



**Town of Londonderry Planning Board**  
**268B Mammoth Road - Moose Hill Conference**  
**Agenda**  
**February 11 , 2026**  
**7:00 p.m.**

**I. Call to Order**

**II. Administrative Board Work**

- A. Approval of Minutes
- B. Regional Impact Determinations
- C. Discussions with Town Staff

**III. Old Business**

- A. Public hearing on an application for formal review of a subdivision to permit an organic waste processing facility in the Gateway Business (GB) district at 162 Litchfield Road (Map 14 Lot 39-2). Zoned Gateway Business (GB), PurposeEnergy-Londonderry, LLC (applicant), Nicholas F Codner Trust 2012 (owner). Continued from January 14, 2026

Documents:

[IV.B Staff Memo\\_162 Litchfield Subdivision\\_01.14.26\\_final.pdf](#)  
[162 subdivision.pdf](#)

- B. Public hearing on an application for formal review of a site plan and conditional use permits to permit an organic waste processing facility in the Gateway Business (GB) district at 162 Litchfield Road (Map 14 Lot 39-2). Zoned Gateway Business (GB), PurposeEnergy-Londonderry, LLC (applicant), Nicholas F Codner Trust 2012 (owner). Continued from January 14, 2026

Documents:

[IV.C Staff Memo\\_162 Litchfield SP CUP\\_01.14.26\\_final.pdf](#)  
[162.pdf](#)

**IV. New Plans/Conceptual Plans**

**V. Other Business**

A. Work Session - PUD Ordinance

**VI. Adjournment**



# Town of Londonderry, New Hampshire

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Planning & Economic Development Department  
268B Mammoth Road  
Town Hall – 2<sup>nd</sup> Floor

603-432-1100  
603-432-1128

[www.londonderrynh.org](http://www.londonderrynh.org)

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Planning – Zoning – Economic Development – Conservation

## MEMORANDUM

**TO:** Planning Board

**FROM:** Kristan Farr, Town Planner

**DATE:** January 14, 2026

**RE:** The Planning Board will hold a public hearing on an application for formal review of a subdivision to permit an organic waste processing facility in the Gateway Business (GB) district at 162 Litchfield Road (Map 14 Lot 39). Zoned Gateway Business (GB), PurposeEnergy-Londonderry, LLC (applicant), Nicholas F Codner Trust 2012 (owner).

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The application before the Board is a proposal to subdivide the lot to create a separate lot to construct an organic waste processing facility along with associated site improvements. The property is located at 162 Litchfield, in close proximity to Stonyfield Farm. A separate site plan and conditional use permit application is also under consideration pending subdivision approval.

The Board will need to consider action on completeness, three waiver requests and the subdivision application.

Completeness: There are four outstanding checklist items. If the Board decides to accept the application as complete, these items should be waived for **acceptance only**.

The applicant has not provided the following:

1. Checklist item II.6 and Subdivision Regulations 4.18.A-J: Easement deeds, protective covenants or other legal documents. Applicant notes they are pending.
2. Checklist item X.3 and Subdivision Regulations 3.08: Stormwater Report
3. Checklist item XI and Subdivision Regulations 4.14 and 4.18.E: NHDES wetlands permit and Londonderry Sewer Permit.
4. Subdivision Regulations 3.05,3.06, and 4.18.B and Checklist item X.7.a,b,c and e: Utility Clearance Letters-
  - Eversource letter (dated 4/4/25): references 225 Rockingham as the subject property. This must be corrected to reflect the actual property.
  - Comcast letter (undated): references 225 Rockingham as the subject property. This must be corrected to reflect the actual property.
  - Liberty Gas letter (dated 4/10/25): Submitted
  - Manchester Water Works: Will not provide a letter until permits are issued.
  - Federal Aviation Administration (FAA): Under 45-day review as of 12/17/2025.

Waivers:

1. The Applicant has requested a waiver from Londonderry Subdivision Regulation 3.10, 4.17 and Checklist item XI relating to HISS mapping requirements.
2. The Applicant has requested a waiver from Londonderry Subdivision Regulation(s) 3.05, 3.06, 3.07, 3.08, 4.16 and Checklist items X.3, VII.2a-b, VIII.13-18 and Exhibit D2 relating to technical design elements and improvement plan related information.
3. The Applicant has requested a partial waiver from Londonderry Subdivision Regulations 3.02.C and 4.12.c.14 and Checklist Item V.14 relating to the installation of markers along the Conservation Overlay District boundary.

**Remaining DRC Comments:**

1. Sheet 3-Sub-2 and Sheet 9-SUB 8: Indicate the location of the existing septic system on 162 Litchfield Road, overhead wire locations to the existing house and a drainage easement deed reference for the swale at the western side of existing lot 162 Litchfield Road.
  - a. *Update 1/9/2026: It is not clear where the call out and depiction of the effluent disposal area (EDA) stated as show in the 12/23 TFMoran response letter.*

**Staff recommends that that the Board vote with respect to any requested waivers utilizing the criteria from RSA 674:36 and Londonderry Subdivision and Site Plan Regulations Section 6.04 and 7.04 as noted below:**

In a case when the strict application of these regulations would:

- a. Result in peculiar and exceptional practical difficulties or exceptional and undue hardship upon the owner of the affected property; or
- b. An alternative site planning and building design approach meets the design objectives as stated in the regulations, equally well or better than would compliance with the regulations; and
- c. In either of the foregoing circumstances, the waiver may be granted without substantial detriment to the public good;

SUBDIVISION APPLICATION Recommendation:

A number of issues remain unresolved at this time, including the industrial discharge permit, traffic impacts, off-site improvements, and associated roadway easements. Staff and the applicant are working collaboratively to address these matters, and staff recommends a continuance to allow sufficient time for review.

**If the Board CONTINUES the application, it should be continued to February 11, 2026.**

- 1.

## MEMORANDUM

To: Planning Board

Date: January 14, 2026

From: Planning and Economic Development  
Department of Public Works & Engineering  
Stantec Consulting Services, Inc.

Re: Proposed Subdivision  
Map 14 Lot 39  
162 Litchfield Road and North  
Wentworth Avenue

Owner: Nicholas F. Codner Trust of 2012  
Applicant: PurposeEnergy-Londonderry

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TFMoran, Inc. submitted plans and supporting information for the above-referenced project. DRC and the Town's engineering consultant, Stantec Consulting Services Inc. reviewed the submitted plans and information, and review comments were forwarded to the Applicant's engineer. The Applicant submitted revised plans and information and we offer the following comments:

### **Checklist Items:**

1. The Applicant has not provided a stormwater analysis/report per section 3.08 of the Subdivision Regulations and item X.3 of the Subdivision Application & Checklist for the off-site improvements necessary for the extension of North Wentworth Avenue to the proposed new lot and to demonstrate the proposed improvements comply with section 3.08.A of no increase in runoff. The Applicant has submitted a written **waiver request** for this requirement for Planning Board consideration.
2. The Applicant's submission does not include a Topographic/High Intensity Soil Survey (HISS) or lot sizing calculations per sections 3.10 and 4.17 of the Subdivision Regulations and item VI.33 and X.1 of the Subdivision Application & Checklist. The Applicant has submitted a written **waiver request** for this requirement for Planning Board consideration.
3. The Applicant's revised plans do not indicate the proposed monuments for the limits of the CO District and the associated buffers on the plans per sections 3.02.C and 4.12.c.14 of the regulations and item V.14 of the checklist. The Applicant has submitted a written **waiver request** for this requirement to provide only some of the monuments for Planning Board consideration.
4. The revised submission includes a driveway design within the North Wentworth Avenue right-of way with the proposed sewer line to serve the proposed new lot at the end of North Wentworth Avenue, but the information for the proposed sewer service is incomplete. The revised plan set does not include the appropriate construction details for the proposed sewer utilities per sections, 4.16.B.1 and 2 and 4.16.D.13-18 of the Subdivision Regulation and items VII.2.a and b and VIII.13-18 of the checklist. The Applicant has submitted a written **waiver request** for these requirements for Planning Board Consideration.
5. The revised submission includes a driveway design within the North Wentworth Avenue right-of way with the proposed water, electric, communications and gas utilities to serve the proposed new lot at the end of North Wentworth Avenue, but the revised plan set does not include the appropriate construction details for the proposed roadway and utilities per sections 4.16.D.1, 4.16.D.3-4, 4.16.D.6, 4.16.D.8-9, 4.16.D.19-24 of the Subdivision Regulation and items VIII.1, VIII.3-4, VIII.6, VIII.8-9, VIII.19-24 of the checklist.
6. The Applicant has not provided proper utility clearance letters for communications (telephone/cable TV) or electric service for the new lot under this application per sections 3.05 and 4.18.B of the Subdivision Regulation and items X.7.a, b, and c, of the checklist. The

information provided in the Applicant's submission appears to be for a different project. We recommend the Applicant provide proper utility clearance letters that identify the development site in accordance with the regulations.

7. The revised design includes notes stating "Rights to build and maintain access, utilities and wayfinding signage..." relative to North Wentworth Avenue, but the submission does not include copies of the proposed rights, easement deeds, protective covenants, or other legal documents per section 2.06.A.9 and 4.18 of the Subdivision Regulations and item II.6 of the Subdivision Application & Checklist. It is unclear if the Town would grant rights as noted on the plan by the Applicant.
8. The driveway plan and profile provided with this latest submission indicates wetland and Conservation Overlay District (COD) impacts will occur, but the amount of wetland and COD impacts are not indicated on the plan per section 4.16.C.1.x of the regulations and item VII.3.a.10 of the checklist.

**Design Review Items:**

1. The submission information indicates the proposed lot to be created at the end of the North Wentworth Avenue right of way but the lot does not have the minimum linear frontage of 150 feet on a class V or better roadway as required per section 4.5.2.B of the Zoning Ordinance. As presented, the lot frontage for the proposed new lot is indicated to be only the width of existing right-of-way along the property line totaling to 62.96 feet and is less than one half of the minimum required by the Ordinance. The Applicant has submitted a conditional use permit document for this requirement for Planning Board Consideration.
2. The submission information indicates the proposed lot to be created at the end of the North Wentworth Avenue right of way but the lot does not have frontage on a class V or better roadway as required per section 4.5.2.B of the Zoning Ordinance and sections 3.09. A and B of the Subdivision Regulations. As presented, the lot does not have any frontage on a class V or better roadway since North Wentworth Avenue is not constructed to the property line of the subject parcel. We note the class V portion of North Wentworth Avenue is located more than 650 feet from the subject property line. The Applicant's response states the Town will convey rights to the Applicant that would require approval by the Town Council and Town Manager, but no supporting information was provided in the submission which indicates the Town Council and Town Manager would allow this conveyance of rights. It is unclear how this conveyance of rights would address and meet the requirement of having frontage on a class V roadway. The Applicant should provide documentation that clarifies how the proposed lot would have frontage on a class V or better roadway as acceptable to the Town. In addition, the Applicant should provide documentation from the Town Council and Town Manager indicating acknowledgment of the proposed request and general acceptance to convey rights for consideration by the Planning Board.
3. The submitted driveway plan and profile information within the North Wentworth Avenue right-of way does not appear to meet the roadway design requirements per section 3.09 of the Subdivision Regulations, and more specifically, 3.09.D – Circular terminus at the end, 3.09. K - Street cuts and fills, 3.09.P - Guardrail, and 3.09.Q - Underdrain, as examples. The Applicant's response states the Town will convey rights to the Applicant that would "...provide appropriate access to the Applicant while also alleviating the need for the Town to maintain a right of way that does not provide a benefit to the public..." The Applicant

further states approval by the Town Council and Town Manager is needed, but no supporting information was provided in the submission which indicates the Town Council and Town Manager would allow this conveyance of rights. The Applicant should provide documentation from the Town Council and Town Manager indicating acknowledgment of the proposed request and general acceptance to convey rights for consideration by the Planning Board.

