAM FRIABLE	12'-36" BROWN - 7.5Y 5/4 FINE SANDY LOAM , LOOSE, NO ROOTS
ESHWT = 42' NO OBSERVED WATER NO OBSERVED LEDGE PERC RATE = 6 MIN./INCH @ 12"	36'-42" BROWNISH YELLOW - 10YR 6/6 SAND, GRANULER
	42'-90" STRONG BROWN - 7.5YR 5/6 SILTY SAND AND GRAVEL FRIABLE
	ESHWT = 36' NO OBSERVED WATER NO OBSERVED LEDGE PERC RATE = 6 MIN./INCH @ 12"

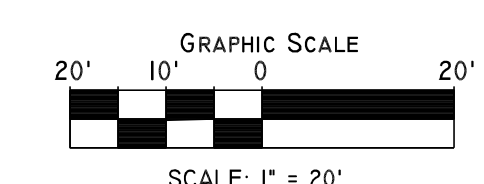


**MACK'S APPLES FARM MARKET
 SANITARY SYSTEM DESIGN PLAN**

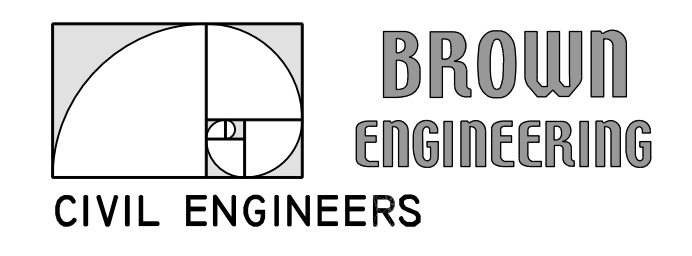
TAX MAP 6 LOT 21
 230 MAMMOTH ROAD, LONDONDERRY, NH 03053

PREPARED FOR:
 MHO ACQUISITION LLC.
 230 MAMMOTH ROAD
 LONDONDERRY, NH 03053
 BOOK 6272 PAGE 1338

PREPARED BY:
BROWN ENGINEERING LLC
 34 WHITTIER HIGHWAY
 MOULTONBOROUGH, NH 03254
 TEL: (603) 744-1044
 WWW.BROWNEENGINEERINGLLC.COM



REV.	DATE	DESCRIPTION	BY



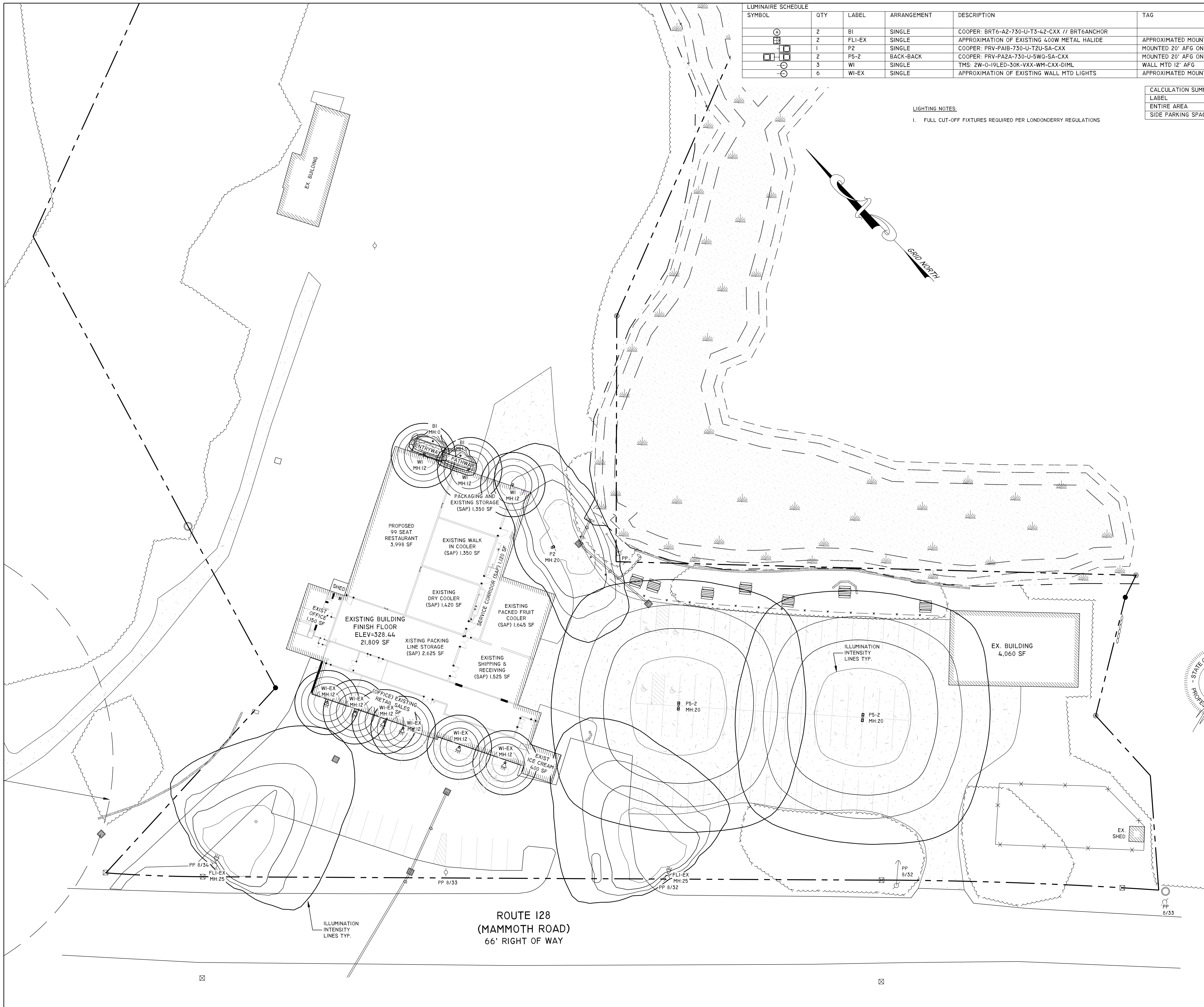
DATE: 12-18-2025
 JOB NO: 5375-44

G:\CLIENTS\5375-44_SDA-MACKS APPLES_LONDONDERRY_MAMMOTH ROAD\DWGS\5375-44_SDA_MACKS APPLES-LONDONDERRY\210225.dwg DDC: B, 2025-11-18 AM

LUMINAIRE SCHEDULE						LLF	LUMINAIRE LUMENS
SYMBOL	QTY	LABEL	ARRANGEMENT	DESCRIPTION	TAG		
	2	BI	SINGLE	COOPER: BRT6-A2-730-U-T3-42-CXX // BRT6ANCHOR		0.900	979
	2	FLI-EX	SINGLE	APPROXIMATION OF EXISTING 400W METAL HALIDE	APPROXIMATED MOUNTING HEIGHT AT 25' AFG	0.600	30500
	1	P2	SINGLE	COOPER: PRV-PAIB-730-U-T2U-SA-CXX	MOUNTED 20' AFG ON 3" CONCRETE BASE AND 17' COOPER POLE: SSS-17' SPECIAL LENGTH-4-II-AB-MI-CXX	0.900	9003
	2	P5-2	BACK-BACK	COOPER: PRV-PA2A-730-U-SWQ-SA-CXX	MOUNTED 20' AFG ON 3" CONCRETE BASE AND 17' COOPER POLE: SSS-17' SPECIAL LENGTH-4-II-AB-M2-CXX	0.900	14827
	3	WI	SINGLE	TMS: 2W-0-19LED-30K-VXX-WM-CXX-DIML	WALL MTD 12' AFG	0.900	1803
	6	WI-EX	SINGLE	APPROXIMATION OF EXISTING WALL MTD LIGHTS	APPROXIMATED MOUNTING HEIGHT AT 12' AFG	0.900	1803

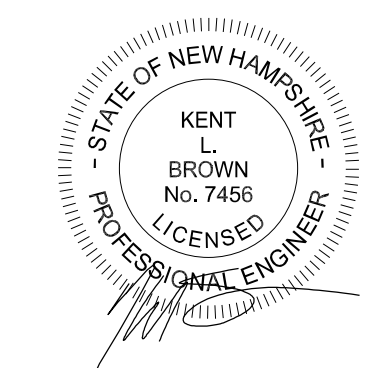
CALCULATION SUMMARY							
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
ENTIRE AREA	ILLUMINANCE	FC	0.31	5.4	0.0	N.A.	N.A.
SIDE PARKING SPACES	ILLUMINANCE	FC	1.62	4.8	0.4	4.05	12.00

LIGHTING NOTES:
 1. FULL CUT-OFF FIXTURES REQUIRED PER LONDONDERRY REGULATIONS



SYMBOLS LEGEND

- EXISTING PROPERTY LINE
- EXISTING ABUTTERS PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING PROPERTY SETBACK LINE
- EXISTING FENCE LINE
- EXISTING STONE WALL
- EXISTING TREE LINE
- EXISTING WETLAND BOUNDARY
- EXISTING BUILDING
- EXISTING GRAVEL DRIVEWAY
- EXISTING PICNIC TABLE
- EXISTING DRAIN MANHOLE
- EXISTING CATCH BASIN
- EXISTING SEWER MANHOLE
- EXISTING WATER GATE VALVE
- EXISTING FIRE HYDRANT
- EXISTING WELL
- EXISTING TREE AND CALIPER
- EXISTING POWER POLE
- STONE BOUND FOUND (SBF)
- DRILL HOLE FOUND (DHF)
- IRON PIPE FOUND (IPF)
- RE-BAR FOUND (RBF)
- PROPOSED LIGHTING UNITS

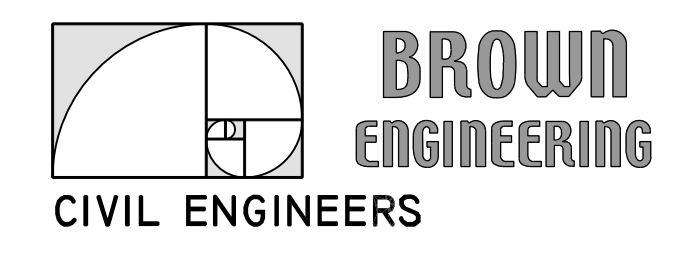


**MACK'S APPLES FARM MARKET
 LIGHTING PLAN**

TAX MAP 6 LOT 21
 230 MAMMOTH ROAD, LONDONDERRY, NH 03053

MHO ACQUISITION LLC.
 230 MAMMOTH ROAD
 LONDONDERRY, NH 03053
 BOOK 6272 PAGE 1338

PREPARED BY:
BROWN ENGINEERING LLC
 34 WHITTIER HIGHWAY
 MOULTONBOROUGH, NH 03254
 TEL: (603) 744-1044
 WWW.BROWNEENGINEERINGLLC.COM



GRAPHIC SCALE
 30' 15' 0' 30'
 SCALE: 1" = 30'

REV.	DATE	DESCRIPTION	BY

DATE: 12-18-2025
 JOB NO: 5375-44

G:\CLIENTS\5375-44_SDA-MACKS APPLES, LONDONDERRY, MAMMOTH ROAD\DWG\5375-44_SDA_MACK APPLES-LONDONDERRY\2025.DWG DEC 18, 2025-8:18AM

Project	Catalog #	Type
Prepared by	Notes	Date



McGraw-Edison
BRT6 Bollard
Round LED Pedestrian Luminaire

Product Features

- BAA
- TAA
- BAA
- DLC LISTED
- DLC ULTIMA PREMIUM

Interactive Menu

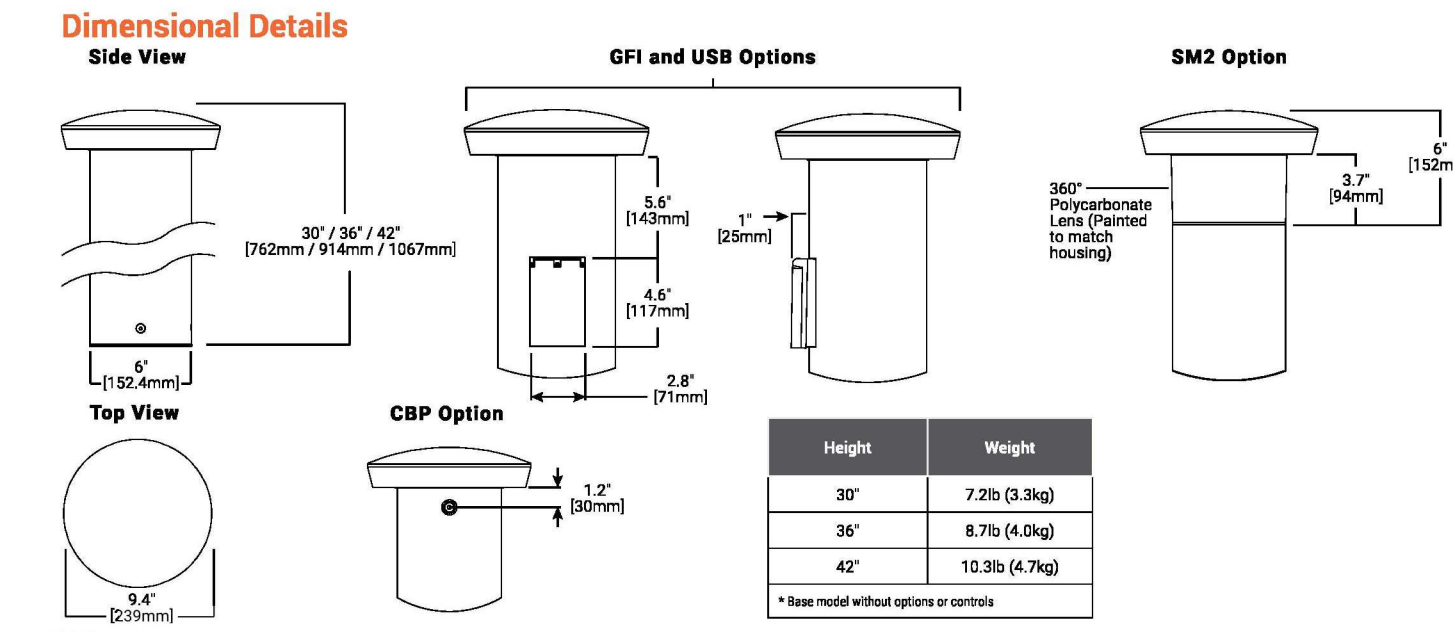
- Ordering Information page 2
- Product Specifications page 2
- Optical Distributions page 2
- Energy and Performance Data page 3

Product Certifications

- ESL
- 3G VIB
- IP66
- IK10
- ENERGY STAR

Quick Facts

- 4 Optical Distributions
- Available in 30", 36", and 42"
- Lumen packages range from 560 - 4400 (5W - 49W)
- Efficacy up to 122 lumens per watt
- Zero uplight on all configurations



Project	Catalog #	Type
Prepared by	Notes	Date



Lumark
Prevail Discrete LED
Area / Site Luminaire

Product Features

- BAA
- TAA
- BAA
- DLC LISTED
- DLC ULTIMA PREMIUM
- FACD

Interactive Menu

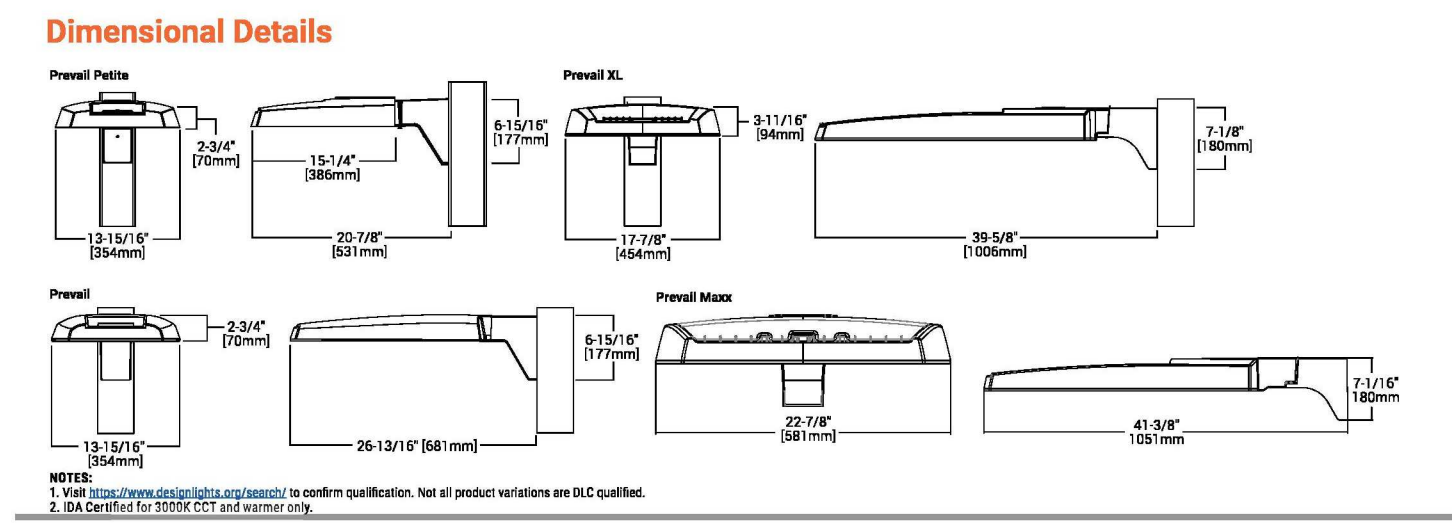
- Ordering Information page 2
- Mounting Details page 3, 4
- Optical Configurations page 5
- Product Specifications page 5
- Energy and Performance Data page 6
- Control Options page 8