4. The Applicant indicates the NHDES Wetland permit and Londonderry Sewer Discharge Permit have been submitted on the checklist. The Applicant should submit for and obtain all project permits, indicate the permit approval numbers on the cover sheet, and provide copies of all permits for the Planning Department files per sections 4.14 and 4.18.E of the Site Plan Regulations and Item XI of the Site Plan Application & Checklist.
5. The existing conditions plan sheet SUB-8 indicates a 15" stormwater pipe outlet exists from the stormwater system of Litchfield Road to a swale near the westerly property line on the subject property, but the revised plans do not indicate an existing drainage easement in this location. As noted previously, it is our understanding that the Town typically requests easements or flowage rights for maintenance purposes when existing roadway runoff discharges through adjacent properties.. We recommend a drainage easement or flowage rights be provided for the existing stormwater system as acceptable the Department of Engineering and Environmental Services.
6. Portions of the indicated right of way along Litchfield Road are less than 25 feet from the centerline of the existing roadway pavement. As noted previously, we understand that the Department of Engineering & Environmental Services typically requests that a minimum of 25 feet from the existing roadway centerline be provided along existing roads for future widening and maintenance, but the revised plans do not indicate an easement is provided. We recommend an easement be provided along Litchfield Road as acceptable to the Department.
7. The title block on the revised cover sheet states the subject property address is 25 North Wentworth Avenue and does not include the address of the subject parcel consistent with the subdivision plans -SUB-01-08. In addition, the Owners' name has been removed from the title block, which does not comply with section 4.02.E of the regulations. Also the Applicant's address has changed and does not match the address on title blocks on the subdivision plans -SUB-01-08. We note the same errors and omissions occur on the added plan sheets C-13 and SD-1. Please review and revise the title blocks to properly and consistently represent the project and application.
8. We recommend the Applicant clarify/address the following on the **Subdivision Plans**:
  - A. Please provide proper monuments along the property boundary that are missing on sheets SUB1-2, SUB4 and SUB6 and per sections 3.02.A & B, 4.12.C.4.ii and 4.17.A.4.ii of the regulations and items V.4.b and VI.4.b of the checklist. Please review and update all sheets accordingly.
  - B. Please confirm the proposed lot number designations and addresses with the Assessor per section 4.12.C.10 of the regulations and item V.10 of the checklist. Please update all plans accordingly.
  - C. Please provide building setback lines along the new property line per section 4.12.C.18 of the regulations and item V.18 of the checklist. In addition, please remove the building

setback lines from within the Conservation Easement since the construction of buildings is not permitted in the easement. Please update all plans accordingly.

9. The driveway plan and profile provided with this latest submission indicates the proposed 48" culvert will not have the minimum 36-inches of cover over the pipe per section 3.08.G.3 of the Subdivision Regulations. We recommend the Applicant revise the design in compliance with the regulations.
10. We recommend the Applicant update the sight distance plan to indicate the 1.5 ft. minimum clearance for all season conditions is provided in the profile and provide the sight distance certification per Exhibit D2 of the regulations.
11. We recommend the Applicant verify the DRC comments for the project are adequately addressed as applicable:
  - A. Please verify the comments of Planning Department have been adequately addressed with the Planning Department.
  - B. Please verify the comments of Assessing Department have been adequately addressed with the Assessing Department.
  - C. Please verify the comments of Police Department have been adequately addressed with the Fire Department
  - D. Please verify the comments of Fire Department have been adequately addressed with the Police Department.
  - E. Please verify the comments of Conservation Commission have been adequately addressed with the Conservation Commission.
  - F. Please verify the comments of Sewer Division have been adequately addressed with the Sewer Division.

**Board Action Items:**

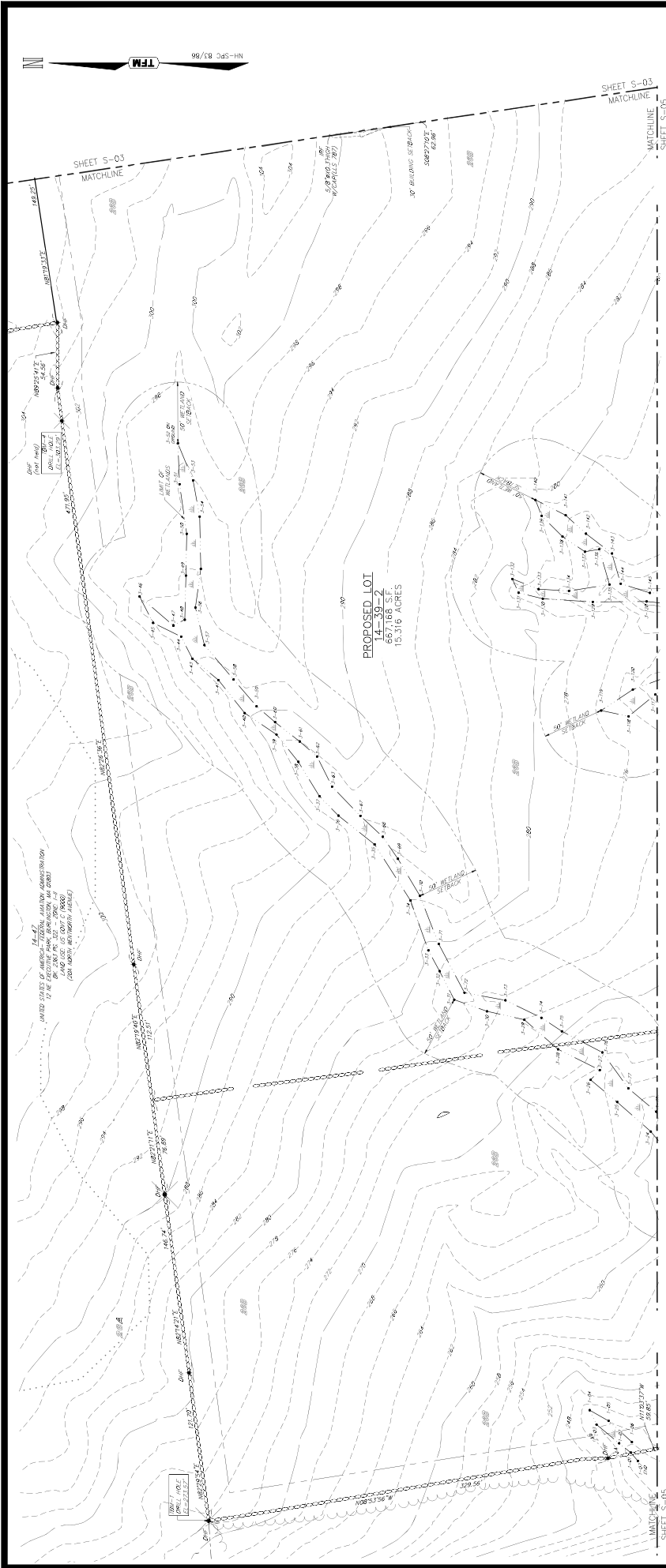
1. The Applicant has submitted three (3) separate waiver request letters relative to several separate requirements of the Subdivision Regulations as noted in the letters dated December 23, 2025. The Board should carefully review each letter and consider each of the waiver requests as part of the project review.
2. The Applicant is requesting a Conditional Use Permit (CUP) for the proposed subdivision frontage as noted in the document dated September 12, 2025. The Board will need to consider the Conditional Use Permit request as part of the review.
3. The Applicant is proposing improvements within the Conservation Overlay District (COD) for the proposed driveway access that will require a Conditional Use Permit (CUP) approval by the Planning Board. The Board will need to consider the Conditional Use Permit request as part of the review.



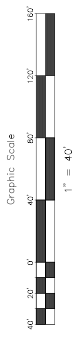








**PROPOSED LOT**  
 15.316 ACRES



TAX MAP 14 LOT 39.2 AND 39  
**SUBDIVISION PLAN**  
**LAND OF CODNER**  
**162 LITCHFIELD ROAD**  
**LONDONDERRY, NEW HAMPSHIRE**  
 PREPARED FOR:  
 CRAIG FOWLER (TRUSTEE)  
 NICHOLAS F. CODNER TRUST OF 2012  
 PURPOSENERGY/LONDONDERRY, LLC  
 PO BOX 4345, WINDHAM, NH 03087  
**SCALE: 1" = 40'**  
**SEPTEMBER 6, 2020**

**TFM**  
 Civil Engineers  
 Structural Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists  
 148 Constitution Drive  
 Bedford, NH 03110  
 Phone (603) 472-4488  
 Fax (603) 472-5947  
 www.tfm.com

16252.01  
 10/1/2020  
 2229/7230  
 18252-01 Survey  
 SUB-4 OF 8

**NRCS SOILS LEGEND**

SOILS INFORMATION SHOWN HEREON IS GRAPHICALLY REPRODUCED FROM THE LOCAL NATURAL  
 COUNTY, NEW HAMPSHIRE. SOILS INFORMATION SHOWN HEREON IS GRAPHICALLY REPRODUCED FROM THE LOCAL NATURAL  
 COUNTY, NEW HAMPSHIRE.

206A WINDSOR LOAMY SAND, 0 TO 3 PERCENT SLOPES  
 206B WINDSOR LOAMY SAND, 3 TO 8 PERCENT SLOPES  
 206C WINDSOR LOAMY SAND, 8 TO 15 PERCENT SLOPES  
 206E MONTAUK FINE SANDY LOAM, 0 TO 8 PERCENT SLOPES  
 415B SCARBORO MUCK, COASTAL LOWLAND, 0 TO 3 PERCENT SLOPES  
 5732B DEERFIELD LOAMY FINE SAND, 3 TO 8 PERCENT SLOPES

**WETLAND SCIENTIST CERTIFICATION**

JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED ON  
 THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS  
 THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTHERN AND  
 THE WETLANDS WERE IDENTIFIED USING FIELD INDICATORS OF WETLAND SOILS  
 THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA) DETERMINING WETLAND SOILS  
 DETERMINED USING THE USACE NATIONAL WETLAND PLANT LIST, NHP, 2016  
 VERSION: 10.11/17/17/ATLANTIC-COAST/USACE/NOAA

**LEGEND**

- STONE BOUND (FOUND)
- IRON PIN (FOUND)
- DRILL HOLE (FOUND)
- UTILITY POLE
- GUY WIRE
- WATER VALVE
- HYDRANT
- CATCH BASIN
- MANHOLE
- SIDE OF PAVEMENT
- BUILDING SETBACK
- ZONING DISTRICT BOUNDARY
- PROPERTY BOUNDARY
- EASEMENT LINE
- WATER LINE
- GAS LINE
- SEWER LINE
- ABUTTING PROPERTY LINE
- WETLAND DELINEATION
- WETLAND FLAG LOCATION
- WETLAND SETBACK
- DIRECTION OF DRAINAGE FLOW

CONTACT THE SALE TO BUSINESS  
 HOURS MADE BY TELEPHONE  
 1-800-451-7243



**Dig Safe**  
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 1-800-451-7243

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This plan is not effective unless signed by a duly authorized officer of  
 TFM, Inc.