Product Certifications

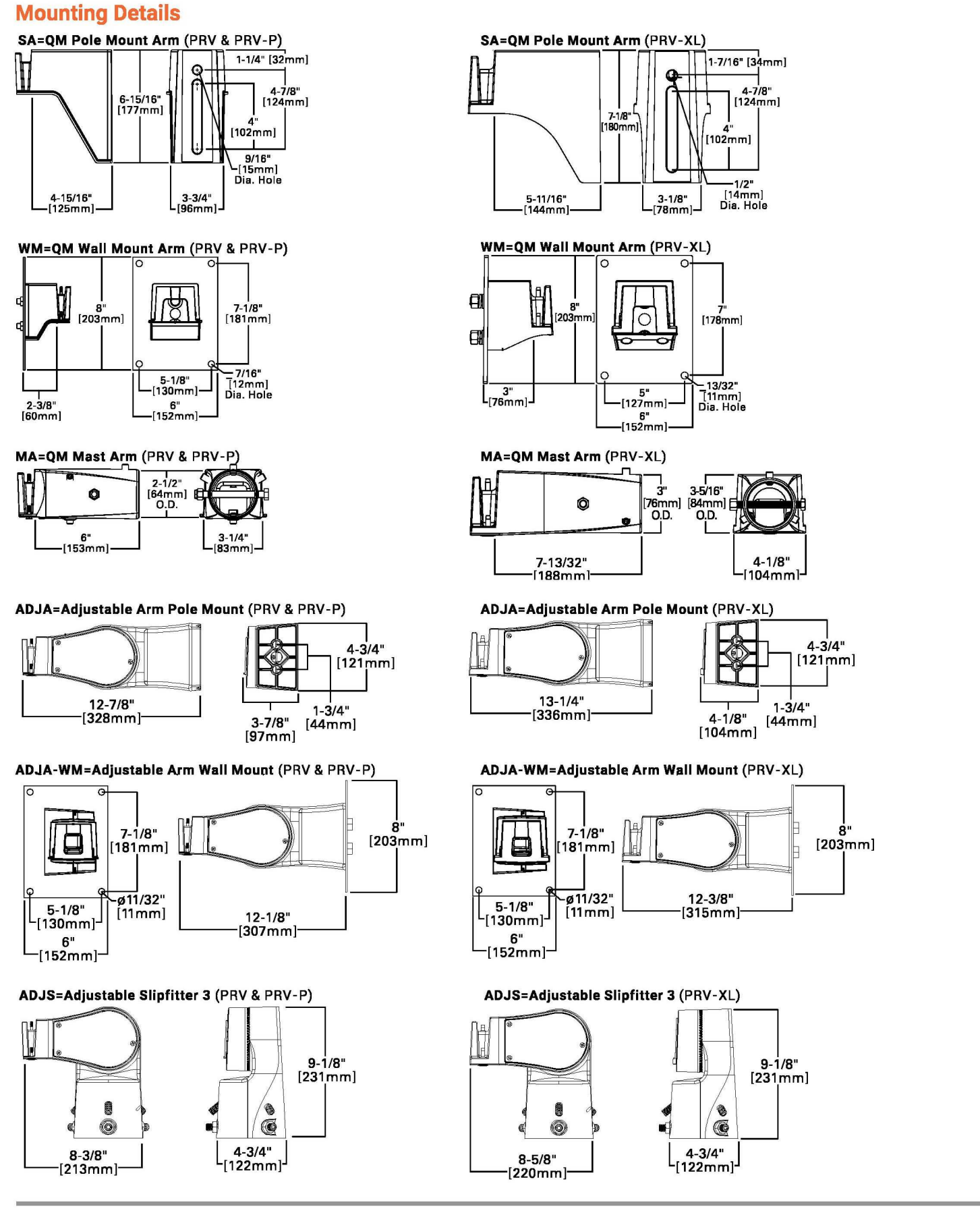
- ESL
- 3G VIB
- IP66
- IK10
- ENERGY STAR

Quick Facts

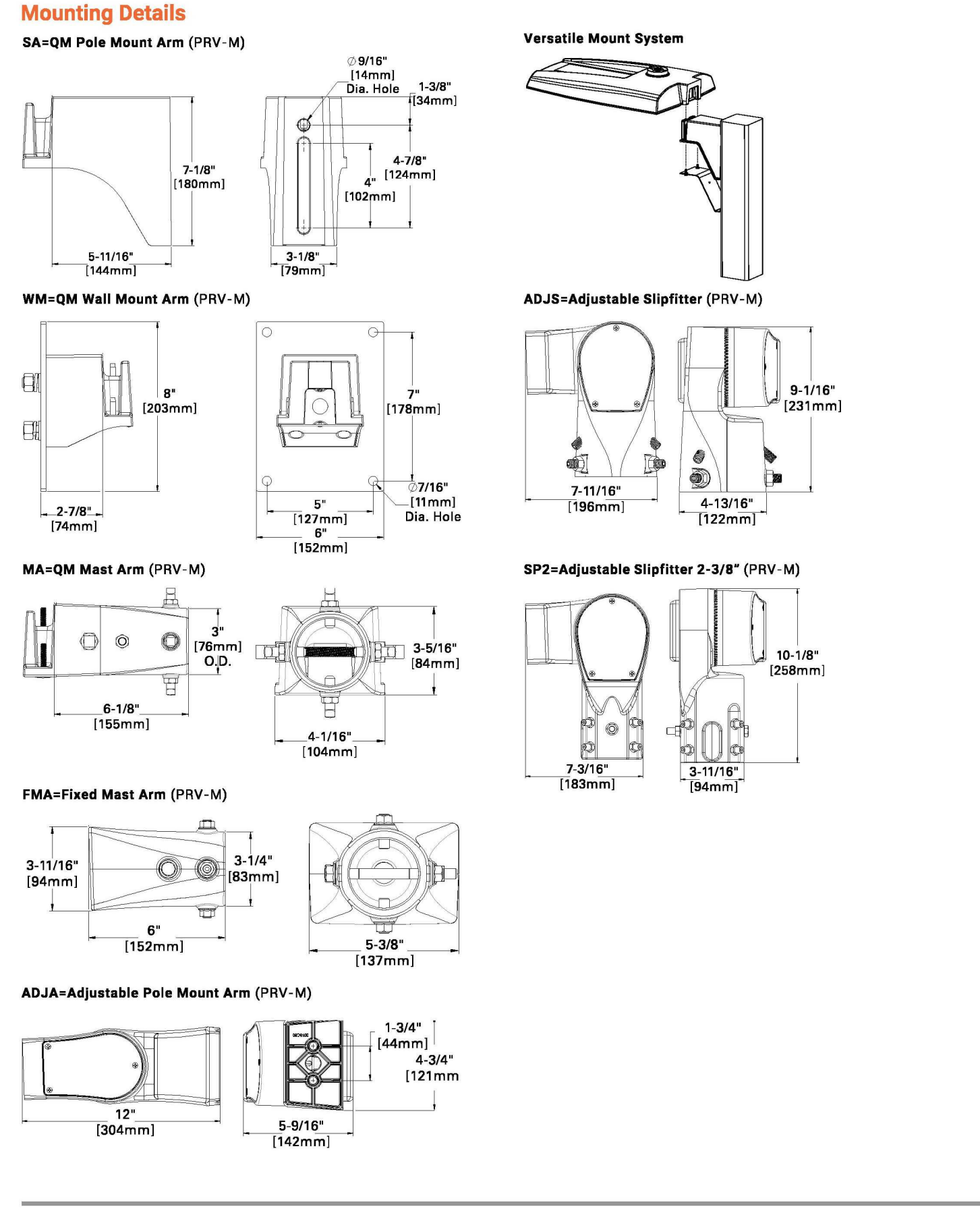
- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 68,000 nominal lumens (30W - 550W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacy up to 157 lumens per watt
- Standard universal quick mount arm with universal drill pattern



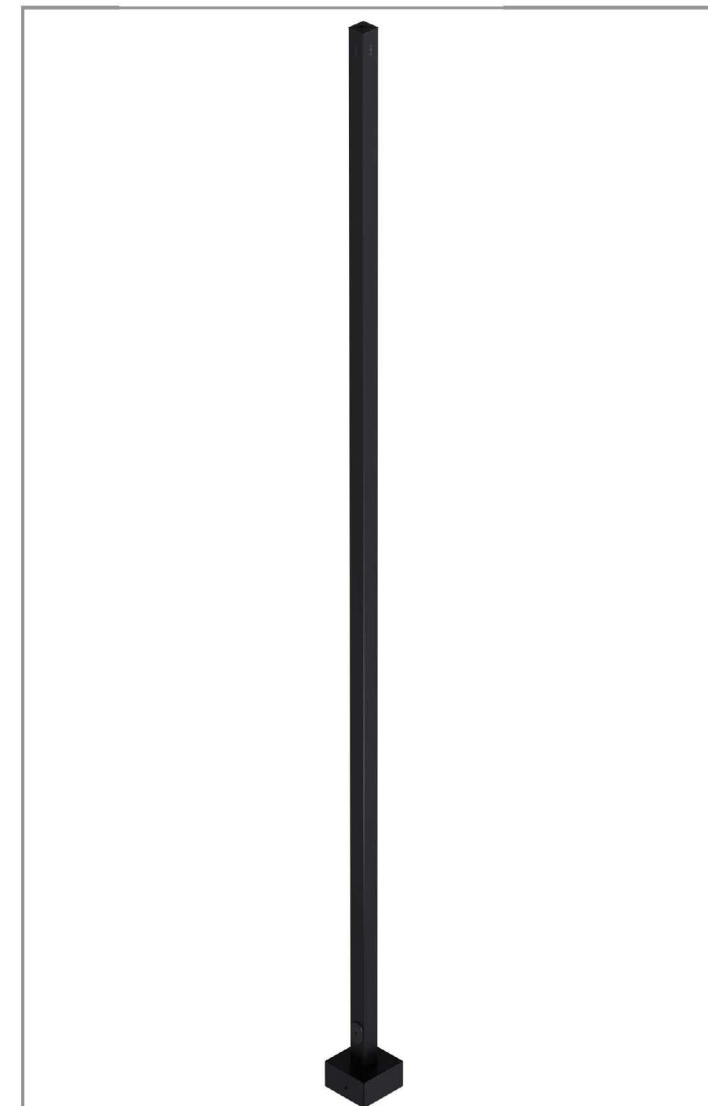
Lumark Prevail Discrete LED



Lumark Prevail Discrete LED



Project	Catalog #	Type
Prepared by	Notes	Date



Cooper Poles
Square Straight Steel - SSS
Anchor Base Installation

Product Certifications & Features

- AASHIO
- UL
- UL
- UL

Base Cover

- 2-piece metal cover, painted to match pole
- Optional ABS cover, 3 basic finishes
- Corrosion resistant hardware

Handhole

- Handhole Assembly, 3"x5", 14" minimum above base
- Grounding provision included
- Extra handhole locations available
- Metal handhole cover, painted to match pole
- Optional ABS Handhole cover, 3 basic finishes
- Corrosion resistant hardware
- Optional vandal resistant mechanism

Finish

- Highly durable TGIC polyester powder paint
- ASTM D3359 5B classification
- Optional hot-dipped galvanized pre-treat
- 10+ colors, custom finishes available

Domestic Preferences

BABA option supports both the USA Buy America (BAA) and Infrastructure Investment and Jobs Act (IIJA) domestic preference requirements.

Quick Facts

- Weldable grade carbon steel
- One-year limited warranty
- Fully galvanized anchor bolts & template included

Interactive Menu

- Ordering Information page 2
- Base Plate Details page 3
- Mounting Type Details page 4
- Options Details page 5
- Certification & Additional Details page 7
- EPA Data page 8
- Considerations page 14

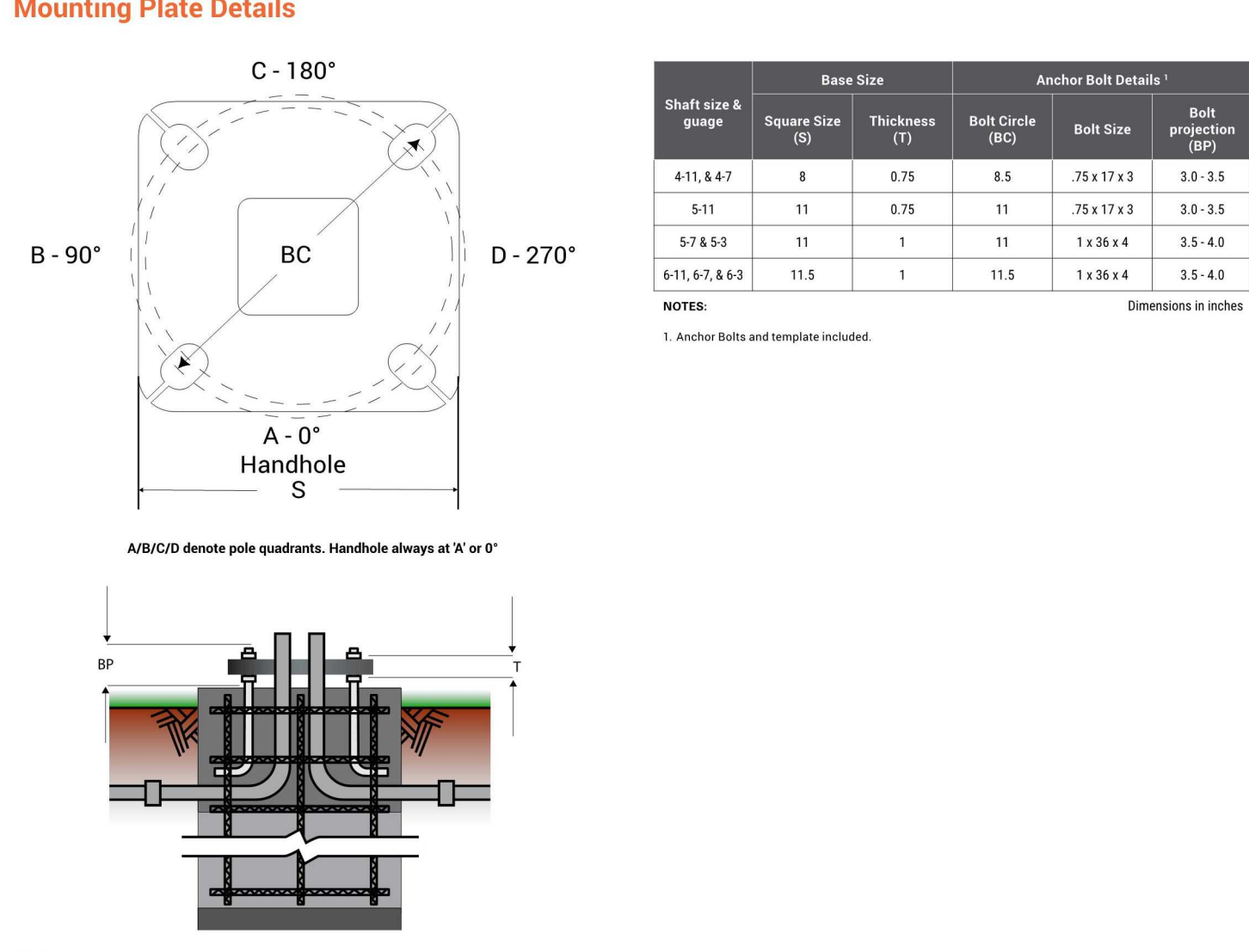
Finish

- Highly durable TGIC polyester powder paint
- ASTM D3359 5B classification
- Optional hot-dipped galvanized pre-treat
- 10+ colors, custom finishes available

Domestic Preferences

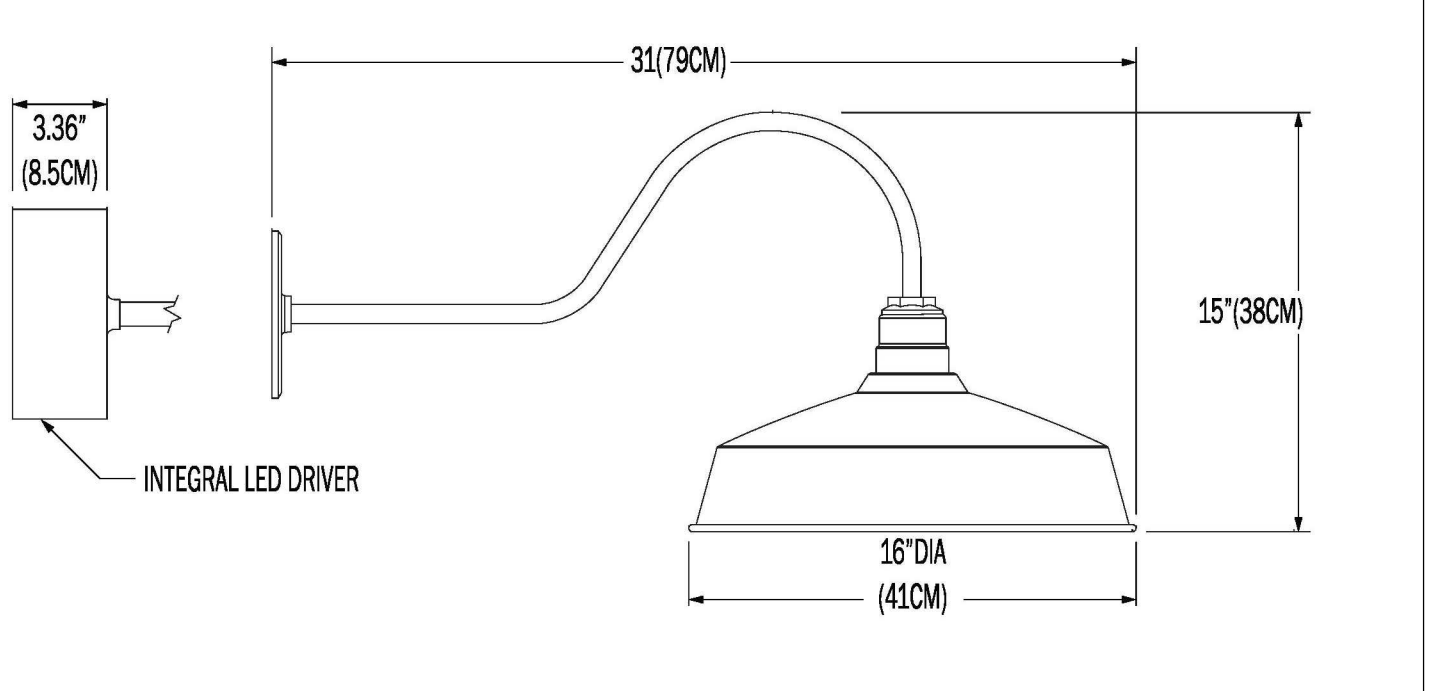
BABA option supports both the USA Buy America (BAA) and Infrastructure Investment and Jobs Act (IIJA) domestic preference requirements.