REV.	DATE	REVISION/DESCRIPTION	BY	CHK
1	12-22-20	REVISED PER TOWN REVIEW COMMENTS	JD	LDK

**SURVEYOR'S CERTIFICATION**

I HEREBY CERTIFY THAT THE INFORMATION ON THIS PLAN WAS OBTAINED BY ME OR  
 THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS  
 ACCURATE AND TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF AND  
 SUBJECT TO THE USACE NATIONAL WETLAND PLANT LIST, NHP, 2016  
 VERSION: 10.11/17/17/ATLANTIC-COAST/USACE/NOAA

*Michael P. Darling*  
 12-22-2020  
 DATE

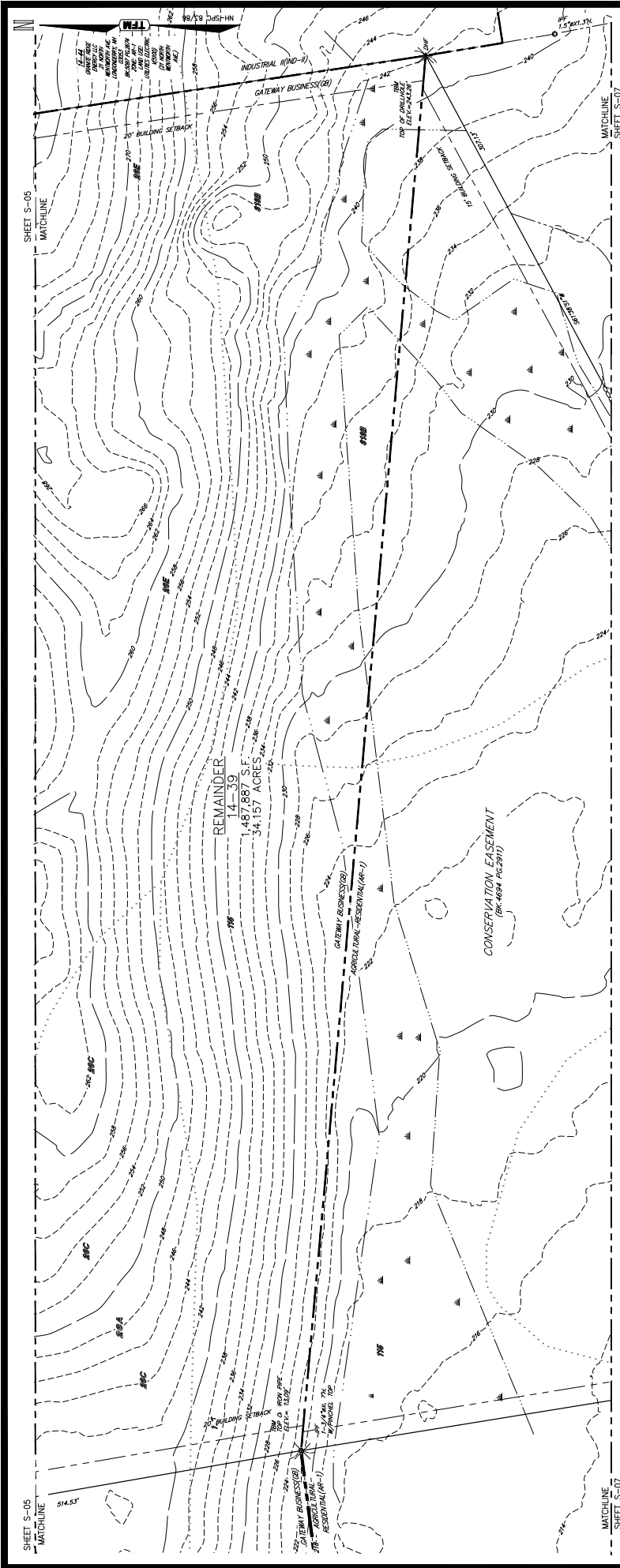
*Michael P. Darling*  
 12-22-2020  
 DATE

OWNER'S SIGNATURE  
 OWNER OR REPRESENTATIVE  
 12/22/2020  
 DATE



**WETLAND SCIENTIST CERTIFICATION**  
 JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED ON  
 THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS  
 THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTHERN AND  
 THE WETLANDS WERE IDENTIFIED USING FIELD INDICATORS OF WETLAND SOILS  
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 VERSION: 10.11/17/17/ATLANTIC-COAST/USACE/NOAA





**NRCS SOILS LEGEND**

SOILS INFORMATION SHOWN HEREON IS GRAPHICALLY REPRODUCED FROM THE USDA NATIONAL SOIL SURVEY DATA. GENERAL SYMBOLS, TERMINAL, COOPERATING SOIL SURVEY OF NEW HAMPSHIRE.

**200A** WINDSOR LOAMY SAND, 0 TO 3 PERCENT SLOPES  
**200B** WINDSOR LOAMY SAND, 3 TO 8 PERCENT SLOPES  
**200C** WINDSOR LOAMY SAND, 8 TO 15 PERCENT SLOPES  
**200E** WINDSOR LOAMY SAND, 15 TO 60 PERCENT SLOPES  
**400B** MONKHAUF FINE SANDY LOAM, 0 TO 8 PERCENT SLOPES, VERY STONY  
**710** SCARBOROUGH COASTAL LOWLAND, 0 TO 3 PERCENT SLOPES  
**870B** DEEPFIELD LOAMY FINE SAND, 3 TO 8 PERCENT SLOPES

**LEGEND**

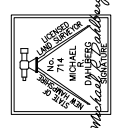
- SURVEY POINT (ROUND)
- BENCH MARK (ROUND)
- RAIL MILE (ROUND)
- UTILITY POLE
- GUY WIRE
- BENCHMARK
- WATER VALVE
- HYDRANT
- CATCH BASIN
- MAILBOX
- EDGE OF PAVEMENT
- BUILDING SETBACK
- DRIVEWAY SETBACK
- PROPERTY BOUNDARY
- EASEMENT LINE
- WATER LINE
- GAS LINE
- DRAIN LINE
- SEWER LINE
- ABUTTING PROPERTY LINE
- WETLAND FLAG LOCATION 5-12
- WETLAND SETBACK
- DIRECTION OF DRAINAGE FLOW

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 This plan is void unless countersigned by an active authorized officer of TFM, Inc.



**WETLAND NOTE**  
 WITHIN THE DESIGNATED WETLANDS, THE PROPOSED LOT LINES AND PROPERTY BOUNDARIES COULD BE SUBJECT TO FURTHER DELINEATION FROM PLANS AND RECORDS PREPARED FOR THIS SITE BY A LICENSED PROFESSIONAL ENGINEER AND A LICENSED SURVEYOR. REGISTRY OF DEEDS AS PLAN #20156 SHEET 28.

REV.	DATE	REVISED FOR	DESCRIPTION
1	12-22-2025	REVISED FOR	DR I OK



**SURVEYOR'S CERTIFICATION**  
 I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER AND A LICENSED SURVEYOR IN THE STATE OF NEW HAMPSHIRE. THE ACCURACY OF THIS PLAN IS GUARANTEED TO BE AT LEAST AS ACCURATE AS THE DATA PROVIDED TO ME BY THE CLIENT.

Michael R. Dunning  
 LICENSED LAND SURVEYOR DATE 12-22-2025

OWNER'S SIGNATURE \_\_\_\_\_ DATE 12-22-2025  
 OWNER OR REPRESENTATIVE

TAX MAP 14 LOT 39-2 AND 39  
**SUBDIVISION PLAN**  
**LAND OF COOPER**  
**162 LITCHFIELD ROAD**  
**LONDONDERRY, NEW HAMPSHIRE**  
 CRAIG FOWLER (REGISTERED)  
 NICHOLAS F. COOPER TRUST OF 2012  
 PREPARED FOR:  
 PURPOSES ENERGY-LONDONDERRY, LLC  
 PO BOX 4345, WINDHAM, NH 03087  
**SCALE: 1" = 40'**  
**SEPTEMBER 6, 2025**

**TFM**  
 Civil Engineers  
 Structural Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists  
 148 Constitution Drive  
 Bedford, NH 03110  
 Phone (603) 472-4488  
 Fax (603) 472-9747  
 www.tfm-inc.com

Bill TMB # 2221/2300  
 Chris MJD # 18252-01 Survey  
 SUB-6 OF 8











# Town of Londonderry, New Hampshire

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Planning & Economic Development Department  
268B Mammoth Road  
Town Hall – 2<sup>nd</sup> Floor

603-432-1100  
603-432-1128

[www.londonderrynh.org](http://www.londonderrynh.org)

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Planning – Zoning – Economic Development – Conservation

## MEMORANDUM

**TO:** Planning Board

**FROM:** Kristan Farr, Town Planner

**DATE:** January 14, 2026

**RE:** The Planning Board will hold a public hearing on an application for formal review of a site plan and conditional use permits to permit an organic waste processing facility in the Gateway Business (GB) district at 162 Litchfield Road (Map 14 Lot 39-2). Zoned Gateway Business (GB), PurposeEnergy-Londonderry, LLC (applicant), Nicholas F Codner Trust 2012 (owner).

---

The application before the Board is a proposal to construct a 106,702 sq ft organic waste processing facility along with associated site improvements. The project requires a conditional use permit for wetland buffer impacts associated with the development layout and access to the site. The property is located at 162 Litchfield, in close proximity to Stonyfield Farm.

The Board will need to consider action on completeness, five waiver requests, a conditional use permit and the site plan application.

Completeness: There are several outstanding checklist items. If the Board decides to accept the application as complete, these items should be waived for ***acceptance only***.

The applicant has not provided the following:

1. Checklist item II.6 and Subdivision Regulations 4.18.A-J: Easement deeds, protective covenants or other legal documents. Applicant notes they are pending.
2. Checklist item II.7: Traffic study. Applicant notes pending under separate submittal.
3. Checklist items XII.1,2, 3 8, 9, 10. 11: Required project permits
4. Checklist items XI.5: Utility clearance letters
  - a. Eversource letter (dated 4/4/25): references 225 Rockingham as the subject property. This must be corrected to reflect the actual property.
  - b. Comcast letter (undated): references 225 Rockingham as the subject property. This must be corrected to reflect the actual property.
  - c. Liberty Gas letter (dated 4/10/25): Submitted
  - d. Manchester Water Works: Will not provide a letter until permits are issued.
  - e. Federal Aviation Administration (FAA): Under 45-day review as of 12/17/2025.

5. Checklist item IX.2 SPR Section 3.12.g: Building Renderings/Architectural Design details regarding signage. Applicant notes this is to be addressed by future vendor.

Waivers:

*For Map 14, Lot 39 (162 Litchfield Road):*

1. The Applicant has requested a waiver from LSPR 3.10.g.1 relating to internal parking landscape area requirements and to allow elimination of the internal parking landscape area requirement.
2. The Applicant has requested a waiver from LSPR 3.09(d)(Table B) relating to parking requirements.

*For Map 14, Lot 39--1 (25 North Wentworth Avenue):*

1. The Applicant has requested a waiver from LSPR 3.10.g.1 relating to internal parking landscape area requirements and to allow elimination of the internal parking landscape area requirement.
2. The Applicant has requested a waiver from LSPR 3.09(d)(Table B) relating to parking requirements.
3. The Applicant has requested a waiver from LSPR 4.12.c.19.iii relating to showing trees greater than 15" in diameter and specifying the species on the subdivision plans.

**Staff recommends that that the Board vote with respect to any requested waivers utilizing the criteria from RSA 674:36 and Londonderry Subdivision and Site Plan Regulations Section 6.04 and 7.04 as noted below:**

In a case when the strict application of these regulations would:

- a. Result in peculiar and exceptional practical difficulties or exceptional and undue hardship upon the owner of the affected property; or
- b. An alternative site planning and building design approach meets the design objectives as stated in the regulations, equally well or better than would compliance with the regulations; and
- c. In either of the foregoing circumstances, the waiver may be granted without substantial detriment to the public good;

**Conditional Use Permit (COD):** The applicant is requesting two Conditional Use Permits (CUP) per Londonderry Zoning Ordinance Section 4.6.1.4.A and 4.5.2.B.