Cooper Poles Square Straight Steel Anchor Bolt Construction - SSS-AB



NOTE: If custom base option required, please specify BMDxxxx option and provide drawing. Approval required, additional lead times may apply. Premium metal base cover included.

2W PROFILE



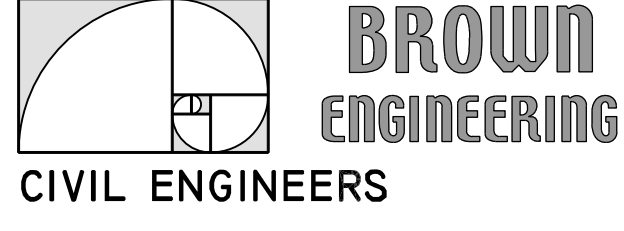
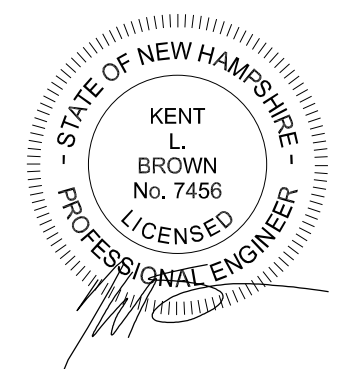
FOR MORE INFORMATION ON LIGHTING OR LIGHTING DETAILS PLEASE REACH OUT TO CONTACT:MOBRIEN@REFLEXLIGHTING.COM

MACK'S APPLES FARM MARKET MISCELLANEOUS DETAIL SHEET

TAX MAP 6 LOT 21
230 MAMMOTH ROAD, LONDONDERRY, NH 03053

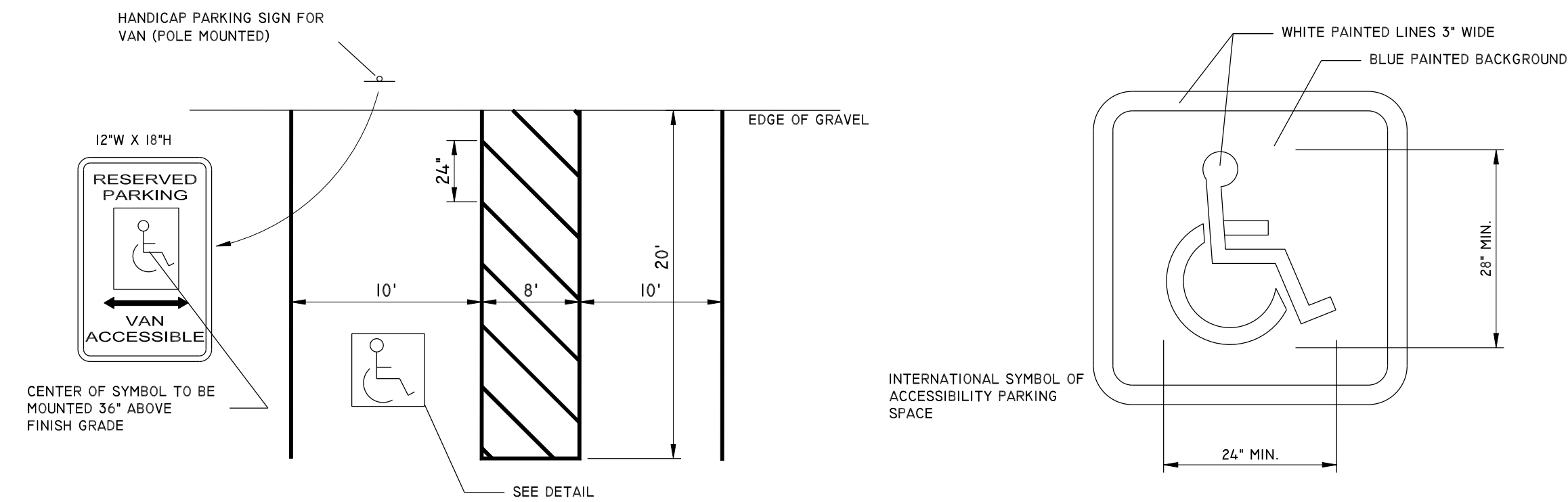
MHO ACQUISITION LLC.
230 MAMMOTH ROAD
LONDONDERRY, NH 03053
BOOK 6272 PAGE 1338

PREPARED BY:
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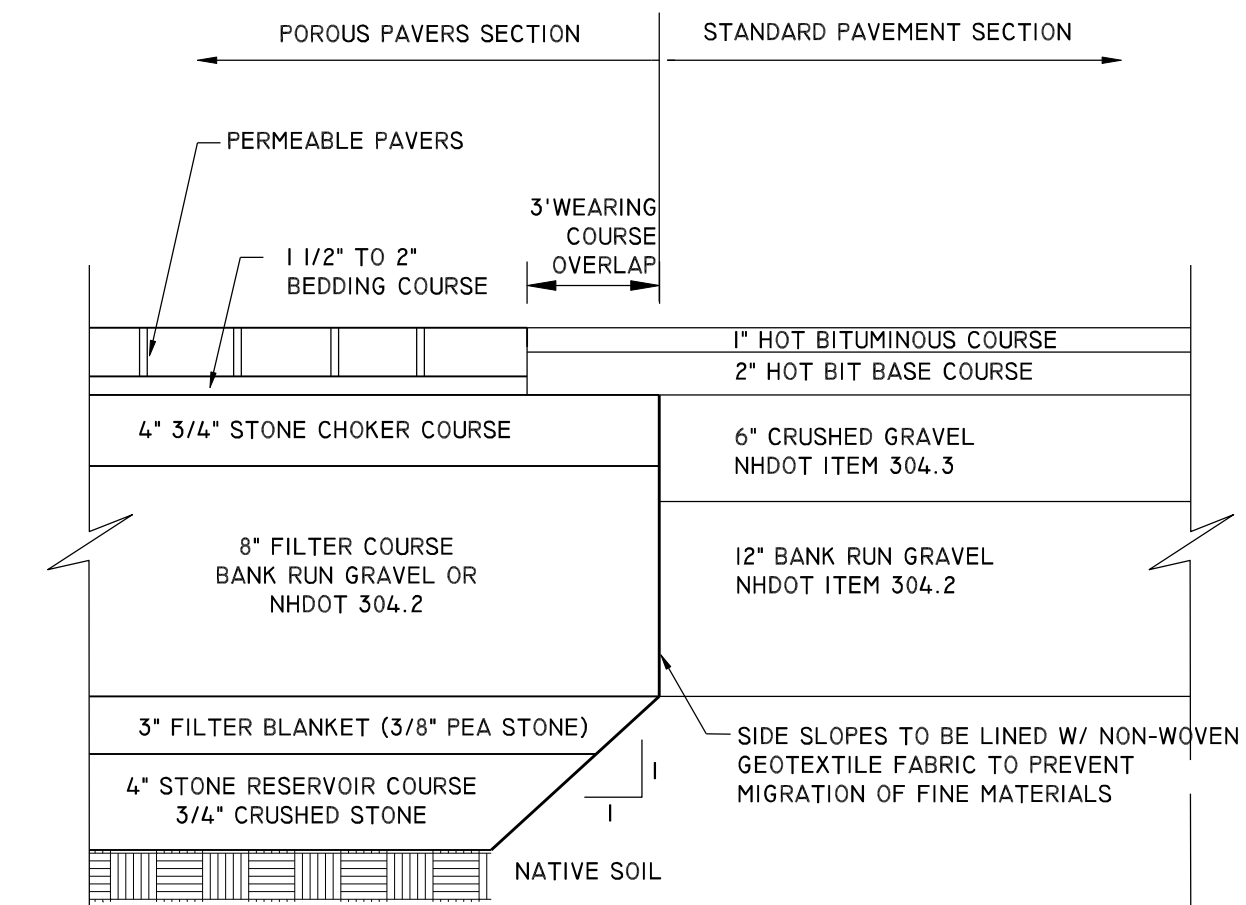