**CUP for LZO Section 4.6.1.4.A-Conservation Overlay District**

1. The Applicant has requested a Conditional Use Permit to allow permitted use in the Conservation Overlay District. **The Conservation Commission reviewed the CUP** at their June 2025 meeting and issued a recommendation to approve for a Conservation Overlay District Buffer Reduction (LZO 4.6.1.A)

CUP Recommendation: Based on the information available to date, staff recommends that the Planning Board APPROVE the CONDITIONAL USE PERMIT (CUP) for a Conservation Overlay District Buffer Reduction (LZO 4.6.1.A) with the Notice of Decision to read substantially as follows:

**Board Action Required:** Motion to grant approval of the Conditional Use Permit (CUP) for a Conservation Overlay District Buffer Reduction (LZO 4.6.1.A) approximately 8,937 square feet of permanent and 348 square feet of temporary wetlands impact and 117,210 square feet of buffer impacts for the construction of an approximately 11.23-acre organic waste processing facility along with associated site improvements.

#### **CUP for LZO Section 4.5.2.B-Gateway Business District**

1. The Applicant has requested a Conditional Use Permit for dimensional relief from the minimum required 150-ft of frontage per LZO Section 4.5.2.B. This may be allowed in the Gateway Business District for projects that are truly supportive of the goals of the Gateway Business District as noted in LZO Section 4.5.3.A and where such adjustments would allow the developer to more fully meet the goals and objectives of the Gateway Business District (Noted below)

***4.5.1 Objectives and Characteristics*** *The Gateway Business District (GB) is intended to allow for the development of gateways to the Town of Londonderry, centers of commerce, and employment centers for the Southern NH region. It is the desire of the Town of Londonderry that all of these activities be developed in a manner that both serves the business interests contained in the district, and in a manner that that conveys a campus atmosphere to those arriving here. Traffic circulation and alternate modes of transportation need to be provided for, as does parking for employees and visitors alike. A wide variety of industrial, supporting commercial development, and open space & recreational amenities are desired, in accordance with the various planning efforts undertaken by the Town in recent years (primarily the 2004 Master Plan which includes the 2003 Londonderry Business Park Design Charrette, and any other planning efforts as completed and applicable). All of these activities are envisioned as being developed in a manner that involves quality design of landscaping, a high level of quality in individual building and site design which takes into account the context of the site in its natural environment, and flexibility on the part of the Town so as to achieve the design suggested in those documents*

**CUP Recommendation:** Based on the information available to date, staff recommends that the Planning Board APPROVE the CONDITIONAL USE PERMIT (CUP) for dimensional relief from LZO Section 4.5.2.B with the Notice of Decision to read substantially as follows:

**Board Action Required:** Motion to grant approval of the Conditional Use Permit (CUP) for dimensional relief from LZO Section 4.5.2.B to allow less than the required 150 feet of frontage for the construction of an approximately 11.23-acre organic waste processing facility along with associated site improvements.

#### **SITE PLAN APPLICATION Recommendation:**

A number of issues remain unresolved at this time, including the industrial discharge permit, traffic impacts, off-site improvements, and associated roadway easements. Staff and the applicant are working collaboratively to address these matters, and staff recommends a continuance to allow sufficient time for review.

**If the Board CONTINUES the application, it should be continued to February 11, 2026.**

## MEMORANDUM

To: Planning Board

Date: January 14, 2026

From: Planning and Economic Development  
Department of Public Works & Engineering  
Stantec Consulting Services, Inc.

Re: Southern NH Green Energy Site  
Map 14 Lot 39-2  
25 North Wentworth Avenue

Owner: Nicholas F. Codner Trust of 2012  
Applicant: PurposeEnergy-Londonderry

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TFMoran, Inc. submitted plans and supporting information for the above-referenced project. DRC and the Town's engineering consultant, Stantec Consulting Services Inc. reviewed the submitted plans and information, and review comments were forwarded to the Applicant's engineer. The Applicant submitted revised plans and information and we offer the following comments:

### **Checklist Items:**

1. The Applicant's existing conditions plans do not indicate the trees greater than 15" in diameter and species per section 4.12.c.19.viii of the Site Plan Regulations and item VI.1.v of the Site Plan Application & Checklist. The Applicant has submitted a written **waiver request** for these requirements for Planning Board Consideration.
2. The Applicant has not provided proper utility clearance letters for communications (telephone/cable TV) or electric service for the new lot under this application per sections 3.04 and 4.18.B of the Site Plan Regulation and items XI.5.a, b, and c, of the Site Plan Application & Checklist. The information provided in the Applicant's latest submission appears to be for a different project. We recommend the Applicant provide proper utility clearance letters that identify the development site in accordance with the regulations.
3. The revised design includes notes stating "Rights to build and maintain access, utilities and wayfinding signage..." relative to North Wentworth Avenue, but the submission does not include copies of the proposed rights, easement deeds, protective covenants, or other legal documents per section 2.05.a.9 and 4.18 of the Site Plan Regulations and item II.5 of the Site Plan Application & Checklist. It is unclear if the Town would grant rights as noted on the plan by the Applicant.
4. The Applicant's submission does not include information for the off-site improvements of the separate "Feedstock" sewer force main to serve the site and the associated off-site layout within and crossing North Wentworth Avenue per sections 3.06 and 4.14.b.1 and 2 of the Site Plan Regulations and item XI.4 of the Site Plan Application & Checklist. The revised submission has removed the "Feedstock" force main piping from the site layout and it is unknown if the proposed sewer system would conflict with site utilities as was noted previously. The submission information indicates the Applicant proposes to construct a separate and private sewer force main within the North Wentworth Avenue roadway that extends beyond the existing sewer manhole that will cross the roadway and extend to and within the Stonyfield Yogurt facility. It is our understanding private utilities are not allowed in the public roadways. In addition, there is no information in the application from Stonyfield Yogurt stating any agreement to work on their property or agreement to provide processing materials to the proposed facility as implied.
5. The revised cover sheet and site development plans does not include the property Owner's name and address per section 4.02.E of the Site Plan Regulations and item III.2.e of the Site Plan Application & Checklist.

**Design Review Items:**

1. The Applicant's design does not comply with or provide the minimum parking spaces of 64 spaces per section 3.09.d.9 and Table B of the Site Plan Regulations and item IV.1.g of the checklist. The Applicant indicates 23 parking spaces are to be provided. The Applicant has submitted a written **waiver request** for these requirements for Planning Board Consideration.
2. The Applicant's project site design does not provide the minimum internal landscaping per section 3.10.g of the Site Plan Regulations and item VII.2 of the checklist. The Applicant has submitted a written **waiver request** for these requirements for Planning Board Consideration.
3. The submission information indicates the Applicant proposes to construct a private driveway within the Town's existing roadway right-of-way to the subject lot, but the proposed improvements do not appear to comply with section 3.09 of the Subdivision Regulations including the roadway width, proper cul-de-sac terminus, embankment slopes, underdrain, etc. to provide the necessary improvements for a class V or better roadway to serve the site as required per section 4.5.2.B of the Zoning Ordinance, section 3.09.A of the Subdivision Regulations and section 3.08.a of the Site Plan Regulations. The Applicant's response states the Town will convey rights to the Applicant that would "...provide appropriate access to the Applicant while also alleviating the need for the Town to maintain a right of way that does not provide a benefit to the public..." The Applicant further states approval by the Town Council and Town Manager is needed, but no supporting information was provided in the submission which indicates the Town Council and Town Manager would allow this conveyance of rights and deviate from the design requirements of a roadway in a Town right-of-way. The Applicant should provide documentation from the Town Council and Town Manager indicating acknowledgment of the proposed request and general acceptance to convey rights for consideration by the Planning Board.
4. The Applicant's revised design has modified the Town's typical catch basin detail to eliminate the 3-foot sump that does not comply with exhibit D-104. The typical catch basin design with a sump is part of the Town's original 2003 MS4 permit to achieve compliance and is a standard pre-treatment measure under NHDES Alteration of Terrain. The Applicant shall revise the design to provide a proper catch sump in accordance with exhibit D-104 and the Town's MS4 permit. The drainage structure table shall be revised accordingly.
5. The Applicant's revised stormwater design indicated CB 17 and CB18 with structures greater than 18 feet deep and do not comply with section 3.07.h of the regulations. The Applicant shall revise the design to provide stormwater structures in compliance with the regulations.
6. The Applicant's revised design has modified the Town's typical outlet structure detail to eliminate the 1-foot sump that does not comply with exhibit D-108. The Applicant shall revise the design to provide a proper outlet structure in accordance with exhibit D-108.
7. The Applicant indicates the NHDES Sewer Discharge Permit, NHDES Alteration of Terrain Permit, NHDES Wetlands Permit, NHDES Solid Waste Permits, Army Corps of Engineers Permit, Londonderry Sewer Discharge Permit, and Town of Londonderry Stormwater Permit are to be submitted on the checklist. With the project in close proximity to the Manchester Airport, FAA permits are applicable, but appear absent from the submission. The Applicant should submit for and obtain all project permits, indicate the permit approval numbers in the permit list on the cover sheet and provide copies of all permits for the Planning Department files per

- sections 4.13 and 4.18.e of the Site Plan Regulations and Item XII of the Site Plan Application & Checklist.
8. The Applicant's submission did not include information to demonstrate the project would meet the performance standards noted in section 5.16 of the Zoning Ordinance per item II.7 of the checklist. We recommend the Applicant provide documentation that the proposed project would meet the Londonderry performance standards for consideration by the Planning Board.
  9. The Applicant has implied the project will create "biogas" as a result of the proposed industrial processing and the "biogas" will be injected into the local natural gas network, but the plans do not include any details or information relative to this process or acknowledgement or agreement by the local utility provider whether a connection into the utility network would be allowed. The Applicant should provide documentation from the local utility provider indicating acknowledgment of the proposed injection into the local gas network and general acceptance to allow the connection for consideration by the Planning Board.
  10. We recommend the Applicant clarify/address the following on the **Existing Conditions Plans**:
    - a. Please provide a proper monument along the northerly property boundary that is missing per sections 3.02 and 4.12.c.4.ii of the regulations and items V.3.b of the checklist. Please review and update all sheets accordingly.
    - b. Please provide a building setback line along the southerly property line per section 4.12.c.17 of the regulations and item V.14 of the checklist.
    - c. Please update the title block to indicate the proper lot number and the address of the subject lot. In addition, please correct the Applicant's name and address which is inconsistent with the site plans and application.
    - d. Note 4 is incorrect for the subject lot which does not contain any AR-1 zoned property. Please update accordingly.
    - e. Notes 9 and 10 make reference to sheets that are absent for the submission. Please review and revise accordingly.
    - f. The plan notes make reference to lot 39, but the subject lot is 39-2. We recommend the Applicant review and update the notes to properly reference the subject lot.
    - g. We recommend the Applicant label the subject lot number and area on the plan view consistent with the separate subdivision application for clarity and consistency.
    - h. Please indicate the location of the existing overhead utility lines per section 4.12.c.22 of the regulations and item V.18 of the checklist.
    - i. Please update the plan notes to reference the subdivision plan that creates the subject lot per section 4.12.c.2 of the regulations and item V.19 of the checklist.
  11. We recommend the Applicant clarify/address the following on the **Overall Site Plan, Site Grading Plan, Site Utility Plan, Site Layout Plan, and Erosion Control Plans**:
    - a. We recommend the Applicant clarify/address the days of operation in note 4 on sheet C-05.
    - b. The site plan labels several site specific features such as Tribrid- Bioreactor, FET, 15,000 gallon tanks, enclosed flare, etc., but plans and details of these site features are absent from the submission. It is unclear what the height is for these features at the project site which is located near the Manchester Airport. In addition, it is unknown how the features are related/connected to the processing systems and how the separate buildings are connected with the processing systems. Please review and provide additional plans and

details to clarify each proposed feature and the interconnections, as well as heights to document any impacts to the flight zones of the Airport and as required for FAA permitting.