DATE: 12-10-2025
JOB NO: 5375-44

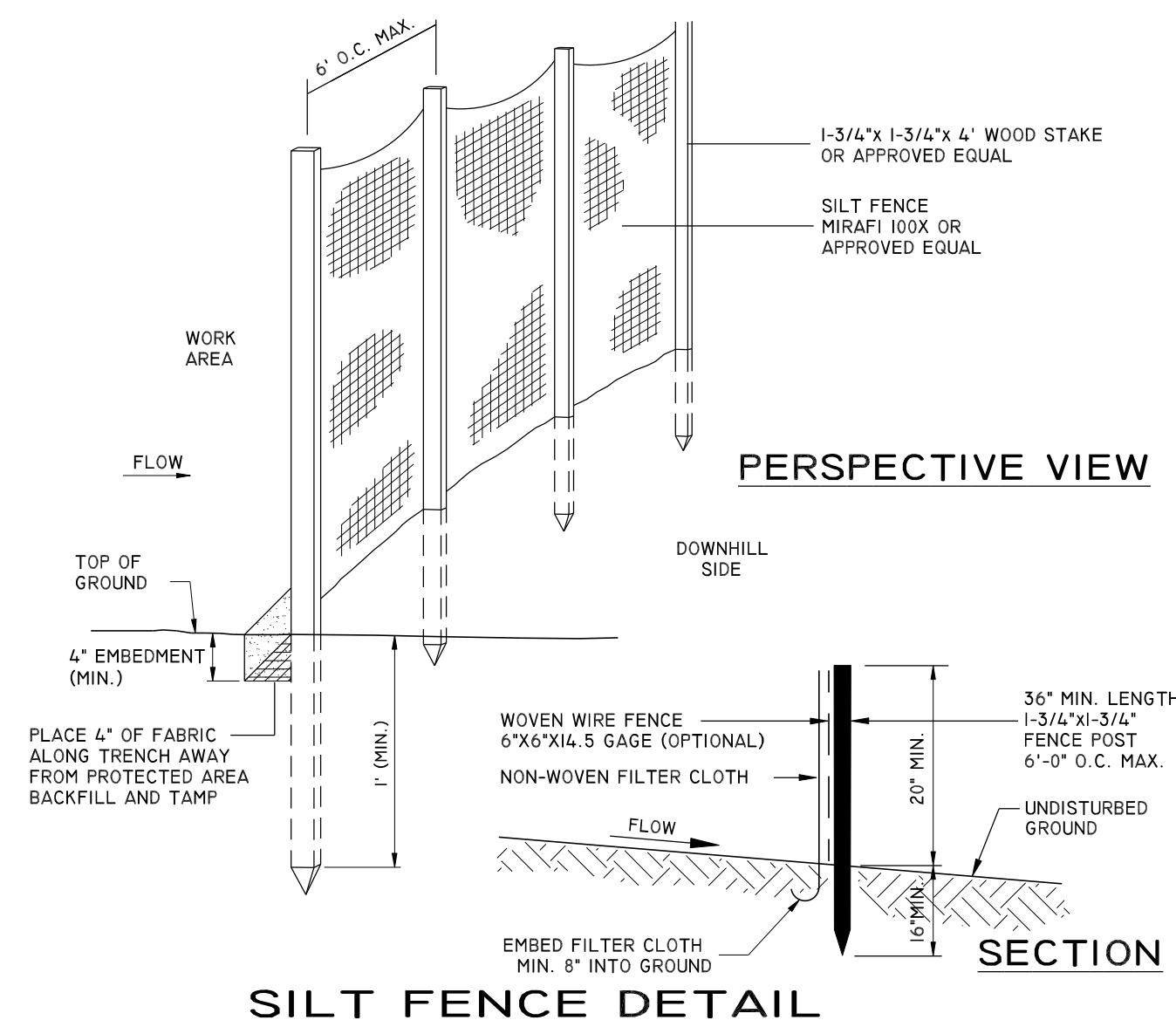
REV.	DATE	DESCRIPTION	BY



HANDICAP PARKING STRIPING AND SIGN DETAIL
NOT TO SCALE



PERMEABLE PAVERS DETAIL
NOT TO SCALE



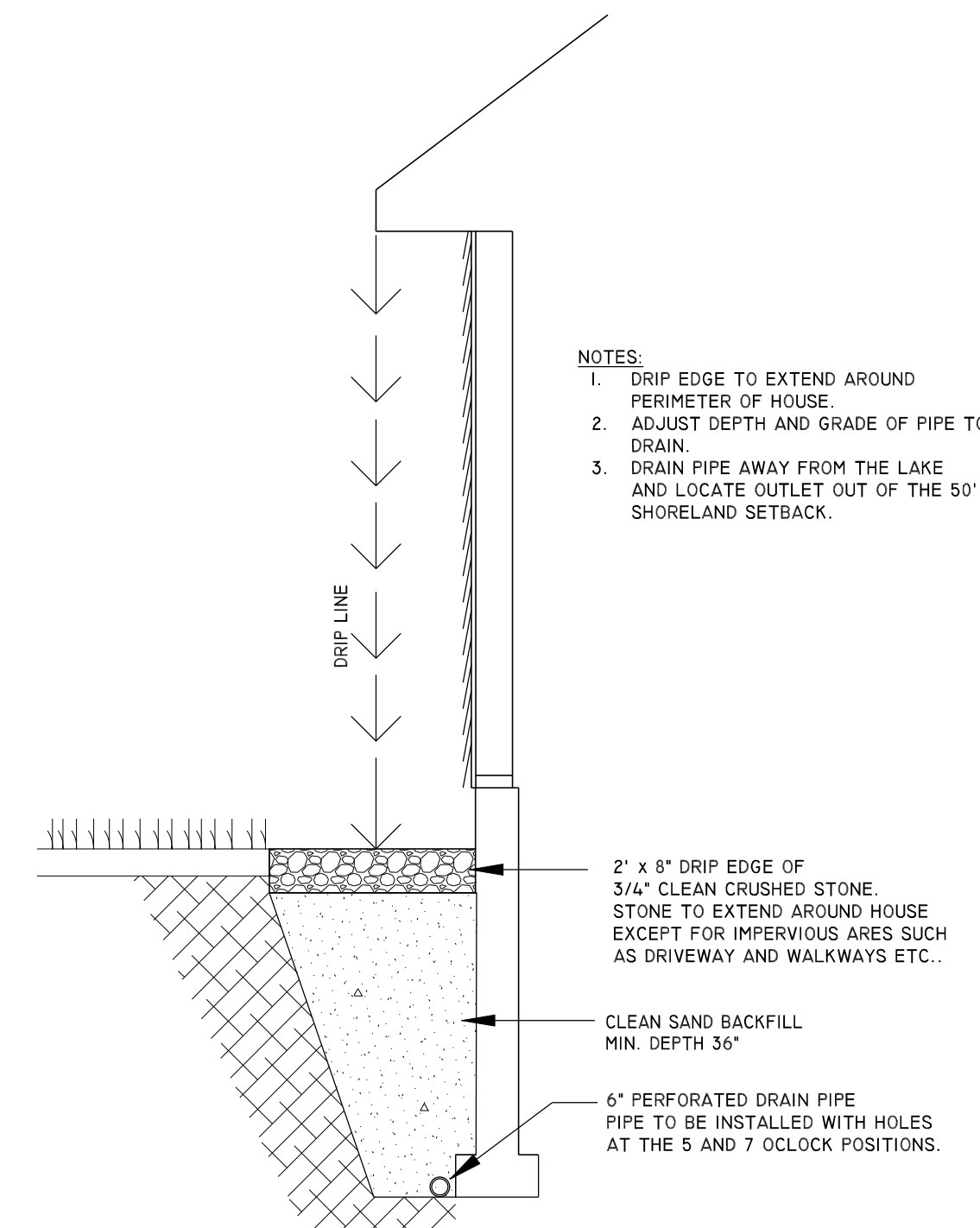
SILT FENCE DETAIL
NOT TO SCALE

SHORELAND NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE LIMIT OF WORK WITHIN THE 250' SHORELAND PROTECTION SETBACK LINE.
2. THE TOTAL LOT AREA IS 0.46 ACRES - 20,038 SF.
3. NO TREES WILL BE CUT IN THE 50' SETBACK.
4. A DRIP EDGE INFILTRATION WILL BE INSTALLED AROUND THE PROPOSED HOUSE IN ORDER TO CREATE INFILTRATION.
5. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY GROUND DISTURBANCE OF THE SITES SURFACE AREA AND SHALL BE MAINTAINED THROUGH THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES. IF DURING CONSTRUCTION IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED THE OWNER AND CONTRACTOR SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION.

MAINTENANCE

1. SILT FENCES ARE TO BE INSPECTED IMMEDIATELY AFTER EVERY RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF OF THE BARRIER. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED, SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

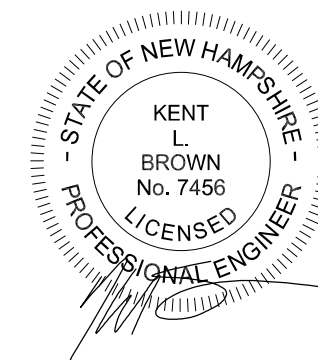


- NOTES:**
1. DRIP EDGE TO EXTEND AROUND PERIMETER OF HOUSE.
 2. ADJUST DEPTH AND GRADE OF PIPE TO DRAIN.
 3. DRAIN PIPE AWAY FROM THE LAKE AND LOCATE OUTLET OUT OF THE 50' SHORELAND SETBACK.

MAINTENANCE

1. REMOVE DEBRIS AND ACCUMULATED SEDIMENT FROM STONE DRIP EDGE AND OUTLET.
2. INSPECT COMPONENTS AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
3. IF AN INFILTRATION SYSTEM DOES NOT DRAIN WITHIN 72 HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE INFILTRATION AREA.

DRIP EDGE INFILTRATION DETAIL
NOT TO SCALE

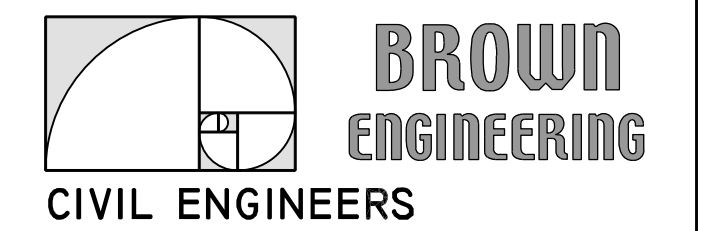


**MACK'S APPLES FARM MARKET
MISCELLANEOUS DETAIL SHEET**

TAX MAP 6 LOT 21
230 MAMMOTH ROAD, LONDONDERRY, NH 03053

MHO ACQUISITION LLC.
230 MAMMOTH ROAD
LONDONDERRY, NH 03053
BOOK 6272 PAGE 1338

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34 WHITTIER HIGHWAY
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TEL: (603) 744-1044
WWW.BROWNEENGINEERINGLLC.COM



DATE: 12-10-2025
JOB NO: 5375-44

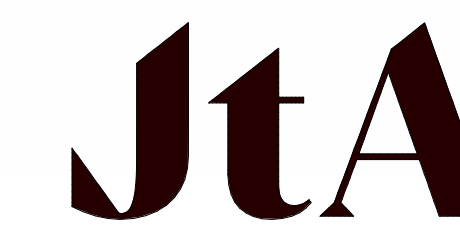
REV.	DATE	DESCRIPTION	BY



Moose Hill Orchards, LLC

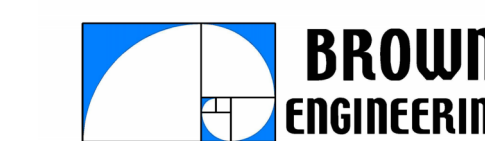
230 Mammoth Rd.
Londonderry, NH 03053

DESIGN FIRM



Joe The Architect, LLC
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3353 e: joe@joethearchitect.com
www.joethearchitect.com

CONSULTANT



BROWN ENGINEERING

34 Whittier Highway, Moultonborough, NH 03254

SEAL

KEY NOTES - PROPOSED PLAN

CONSTRUCTION LEGEND

SYMBOL	DEFINITION
	EXISTING DOOR TO REMAIN
	EXISTING GWB PARTITION TO REMAIN
	EXISTING GLAZED PARTITION TO REMAIN
	NEW GWB PARTITION
	NEW GLAZED PARTITION
	NEW DOOR AND FRAME
	NEW FIRE EXTINGUISHER
	NIC - NOT IN CONTRACT HATCH

GENERAL NOTES - CONSTRUCTION

- SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION ON WALL FINISH MATERIALS AND TYPICAL MOUNTING HEIGHTS REQUIRED.
- SEE GENERAL CONSTRUCTION NOTES ON SHEET 0001.
- SEE REFLECTED CEILING PLANS FOR CEILING FINISH MATERIALS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AFTER DEMOLITION IS COMPLETED.
- ALL LOCATIONS WHERE INFILL WALLS MEET EXISTING WALLS WITH NEW GWB FINISH SURFACES SHALL ALIGN AT ADJACENT EDGES UNLESS OTHERWISE NOTED.
- EXISTING WALLS SHOWN WITH ADDITIONAL LINES GRAPHICALLY REPRESENT NEW FINISHES AND SHOULD NOT BE SCALED OR DIMENSIONED FROM. PARTITIONS SHOULD BE BUILT AND FINISHED ACCORDING TO PARTITION AND FINISH SCHEDULE.
- COORDINATE AREAWAY DRAINS AND FLOOR DRAINS WITH PLUMBING DRAWINGS.
- PROVIDE BLOCKING FOR GRAB BARS, PLUMBING FUTURES, MILL WORK AT ALL REQUIRE LOCATIONS.
- ALL DIMENSIONS INDICATED WITH A REPRESENT FIELD MEASUREMENTS TO BE PROVIDED TO ARCHITECT AND VERIFIED BY CONTRACTOR.
- SEE DOOR SCHEDULE FOR ALL DOOR SIZES, DOOR INFO AND DETAILS.
- ALL GLASS WITHIN 18" A.F.F. AND/OR WITHIN 4'-0" OF A DOOR SWING SHALL BE TEMPERED SAFETY GLASS.
- ALL EXISTING WALLS TO BE PATCHED WHERE EXISTING WALLS WERE REMOVED.
- PROVIDE LEVELING COMPOUND OVER ALL EXISTING CONCRETE FLOOR AREAS TO RECEIVE NEW FLOOR COVERING. NO FLOORING TRANSITIONS ARE TO EXCEED 1/2" IN HEIGHT.
- PROVIDE IN-WALL BLOCKING AS REQUIRED.
- PROVIDE IN-CASEWORK WHERE INDICATED.
- PATCH EXISTING GWB AT ALL LOCATIONS WHERE A PARTITION HAS BEEN REMOVED.
- AT ALL AREAS OF MEPPFP EQUIPMENT REMOVED FROM WALLS, CONTRACTOR TO PATCH/REPAIR HOLES IN FINISH FROM REMOVED FASTENERS. BLEND PATCHING TO MATCH EXISTING FINISH TO REMAIN.
- SEAL AIR TIGHT ANY PENETRATIONS MADE THROUGH AIR & VAPOR BARRIERS.
- PAINT ALL (N) AND (E) GWB & PLASTER FINISHES IN WORK AREA UNLESS NOTED.
- INTERIOR DIMENSIONS ARE INDICATED TO FINISH WALL (CMU OR GYPSUM BOARD) MATERIALS U.N.O.
- MEPPFP ELEMENTS SHOWN ARE SCHEMATIC AND ARE PROVIDED FOR REFERENCE ONLY. REFER TO MEPPFP DRAWINGS & SPECIFICATIONS FOR MORE INFORMATION.
- EXTERIOR MASONRY DIMENSIONS ARE INDICATED TO CENTERLINE OF JOINTS.
- WINDOW DIMENSIONS ARE TO CENTER LINE OF OPENING. DIMENSIONS ARE NOMINAL. SEE CURTAIN WALL, DOOR & WINDOW SCHEDULE AND DETAILS FOR ACTUAL OPENING DIMENSION REQUIRED.
- PROVIDE LEVELING COMPOUND AS REQ. FOR PROPER TILE INSTALLATION TO ACHIEVE SMOOTH LEVEL, FLUSH FINISH.
- ALL MATERIAL INSTALLATION TO BE LEVEL & PLUMB.
- SEE A130 SERIES FOR ALL FINISHES.

- GENERAL CONTRACTOR ON A DESIGN/BUILD BASIS.
- MEPPFP ELEMENTS SHOWN ARE SCHEMATIC AND ARE PROVIDED FOR REFERENCE ONLY. REFER TO MEPPFP DRAWINGS & SPECIFICATIONS FOR MORE INFORMATION.
 - ALL MEPPFP WORK IS TO BE PROVIDED BY THE GENERAL CONTRACTOR ON A DESIGN/BUILD BASIS.