- c. The plans identify a Hydrogen Sulfide Media area that would appear to be a hazardous materials concern and likely requires review by the Fire Department. We note this location is in proximity to the noted interconnection facility that is shown with several boxes, circles and squares, but no other information. We recommend the Applicant provide additional detailed information relative to the proposed processes at the site. In addition, please provide supporting information so the Fire Department is aware of the proposed Hydrogen Sulfide Media area.
- d. The Applicant has not indicated or addressed outside storage in the application or on the plans per section 4.5.2.F of the Zoning Ordinance. We note the site plan does indicate dumpsters/compactors and a separate biosolids storage bin which are considered outside storage. We recommend the Applicant clarify if any additional outside storage is proposed for this project and provide notes on the site plan accordingly. It is unclear that compliance per section 4.5.2.F.2 of the Zoning Ordinance has been demonstrated.
- e. We recommend the Applicant verify the fire hydrant and service locations to the buildings with the Londonderry Fire Department per item VI.1.2.d.2 of the checklist. Please update the plans acceptable to the Fire Department.
- f. Please label the proposed curbing type on the site plan. We note the driveway design indicates the proposed site curbing extending into the existing uncurbed cul-se sac right of way that is typically not allowed by the Department of Engineering and Environmental Services. Please remove the curb in the right of way, review the design with the Department, and update as acceptable to the Department.
- g. The revised grading design indicates a proposed retaining wall at the southwesterly portion of the site that varies from 14-17 feet in height that is considered a structure, but the plans do not address the design. A retaining wall design and submission for a building permit is needed. Please update the site plan to provide appropriate notes as acceptable to the Town.
- h. Please update the utility plan to indicate the utility lines serving the proposed lights.
- i. Please update the site sewer plan to indicate and label the SMH 10 in the depacking profile. In addition, a waterline crossing near sta. 0+40 and drain crossing near sta. 3+15 are missing from the main profile. Please review and verify utility crossings are shown in the plan and provide views. In addition we recommend that all drop manholes in the profile be labeled as 5 ft. dia. For proper construction.
- j. The proposed embankment grading along the westerly side of the site and the embankment grading along the southerly side of the site from the proposed pavement to the edge of wetlands shown on sheet C-07, are shown at 2H:1V which does not provide a proper 3H:1V embankment as typically requested by the Town for proper maintenance of large slopes. We note these embankment areas have slopes from 20 to 30 feet in height. We recommend the grading design be revised to 3H:1V in all locations on the site as typically requested by the Town. It is our understanding that the Town requests slopes steeper than 3H:1V, when allowed, to be riprap. Please revise as acceptable to the Department of Engineering and Environmental Services.
- k. The utility plan indicates two industrial wastewater tanks are proposed as being points of compliance. Please review and verify the tanks are appropriately sized for the intended significant industrial discharge, type of discharge and are appropriately accessible and acceptable to the Sewer Division.

12. We recommend the Applicant clarify/address the following on the **Driveway, Force main and Water Plan and Profile Sheets:**
- a. Please update the driveway profile to indicate and include DMH1 and the pipe connection from CB2. In addition, please correct the water line label.
  - b. Please indicate and label a stop sign and stop bar at the end of the driveway and the proposed overhead wires on the driveway plan.
  - c. The latest submission indicates the proposed 48" culvert will not have the minimum 36-inches of cover over the pipe per section 3.08.G.3 of the Subdivision Regulations. We recommend the Applicant revise the design in compliance with the regulations.
  - d. The proposed sewer force main is indicated at 5 feet from the edge of easement and does not appear to be constructable at that location within the 20-foot easement. In addition, the plan implies the clearing limits would only be to the edge of the pipeline and does not appear to properly represent the clearing limits associated with proper construction. Please note sheet C-14 indicates a portion of the clearing limits would be outside the easement, but no documentation that the abutter has allowed the impacts was included with the submission. Please revise to provide a proper design and clearing limits within the easement or documentation the abutter has agreed to impacts outside the easement limits. In addition please label the limits of sawcut on the plans for proper construction.
  - e. The proposed sewer force main plan indicates a second unlabeled sewer line (feedstock?) in the plan view but this proposed sewer line is absent from the profiles and does not include/address the pipe size, pipe material, etc. per section 4.14.b.2.ii of the regulations and item VI2.b.2 of the checklist. It is unknown if this sewer pipe is the same size as the site service line and if the intent is to have them constructed in the same trench at the same time. We note the beginning and final endpoint of this sewer line on the site are absent from these plans. We recommend the Applicant update the plan accordingly and provide additional design information as acceptable to the Sewer Division.
  - f. Please update the waterline profile to properly indicate the 48" culvert consistent with the plan view.
13. We recommend the Applicant update the sight distance plan to indicate the 1.5 ft. minimum clearance for all season conditions is provided in the profile and provide the sight distance certification per Exhibit D2 of the regulations.
14. We recommend the Applicant clarify/address the following on the **Construction Details:**
- a. Please provide a construction detail for the following items noted on the site/grading plans:
    - Interconnection facility
    - Scale
    - Biosolids storage bin
    - 15,000 gallon tanks
    - Tribid-bioreactor
    - FET
    - Biogas upgrading yard
    - Biogas water KO
    - Enclosed flare
    - H2S media laydown area
  - b. Please update the internal drop sewer manhole detail on sheet D-10 to be the current design with an inside drop bowl meeting approval of the Sewer Division.

- c. We understand the sewer design and details will be reviewed by the Sewer Division and recommend the Applicant coordinate the review with the Sewer Division. Please update acceptable to the Sewer Division.
  - d. The outlet structure design on sheet D-22 notes a 3'x3" galvanized steel grate in the elevation view that conflicts with other detail information that notes different sizes for the top grate. Also, detail does not properly indicate the elevations for C and B for filtration basin #1 consistent with the stormwater report. Please review and revise accordingly.
  - e. Please label the proposed embankment slopes on the basin details for proper construction on sheets D-23 and D-24.
15. We recommend the Applicant address the following relative to the **Project Drainage Analysis**:
- a. The revised analysis does not include or address the indicated development impacts to lot 44-38 for the proposed sewer easement or the development impact to the North Wentworth Avenue right-of way north of the cul-de-sac as a result of the project development per section 3.07.A of the regulations. The revised report states the proposed subdivision does not discharge to lot 44-38 but the proposed clearing along the sewer easement is not addressed and it is unclear that the design meets compliance with the regulations - no increase in runoff. The Applicant shall revise the analysis to clarify and demonstrate compliance with the regulations is achieved.
  - b. It is unclear that the Applicant has assessed the impacts for the off-site sewer connection or the separate off-site sewer service connection from Stonyfield under this project. Please review and provide additional supporting information to substantiate the existing conditions assumptions of the analysis are complete and representative of the proposed project impacts. Please update the post development analysis as applicable and clarify compliance is achieved – no increase in runoff.
  - c. The revised predevelopment approach include new Link 1 noted as "StreamStats flow" that flows to ES3 and a new reach through ES3, but no supporting information was provided to clarify the contributing area and indicate this new link is associated with the upstream area of this project. We recommend the Applicant clarify the upstream flow contributing to the Town's existing unimproved roadway. Please provide additional information to support the analysis approach is representative of the existing conditions flow contributing to the Town's existing unimproved roadway and the proposed site development under this project.
  - d. The predevelopment Tc for subcatchment ES2 does not begin at the highest point consistent with subcatchment ES1 and post subcatchment PS5 and provide a proper evaluation of the downstream impacts. Please revise the Tc in the ES2 predevelopment calculations according and demonstrate compliance is achieved – no increase in runoff.
  - e. The revised analysis indicates subcatchment PSM1 flowing through Reach 2R, but the swale is located wholly within the subcatchment which is incorrect as the swales should not be counted within the Tc within the subcatchment. We would anticipate the analysis would only indicate the upstream subcatchments flowing through downstream swales and not through swales within the subcatchment. Please review and revise the analysis accordingly.
  - f. The revised analysis indicates subcatchment PS40 flowing through Reach 1R, but the swale is located wholly within the subcatchment which is incorrect as the swales should not be counted within the Tc within the subcatchment. We would anticipate the analysis would only indicate the upstream subcatchments flowing through downstream swales and not through swales within the subcatchment. Please review and revise the analysis accordingly.

- g. Please update the post subcatchment PS21 calculations to include the riprap and a proper amount of area for the 120 feet of retaining walls and demonstrate compliance is achieved – no increase in runoff. In addition, please update the subcatchment PS3 calculations to include the retaining walls.
  - h. Please revise the post subcatchment PSP2 calculations to include the riprap and pond conditions and demonstrate compliance is achieved – no increase in runoff.
  - i. The report includes an Inspection and Maintenance (I&M) manual for the stormwater management systems. We recommend the Applicant update the I&M Plan to include and address the following:
    - 1. Please update to address the access drive culvert (North Wentworth Avenue) in the I&M document and checklist. Please update as acceptable to the Department of Engineering and Environmental Services. The information in the plan set shall also be updated.
    - 2. Please update to address the maintenance of the outlet pipes and headwalls from the basins. Please update as acceptable to the Department of Engineering and Environmental Services. The information in the plan set shall also be updated.
16. We recommend the Applicant address the following relative to the submitted **SWPPP**:
- a. Section 1.2 has not identified a site contractor. Please update the document accordingly.
  - b. The stormwater team and certification per sections 6.1 and 7 of the document and parts 6.1 and 7.2.2 of the CGP indicating the inspector has the necessary training and is a “qualified person” in accordance with CGP are absent. Please update the document accordingly.
  - c. The signatures for the certification under section 8 and Appendix G of the document were absent. Please update accordingly.
  - d. An NOI application approval from EPA under Appendix C of the document was missing. Please update accordingly.
  - e. The SWPPP submission does not appear to address the off-site utility construction for the sewer force main from Stonyfield to serve the site. Please clarify/document how this work associated with the project will be addressed in this SWPPP and/or another SWPPP.
  - f. A condition of the Londonderry Stormwater Permit will be the SWPPP reports shall be provided via e-mail to the Town at the same time they are provided to the Contractor and Owner.
17. The Applicant provided updated traffic report information. We recommend the Applicant address the traffic review comments noted in Stantec’s letter dated January 14, 2026 as acceptable to the Town.
18. We recommend the Applicant verify the DRC comments for the project are adequately addressed as applicable:
- A. Please verify the comments of Planning Department have been adequately addressed with the Planning Department.
  - B. Please verify the comments of Assessing Department have been adequately addressed with the Assessing Department.
  - C. Please verify the comments of Police Department have been adequately addressed with the Fire Department
  - D. Please verify the comments of Fire Department have been adequately addressed with the Police Department.

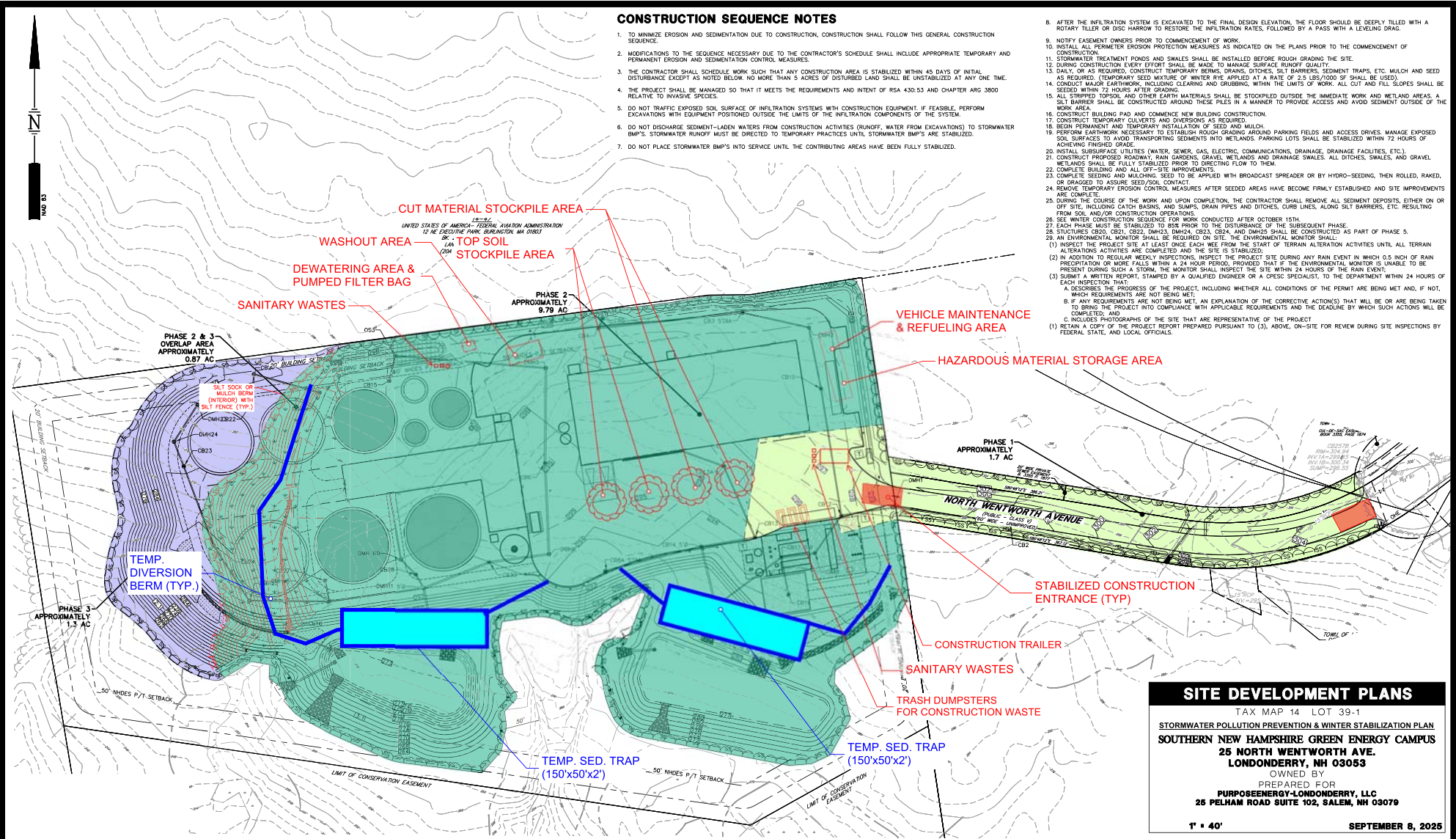
- E. Please verify the comments of Conservation Commission have been adequately addressed with the Conservation Commission.
- F. Please verify the comments of Sewer Division have been adequately addressed with the Sewer Division.

**Board Action Items:**

1. The Applicant has submitted three (3) separate waiver request letters relative to several separate requirements of the Site Plan Regulations as noted in the letters dated December 23, 2025. The Board should carefully review each letter and consider each of the waiver requests as part of the project review.
2. The Applicant is proposing to fill wetlands and alter grading within the Conservation Overlay District (COD) for the proposed site development that will require a Conditional Use Permit (CUP) approval by the Planning Board. The Board will need to consider the Conditional Use Permit request as part of the review.

### CONSTRUCTION SEQUENCE NOTES

1. TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE.
2. MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.
3. THE CONTRACTOR SHALL SCHEDULE WORK SUCH THAT ANY CONSTRUCTION AREA IS STABILIZED WITHIN 40 DAYS OF INITIAL DISTURBANCE EXCEPT AS NOTED BELOW. NO MORE THAN 5 ACRES OF DISTURBED LAND SHALL BE UNSTABILIZED AT ANY ONE TIME.
4. THE PROJECT SHALL BE MANAGED SO THAT IT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARG 3900 RELATIVE TO INVASIVE SPECIES.
5. DO NOT TRAFFIC EXPOSED SOIL SURFACE OF INFILTRATION SYSTEMS WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
6. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO STORMWATER BMP'S. STORMWATER RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMP'S ARE STABILIZED.
7. DO NOT PLACE STORMWATER BMP'S INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
8. AFTER THE INFILTRATION SYSTEM IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE THE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
9. NOTIFY EASEMENT OWNERS PRIOR TO COMMENCEMENT OF WORK.
10. INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
11. STORMWATER TREATMENT PONDS AND SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING OF THE SITE.
12. DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MAINTAIN SURFACE RUNOFF QUALITY.
13. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED. (TEMPORARY SEED MIXTURE OF WINTER RYE APPLIED AT A RATE OF 2.5 LBS/1000 SF SHALL BE USED).
14. CONDUCT MAJOR EARTHWORK, INCLUDING CLEARING AND GRUBBING, WITHIN THE LIMITS OF WORK. ALL CUT AND FILL SLOPES SHALL BE SEED WITHIN 72 HOURS AFTER GRADING.
15. ALL STRIPPED TOPSOIL AND OTHER EARTH MATERIALS SHALL BE STOCKPILED OUTSIDE THE IMMEDIATE WORK AND WETLAND AREAS. A SILT BARRIER SHALL BE CONSTRUCTED AROUND THESE PILES IN A MANNER TO PROVIDE ACCESS AND AVOID SEDIMENT OUTSIDE OF THE WORK AREA.
16. CONSTRUCT BUILDING PAD AND COMMENCE NEW BUILDING CONSTRUCTION.
17. CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.
18. BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH.
19. PERFORM EARTHWORK NECESSARY TO ESTABLISH ROUGH GRADING AROUND PARKING FIELDS AND ACCESS DRIVES. MANAGE EXPOSED SOIL SURFACES TO AVOID TRANSPORTING SEDIMENTS INTO WETLANDS. PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
20. INSTALL SUBSURFACE UTILITIES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, DRAINAGE, DRAINAGE FACILITIES, ETC.).
21. CONSTRUCT PROPOSED ROADWAY, RAIN GARDENS, GRAVEL WETLANDS AND DRAINAGE SWALES. ALL DITCHES, SWALES, AND GRAVEL WETLANDS SHALL BE FULLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
22. COMPLETE BUILDING AND ALL OFF-SITE IMPROVEMENTS.
23. COMPLETE SEEDING AND MULCHING. SEED TO BE APPLIED WITH BROADCAST SPREADER OR BY HYDRO-SEEDING, THEN ROLLED, RAKED, OR DRAGGED TO ASSURE SEED/SOIL CONTACT.
24. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE BECOME FIRMLY ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE.
25. DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, INCLUDING CATCH BASINS, AND SUMPS, DRAIN PIPES AND DITCHES, CURB LINES, ALONG SILT BARRIERS, ETC. RESULTING FROM SOIL AND/OR CONSTRUCTION OPERATIONS.
26. SEE WINTER CONSTRUCTION SEQUENCE FOR WORK CONDUCTED AFTER OCTOBER 15TH.
27. EACH PHASE MUST BE STABILIZED TO 85% PRIOR TO THE DISTURBANCE OF THE SUBSEQUENT PHASE.
28. STRUCTURES (CULVERTS, CREEKS, DAMS, DAMS, DRAIN CREEKS, AND DAMS) SHALL BE CONSTRUCTED AS PART OF PHASE 5.
29. AN ENVIRONMENTAL MONITOR SHALL BE REQUIRED ON SITE. THE ENVIRONMENTAL MONITOR SHALL:
  - (1) INSPECT THE PROJECT SITE AT LEAST ONCE EACH WEEK FROM THE START OF TERRAIN ALTERATION ACTIVITIES UNTIL ALL TERRAIN ALTERATION ACTIVITIES ARE COMPLETED AND THE SITE IS STABILIZED.
  - (2) IN ADDITION TO REGULAR WEEKLY INSPECTIONS, INSPECT THE PROJECT SITE DURING ANY RAIN EVENT IN WHICH 0.5 INCH OF RAIN PRECIPITATION OR MORE FALLS WITHIN A 24 HOUR PERIOD, PROVIDED THAT IF THE ENVIRONMENTAL MONITOR IS UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THE RAIN EVENT.
  - (3) SUBMIT A WRITTEN REPORT, STAMPED BY A QUALIFIED ENGINEER OR A SPECIALLY TRAINED PERSONNEL, TO THE DEPARTMENT WITHIN 24 HOURS OF EACH INSPECTION THAT:
    - A. DESCRIBES THE PROGRESS OF THE PROJECT, INCLUDING WHETHER ALL CONDITIONS OF THE PERMIT ARE BEING MET AND, IF NOT, WHICH REQUIREMENTS ARE NOT BEING MET;
    - B. IF ANY REQUIREMENTS ARE NOT BEING MET, AN EXPLANATION OF THE CORRECTIVE ACTION(S) THAT WILL BE OR ARE BEING TAKEN TO BRING THE PROJECT INTO COMPLIANCE WITH APPLICABLE REQUIREMENTS AND THE DEADLINE BY WHICH SUCH ACTIONS WILL BE COMPLETED; AND
    - C. INCLUDES PHOTOGRAPHS OF THE SITE THAT ARE REPRESENTATIVE OF THE PROJECT.
30. RETAIN A COPY OF THE PROJECT REPORT PREPARED PURSUANT TO (3), ABOVE, ON-SITE FOR REVIEW DURING SITE INSPECTIONS BY FEDERAL, STATE, AND LOCAL OFFICIALS.



### SITE DEVELOPMENT PLANS

TAX MAP 14 LOT 39-1  
**STORMWATER POLLUTION PREVENTION & WINTER STABILIZATION PLAN**  
**SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS**  
**25 NORTH WENTWORTH AVE.**  
**LONDONDERRY, NH 03053**

PREPARED FOR  
**PURPOSEENERGY-LONDONDERRY, LLC**  
**25 PELHAM ROAD SUITE 102, SALEM, NH 03079**

**1" = 40'** **SEPTEMBER 8, 2025**

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 48 Constitution Drive, Bedford, NH 03110

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HORIZONTAL SCALE 1" = 40'  
 40 20 0 40

REV	DATE	DESCRIPTION	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL		
			DR	CK

**TFM**

Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

OWNED FOR

**PURPOSEENERGY-LONDONDERRY, LLC**

25 PELHAM ROAD SUITE 102, SALEM, NH 03079

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# 18252-02
DR FB  
CK CADFILE
18252-02 SITE PLAN
PH-1

Date: 09/2025 - 12:20pm  
 F:\TFM\Projects\18252 - Londonderry, NH\18252-02 PurposeEnergy\_Camp & Permitted\_Sewermain\18252-02 SITE PLAN.dwg

GENERAL INFORMATION

OWNER
MAP 14 LOT 39
EDWARD NICHOLAS F TRUST 2012
162 LITCHFIELD ROAD
LONDONDERRY, NH 03053
603-432-1100

APPLICANT
PURPOSEENERGY-LONDONDERRY, LLC
C/O SEAN OWEN
25 PELHAM ROAD, SUITE 102
SALEM, NH 03079
6172029156

PREPARED FOR
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SHAWN WELSHILLAND, TOWN MANAGER

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WIM ALAN BERNARD, CHIEF OF POLICE

FIRE DEPARTMENT
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PHIL LEBLANC, ACTING CHIEF

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CONCORD, NH 03302-0095
AMY CLARK, PE, AOT SUPERVISOR

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ARIES ENGINEERING
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CONCORD, NH 03301
(603) 228-0374
GEORGE C. HOLT, P.E.