PROJECT INFORMATION

25077 MACK'S APPLES RESTAURANT

230 Mammoth Rd.
Londonderry, NH 03053

FOR SITE PLAN APPROVAL

12/16/2025 3:02:03 PM

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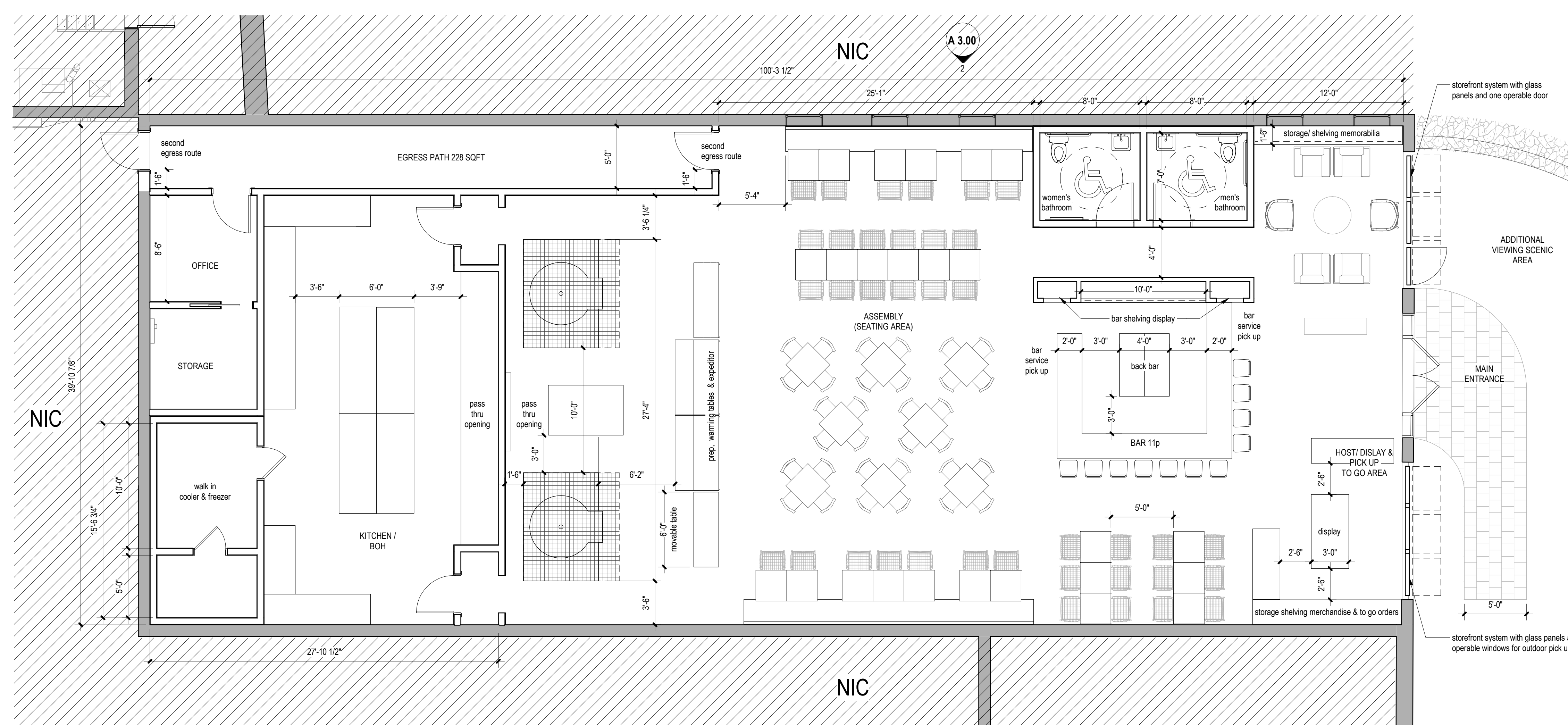
ISSUE CHART

NO.	DESCRIPTION	DATE
1	BUILDING DESIGN & RENDERINGS SECTION 3.12	12/16/2025

NO.	ISSUE	DATE
	PROJECT NUMBER	25077
	CHECKED	
	APPROVED	
	SCALE	As indicated
	SHEET NAME	

FLOOR PLAN PROPOSED

DATE: 12-18-2025
JOB NO: 5375-44
ARCH-01
SHEET 11 OF 12



1 FLOOR 01 - NEW CONSTRUCTION
3/16" = 1'-0"

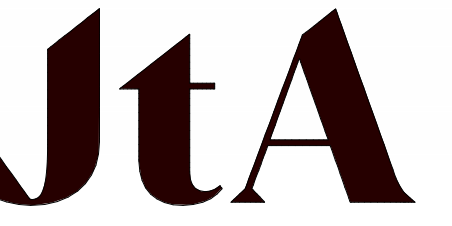


Moose Hill Orchards, LLC

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Londonderry, NH 03053

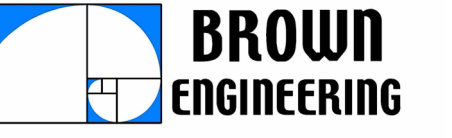
CLIENT

DESIGN FIRM



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t: +1(617) 764-3353 e: joe@joethearchitect.com
www.joethearchitect.com

CONSULTANT



BROWN ENGINEERING
34 Whittier Highway, Moultonborough, NH 03254

SEAL

PROJECT INFORMATION

25077 MACK'S APPLES RESTAURANT

230 Mammoth Rd.
Londonderry, NH 03053

FOR SITE PLAN APPROVAL

12/16/2025 3:11:16 PM

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ISSUE CHART

1 BUILDING DESIGN & RENDERINGS SECTION 3.12 12/16/2025

N ISSUE | DATE
PROJECT NUMBER

25077

CHECKER

APPROVED

APPROVER

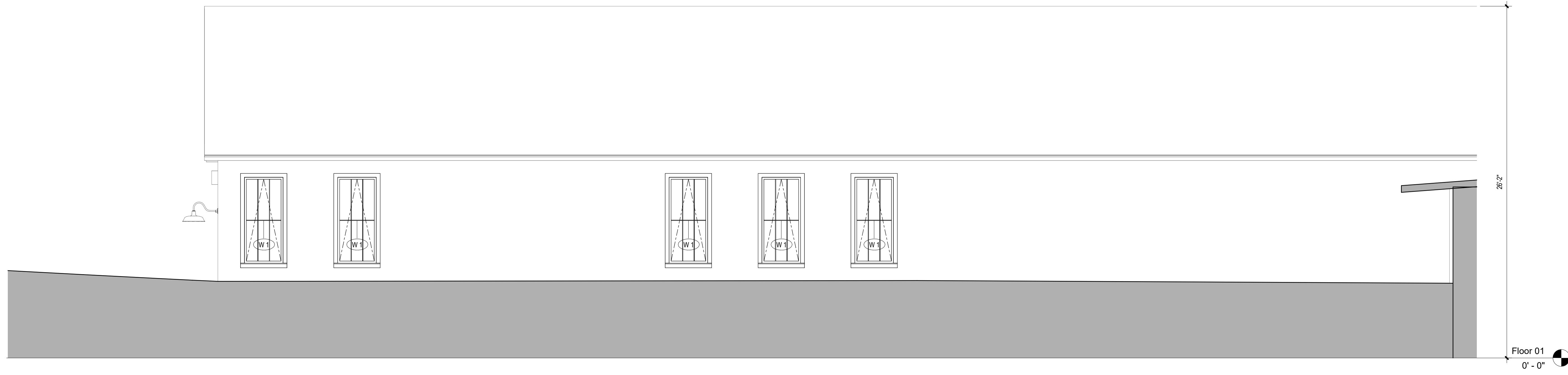
SCALE

1/4" = 1'-0"

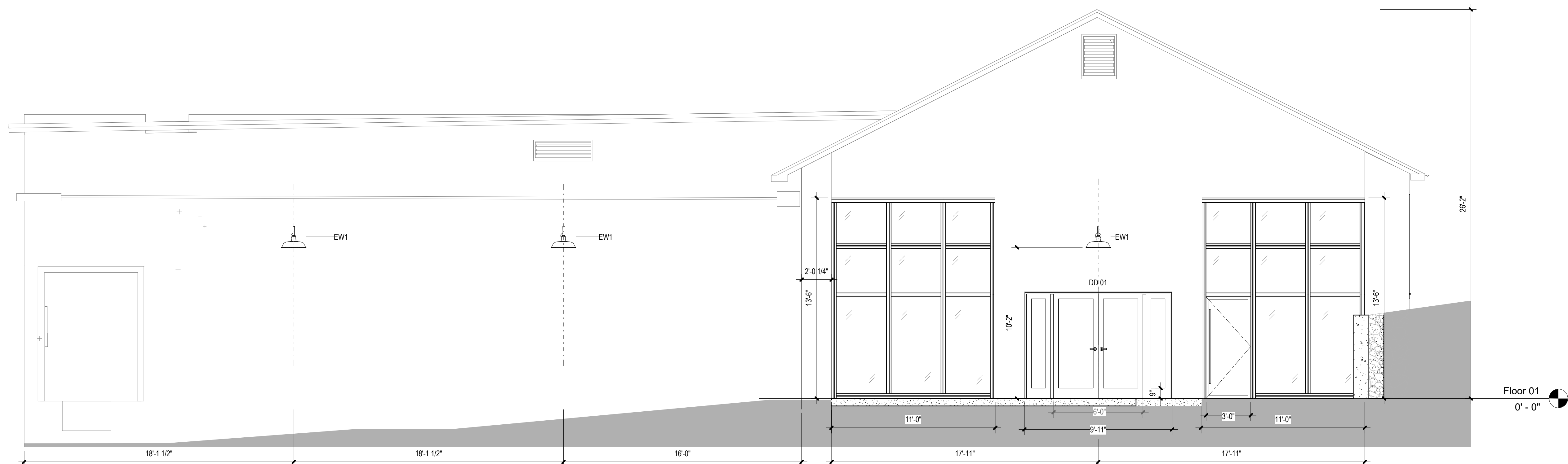
SHEET NAME

EXTERIOR ELEVATIONS PROPOSED

DATE: 12-18-2025
JOB NO: 5375-44
ARCH-01
SHEET 12 OF 12



2 EXTERIOR ELEVATION_SIDE
1/4" = 1'-0"



1 EXTERIOR ELEVATION_MAIN ENTRANCE
1/4" = 1'-0"