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TOMORAN, INC.
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BETHLEHEM, NH 03110
ROBERT DUVAL, PE, PRINCIPAL

WETLAND SCIENTIST
48 CONSTITUTION DRIVE
BETHLEHEM, NH 03110
CHRISTOPHER K. DANFORTH, CWS

SOIL SCIENTIST
BAG LAND CONSULTANTS
43 ROCKINGHAM STREET
CONCORD, NH 03301
BRUCE A. GILDAY, CSS

ABUTTERS
R014-039-0
NICHOLAS F COONER TRUST 2012
162 LITCHFIELD ROAD
LONDONDERRY, NH 03053

R014-047-0
US OF AMERICA FED AVIATION ADMIN
12 NE EXECUTIVE PARK
BURLINGTON, MA 01803

R01-044-38
STATE OF NEW HAMPSHIRE
PO BOX 483, 1 HAZEN DRIVE
CONCORD, NH 03302-0483

R014-44-0
GRANITE RIDGE ENERGY, LLC
21 NORTH WENTWORTH AVE
LONDONDERRY, NH 03053

R014-039-1
TRACE I & BRUCE A LEMUEW
154 LITCHFIELD ROAD
LONDONDERRY, NH 03053

R014-039-1
WICOM B & CECILIA C REIS
158 LITCHFIELD ROAD
LONDONDERRY, NH 03053

R011-020-13
RICHARD A BELANGER
149 LITCHFIELD ROAD
LONDONDERRY, NH 03053

R011-020-12
NICOLE M THOMAS
151 LITCHFIELD ROAD
LONDONDERRY, NH 03053

R011-020-11
JUSTIN M QUISH
153 LITCHFIELD ROAD
LONDONDERRY, NH 03053

R011-020-9
SHARON B BARTHOLOMEW
155 LITCHFIELD ROAD
LONDONDERRY, NH 03053

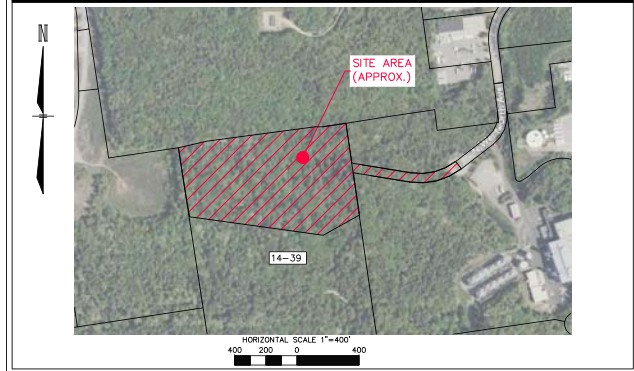
R011-020-8
SHAWN B DAYOLLI
157 LITCHFIELD ROAD
LONDONDERRY, NH 03053

R011-020-7
ERIC J AND AMBER E POMER
159 LITCHFIELD ROAD
LONDONDERRY, NH 03053

R011-020-7
JOHN ALBERT & LISA MARIE KIRCALDIE
51 YELLOWSTONE ROAD
LONDONDERRY, NH 03053-2502

SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS
25 NORTH WENTWORTH AVE. LONDONDERRY, NEW HAMPSHIRE

LOCATION PLAN



INDEX OF SHEETS

Table with columns SHEET and SHEET TITLE. Lists sheets C-01 through A-1-3 and their corresponding titles like COVER SHEET, NOTES & LEGEND, etc.

PERMITS/APPROVALS

Table with columns NUMBER, APPROVED, and EXPIRES. Lists various permits such as TOWN PLANNING BOARD SUBDIVISION APPROVAL, TOWN PLANNING BOARD SITE PLAN REVIEW APPROVAL, etc.

NHF&G AOT PERMIT CONDITIONS

- 1. BLANDING'S TURTLE (STATE ENDANGERED), EASTERN HOOGSNE SNAKE (STATE ENDANGERED), NEW ENGLAND COTTONTAIL (STATE ENDANGERED), SMOOTH GREEN SNAKE (SPECIAL CONCERN), SPOTTED TURTLE (STATE THREATENED), northern BLACK RACER (STATE THREATENED) OCCUR WITHIN THE VICINITY OF THE PROJECT AREA...

- 3. SMOOTH GREEN SNAKE (SPECIAL CONCERN) OCCUR WITHIN THE VICINITY OF THE PROJECT AREA. ALL OPERATORS AND PERSONNEL WORKING ON OR ENTERING THE SITE SHOULD BE MADE AWARE OF THE POTENTIAL PRESENCE OF THIS SPECIES...

WAIVERS

THE FOLLOWING WAIVERS FROM THE TOWN OF LONDONDERRY SITE REVIEW REGULATIONS IS REQUESTED FROM THE PLANNING BOARD:
1. TOWN OF LONDONDERRY SITE REVIEW REGULATIONS SECTION 3.09(G)(TABLE B) - TO USE THE GENERATION MANUAL FOR PARKING CALCULATION.

Approval form with fields for 'Approved by the Londonderry, NH Planning Board' and 'for Phase'. Includes a signature line and date field.

OWNER'S SIGNATURE

Signature of Nicholas F. Cooner, Owner or Authorized Agent, dated 12/22/2025.



Revision table with columns REV, DATE, DESCRIPTION, and initials. Shows revisions for AOT & STAFF COMMENTS, NHIF&G APPROVAL, TOWN SEWER COMMENTS, REVISED FOR NHIF&G & NHDES COMMENTS, and UPDATE FOR SUBMITTAL.

SITE DEVELOPMENT PLANS

TAX MAP 14 LOT 39-2 COVER SHEET
SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS
25 NORTH WENTWORTH AVE. LONDONDERRY, NH 03053
OWNED BY
PURPOSEENERGY-LONDONDERRY, LLC
25 PELHAM ROAD SUITE 102, SALEM, NH 03079

SCALE, NOT TO SCALE SEPTEMBER 8, 2025



TFM Engineering, Inc.
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
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Table with columns DR, FB, CADFILE, and C-01. Shows drawing information for sheet 18252-02.

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### CONSTRUCTION SEQUENCE NOTES

1. TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE.
2. MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.
3. CONDUCT A PRE-CONSTRUCTION MEETING WITH THE OWNER, CONTRACTOR, TOWN ENGINEER, AND OTHER TOWN DEPARTMENTS. TOWN INSPECTIONS SHALL BE CONDUCTED AT INTERVALS AS REQUIRED BY THE TOWN OF LONDONDERRY PUBLIC WORKS AND ENGINEERING DEPARTMENT.
4. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
5. CUT AND CLEAR TREES WITHIN AREA OF DISTURBANCE UNLESS OTHERWISE NOTED.
6. CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES, AND BASINS PRIOR TO ANY ROUGH GRADING.
7. CONSTRUCT PERMANENT SWALES PRIOR TO ANY ROUGH GRADING. SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
8. GRUB & ROUGH GRADE SITE FOR PHASED WORK AREA. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING. ALL DISTURBED AREAS SHALL BE STABILIZED NO LATER THAN 72 HOURS AFTER CONSTRUCTION ACTIVITY CEASES. IF EARTHWORK TEMPORARILY CEASES ON A PORTION OF OR THE ENTIRE SITE, AND WILL NOT RESUME WITHIN 21 DAYS, THE AREA SHALL BE STABILIZED.
9. AN AREA SHALL BE CONSIDERED STABILIZED IF:
  - A) BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
  - B) A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
  - C) A MINIMUM OF 3" OF NON-ERODING MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED, OR
  - D) EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
10. CONSTRUCT CURBS, STORMWATER MANAGEMENT AREAS, AND SWALES. PLACE FLEED END SECTIONS, RIP-RAP AND OTHER DRAINAGE FACILITIES ACCORDING TO PLAN. THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES, AND BASINS PRIOR TO DIRECTING FLOW TO THEM.
11. INSTALL ALL UNDERGROUND UTILITIES.
12. CONSTRUCT BUILDINGS AND STRUCTURES.
13. CONSTRUCT PARKING AND FINISH GRADE SITE ACCORDING TO PLAN. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
14. THE CONTRACTOR SHALL INSPECT ALL TEMPORARY EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.5 INCHES. THE INSPECTIONS SHALL VERIFY THAT THE STRUCTURAL BMP'S SHOWN AND DESCRIBED IN THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE AND INSPECTION REPORT SHALL BE MADE WITH EACH INSPECTION.
15. COMPLETE PERMANENT SEEDING.
16. REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE ALL AREAS ARE STABILIZED WITH A SUSTAINABLE STAND OF GRASS, PAVEMENT OR CONTRACTED GRAVELS.

### GENERAL NOTES

1. WHERE DEPTH OF COVER IS LESS THAN 3 FEET CLASS V REINFORCED CONCRETE PIPE SHALL BE USED.
2. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
4. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
5. EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE INNHQS STANDARDS. THESE DETAILS SERVE AS A GUIDE ONLY.
6. REFER TO THE TOWN STANDARD DETAILS, LATEST REVISION, FOR THE APPLICABLE REGULATIONS AND STANDARDS.
7. THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES, AND BASINS PRIOR TO DIRECTING FLOW TO THEM.
8. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED. SEE PHASING PLAN FOR ADDITIONAL INFORMATION ON ALLOWABLE AREAS OF DISTURBANCE.

### WINTER CONSTRUCTION

- IN ADDITION TO THE OTHER NOTES CONTAINED ON THIS PLAN, THE FOLLOWING MUST BE IMPLEMENTED:
1. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED AS SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
  2. ANY AREA WITHIN 50 FEET OF A PROTECTED NATURAL RESOURCE MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIER.
  3. TEMPORARY MULCH MUST BE APPLIED WITHIN 7 DAYS OF SOIL EXPOSURE OR PRIOR TO ANY STORM EVENT, BUT AFTER EVERY WORKDAY IN AREAS WITHIN 100 FEET FROM A PROTECTED NATURAL RESOURCE.
  4. AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE MUST BE PERMANENTLY MULCHED THE SAME DAY.
  5. IN THE EVENT OF A SNOWFALL GREATER THAN 1 INCH (FRESH OR CUMULATIVE), THE SNOW SHALL BE REMOVED FROM THE AREAS DUE TO BE SEEDING AND MULCHED.
  6. LOAM SHALL BE FREE OF FROZEN CLUMPS BEFORE IT IS APPLIED.
  7. A DITCH THAT WILL BE CONSTRUCTED DURING THE WINTER MUST BE STABILIZED WITH RIPRAP.
  8. ALL PROPOSED VEGETATIVE AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
  9. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
  10. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF GRAVEL PER NHDOT ITEM 304.3.
  11. ALL TEMPORARY AND PERMANENT STABILIZATION REQUIREMENTS DENOTED IN ADDITIONAL PLAN NOTES SHALL BE APPLICABLE DURING WINTER CONSTRUCTION.

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### EROSION CONTROL NOTES

- DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED:
1. INSTALLATION OF SILTATION FENCES AND/OR OTHER EROSION CONTROL MEASURES SHALL BE COMPLETED PRIOR TO THE START OF SITE WORK IN ANY GIVEN AREA. PREFABRICATED SILTATION FENCES SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
  2. SILTATION FENCES AND/OR OTHER EROSION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN SLOPES HAVE A VEGETATIVE COVER OF GREATER THAN 85%. EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.5 INCHES.
  3. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.
  4. THE AREA OF LAND EXPOSED AND THE TIME OF EXPOSURE SHALL BE MINIMIZED, UNLESS A LARGER AREA IS ALLOWED UNDER ENVD-NO 1508.01(G). NO MORE THAN 5 ACRES SHALL BE DISTURBED (NOT STABILIZED) AT ANY TIME. DISTURBED AREAS MUST BE STABILIZED AS SOON AS PRACTICABLE BUT NO LATER THAN 45 DAYS AFTER FINAL DISTURBANCE. CUT AND FILL SLOPES SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
  5. ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF 6" OF LOAM. ACCEPTABLE SEED MIXES ARE AS FOLLOWS:  
 PARK SEED MIX (NHDOT-TYPE 44) MIN. 135 LBS./ACRE.  
 33% CREEPING RED FESCUE (MIN. 45 LBS./ACRE)  
 42% PERENNIAL RyEGRASS (MIN. 55 LBS./ACRE)  
 21% KENTUCKY BLUEGRASS (MIN. 30 LBS./ACRE)  
 4% REDTOP (MIN. 5 LBS./ACRE)  
 MODIFIED NEW ENGLAND CONSERVATION WILDOUSE MIX (MIN. 25 LBS./ACRE)\*  
 CONTAINS: VIRGINIA WILD RYE (ELYMUS VIRGINICUS), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), BIG BLUESTEM (ANDROPOGON GERMANS), PANCOLELLA TOC. TREETOP (DISSOLIMUS PANICULATUS), BLUE VERVAIN (VERBENA HASTATA), BLACK EYED SUSAN (RUDBECKIA HORTA), BLACK ASTER (ASTERUM FLORIDANUM), COMMON BLUE GRASS (POA ANNUUM), GOLDENROD (SOLIDAGO JUNCEA), UPLAND BENTGRASS (AGROSTIS PERENNIS), RED FESCUE (FESTUCA RUBRA), SWITCH GRASS (PANDCUM VIRGATUM), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), OR COMMON SNEEZEWEED (HELENIUM AUTUMNALE).  
 TEMPORARY LAWN MIX (MIN. 47 LBS./ACRE)  
 100% ANNUAL RYE  
 A. PLACING LOAM ON SITE  
 a. ALL SUBGRADE ELEVATIONS SHOULD BE UNIFORMLY GRADED TO RECEIVE LOAM AND SHALL BE INSPECTED AND APPROVED BY THE GENERAL CONTRACTOR PRIOR TO PLACEMENT OF LOAM.  
 b. PLACE LOAM TO FORM A MINIMUM DEPTH OF 4" WHEN ROLLED, UNLESS OTHERWISE INDICATED.  
 c. ALL DEPRESSIONS EXPOSING DURING THE ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM.  
 B. SEED BED PREPARATION  
 AFTER FINISH GRADING AND JUST BEFORE SEEDING, THE AREAS TO BE SEEDED SHALL BE LOOSELY TILLED TO PROVIDE A ROUGH FIRM BUT FINELY CRUMBLER SEEDBED. THE INTENT IS A TEXTURE CAPABLE OF RETAINING WATER, SEED AND FERTILIZER WHILE REMAINING STABLE AND ALLOWING SEED TIME TO GERMINATE. SEED SHALL BE APPLIED TO THE CONDITIONED SEEDBED NOT MORE THAN 48 HOURS AFTER THE SEEDBED HAS BEEN PREPARED.  
 6. LIME AND FERTILIZER SHALL BE INCORPORATED INTO THE SOIL PRIOR TO OR AT THE TIME OF AT THE TIME OF SEEDING. A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS. PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. SEEDING PRACTICES SHALL COMPLY WITH LOCAL USDA SOIL CONSERVATION SERVICES RECOMMENDATIONS.  
 7. HAY OR STRAW MULCH OR JUTE MATTING SHALL BE USED WHERE INDICATED ON THE PLANS. IF JUTE MATTING IS USED, IT SHALL BE LAID IN THE DIRECTION OF RUNOFF FLOW AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.  
 8. MULCHING SHALL COMPLY WITH:  
 ENVD-NO 1508.01 EROSION CONTROL METHODS: TEMPORARY AND PERMANENT MULCHING.  
 (a) HAY AND STRAW MULCHES SHALL BE ANCHORED WITH MULCH NETTING OR TACKIFIER, SO THAT THEY ARE NOT BLOWN AWAY BY WIND OR WASHED AWAY BY FLOWING WATER.  
 (b) MULCH MATERIALS SHALL BE SELECTED BASED UPON SOILS, SLOPES, FLOW CONDITIONS, AND TIME OF YEAR.  
 (c) HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF 1.5 TO 2 TONS PER ACRE, EQUIVALENT TO 70 TO 80 POUNDS PER 1,000 SQUARE FEET.  
 ENVD-NO 1508.01 EROSION CONTROL METHODS: TEMPORARY AND PERMANENT MULCHING.  
 (d) AREAS SEEDING BETWEEN MAY 15TH TO AUGUST 15TH SHALL BE COVERED WITH HAY OR STRAW MULCH MEETING THE CRITERIA OF ENVD-NO 1508.01(G) THROUGH (J).  
 9. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. SEEDING AREAS SHALL BE MULCHED AND PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING WINTER MONTHS.  
 10. WATER SHALL BE USED FOR DUST CONTROL IN APPROPRIATE AREAS.  
 11. TEMPORARY DRAINAGE SWALES, SEDIMENT TRAPS AND/OR BASINS MUST BE USED AS NECESSARY TO CONTAIN RUNOFF FROM SOILS NOT STABILIZED. TACKIFIER SHALL BE APPLIED IN ALL TEMPORARY STABILIZATION UTILIZING SEEDING. SEE PHASING PLAN, FOR ADDITIONAL INFORMATION.

### OVERWINTER STABILIZATION

1. PERMANENT STABILIZATION CONSISTS OF AT LEAST 85% VEGETATION, PAVEMENT/GRAVEL BASE OR RIPRAP.
2. DO NOT EXPOSE SLOPES OR LEAVE SLOPES EXPOSED OVER THE WINTER OR FOR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS FULLY PROTECTED WITH MULCH.
3. APPLY HAY MULCH AT THE STANDARD RATE (150 LBS. PER 1,000 SQ. FT.). THE MULCH MUST BE THICK ENOUGH SUCH THAT THE GROUND SURFACE WILL NOT BE VISIBLE AND MUST BE ANCHORED.
4. USE MULCH AND MULCH NETTING OR AN EROSION CONTROL MULCH BLANKET OR MIX FOR ALL SLOPES GREATER THAN 6% OR OTHER AREAS EXPOSED TO DIRECT WIND.
5. INSTALL AN EROSION CONTROL BLANKET IN ALL DRAINAGE WAYS (BOTTOM AND SIDES) WITH A SLOPE GREATER THAN 3%.
6. SEE THE VEGETATION MEASURES FOR MORE INFORMATION ON SEEDING DATES AND TYPES.

### CONSTRUCTION SEQUENCE NOTES (FOR ALTERATION OF TERRAIN)

1. DO NOT DISCHARGE SEDIMENT-LOADED WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO BMP'S DURING ANY STAGE OF CONSTRUCTION.
2. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT, IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
3. AFTER INFILTRATION SYSTEMS ARE EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY FILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVY DRAG.
4. DO NOT PLACE STORMWATER BMP'S INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
5. DO NOT PLACE STORMWATER BMP'S INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED, IF NECESSARY, AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

### GRADING & DRAINAGE NOTES

1. THE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF INNHQS ENVD-NO 1500 AND THE TOWN OF LONDONDERRY AS APPLICABLE.
2. THE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
3. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN HMO AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
5. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEER'S RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARISE ON-SITE, INCLUDING BUT NOT LIMITED TO DEWATERING METHODS, PERMETER DRAINS AND THE INTO STORMWATER MANAGEMENT SYSTEM, ETC.
6. COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
7. COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
8. COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
9. LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS, AND ADJUMENTS.
10. THE CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS, AND LOADING AREAS.
11. THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/4" FOR A PERIOD OF MORE THAN 15 MINUTES AFTER FLOODING.
12. ALL ELEVATIONS SHOWN AT CURB OR TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 5' RADIUS UNLESS OTHERWISE NOTED.
13. ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
14. THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/4".
15. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
16. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND SHALL MEET TOWN OF LONDONDERRY STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
17. STORMWATER DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO TOWN OF LONDONDERRY & NHDOT STANDARD SPECIFICATIONS. SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
18. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
19. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
20. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER, AND MULCH.
21. DENSITY REQUIREMENTS:  
 MINIMUM DENSITY LOCATION  
 95% BELOW PAVED OR CONCRETE AREAS  
 90% TRENCH BEDDING MATERIAL AND SAND BLENKET BACKFILL  
 90% BELOW LOAM AND SEED AREAS  
 90% ALL PERCENTAGES OF COMPACTION SHALL BE THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557. METHOD C. FILLDENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-6908 OR EQUIVALENT METHOD.  
 22. PER THE GEOTECHNICAL REPORT: STRUCTURAL FILL SHOULD BE USED FOR ENGINEERED FILLS BELOW PROPOSED BUILDINGS, BIODEFACTORS, TANKS, RETAINING WALLS, AND FOUNDATION BACKFILL.  
 23. PER THE GEOTECHNICAL REPORT: COMMON FILL SHOULD BE USED FOR ENGINEERED FILLS BELOW ROADWAY, PARKING, AND OTHER NON-STRUCTURAL AREAS.

Type	Sieve Size	% Passing
Structural Fill, NHDOT 304.3 (Crushed Gravel)	3" (75 mm)	100
	2" (50 mm)	95-100
	1" (25 mm)	55-85
Common Fill	No. 4 (4.75 mm)	27-52
	No. 200 (75 µm)	0-12" (in sand portion)
	8"	0-15 when placed within 3 feet of finished grade in paved areas

### SITE PREPARATION NOTES

1. LONDONDERRY EMERGENCY SERVICES (POLICE/FIRE) SHALL HAVE ACCESS TO THE SITE AT ALL TIMES DURING CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
3. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
4. EXISTING UTILITIES AND TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
5. ALL DEMOLITION AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
6. IN THAT THE PROJECT WILL DISTURB MORE THAN 5-ACRES AT ONE TIME A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL, OR A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE (ENH00707) SHALL BE EMPLOYED TO INSPECT THE SITE FROM THE START OF ALTERATION OF TERRAIN ACTIVITIES UNTIL THE SITE IS IN FULL COMPLIANCE WITH THE ALTERATION OF TERRAIN PERMIT.
  - A. DURING THIS PERIOD, THE MONITOR SHALL INSPECT THE SUBJECT SITE AT LEAST ONCE A WEEK, AND IF FEASIBLE, DURING ANY 1 INCH OR GREATER RAIN EVENT (I.E. 1/8" PRECIPITATION OR MORE WITHIN A 24 HOUR PERIOD). IF UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THE EVENT.
  - B. THE MONITOR SHALL PROVIDE TECHNICAL ASSISTANCE AND RECOMMENDATION TO THE CONTRACTOR ON THE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROLS REQUIRED TO MEET THE REQUIREMENTS OF 604 485-A17 AND ALL APPLICABLE DES PERMIT CONDITIONS.
  - C. WITHIN 24 HOURS OF EACH INSPECTION, THE MONITOR SHALL SUBMIT A REPORT TO DES VIA EMAIL (TO KEVIN THATCHER AT KEVIN.THATCHER@DES.NH.GOV).
7. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF LONDONDERRY'S CONSTRUCTION STANDARDS AND DETAILS (LATEST ADDITION), AND THE TOWN STANDARDS SHALL TAKE PRECEDENCE IN CASE OF ANY DETAILS OR PLANS IN CONFLICT.
8. FINAL CONSTRUCTION SEQUENCING SUBJECT TO CONTRACTOR AND OWNER CONFIRMATION.

### SITE DEVELOPMENT PLANS

TAX MAP 14 LOT 39-2  
**NOTES**  
 SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS  
 25 NORTH WENTWORTH AVE.  
 LONDONDERRY, NH 03053

OWNED BY  
 PREPARED FOR  
 PURPOSEENERGY-LONDONDERRY, LLC  
 25 PELHAM ROAD SUITE 102, SALEM, NH 03079

SCALE: NOT TO SCALE SEPTEMBER 8, 2025



Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists  
 48 Constitution Drive  
 Bedford, NH 03110  
 Phone (603) 472-4488  
 Fax (603) 472-9747  
 www.tfmoran.com

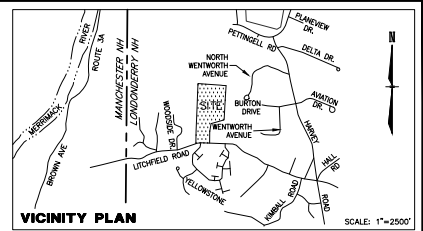
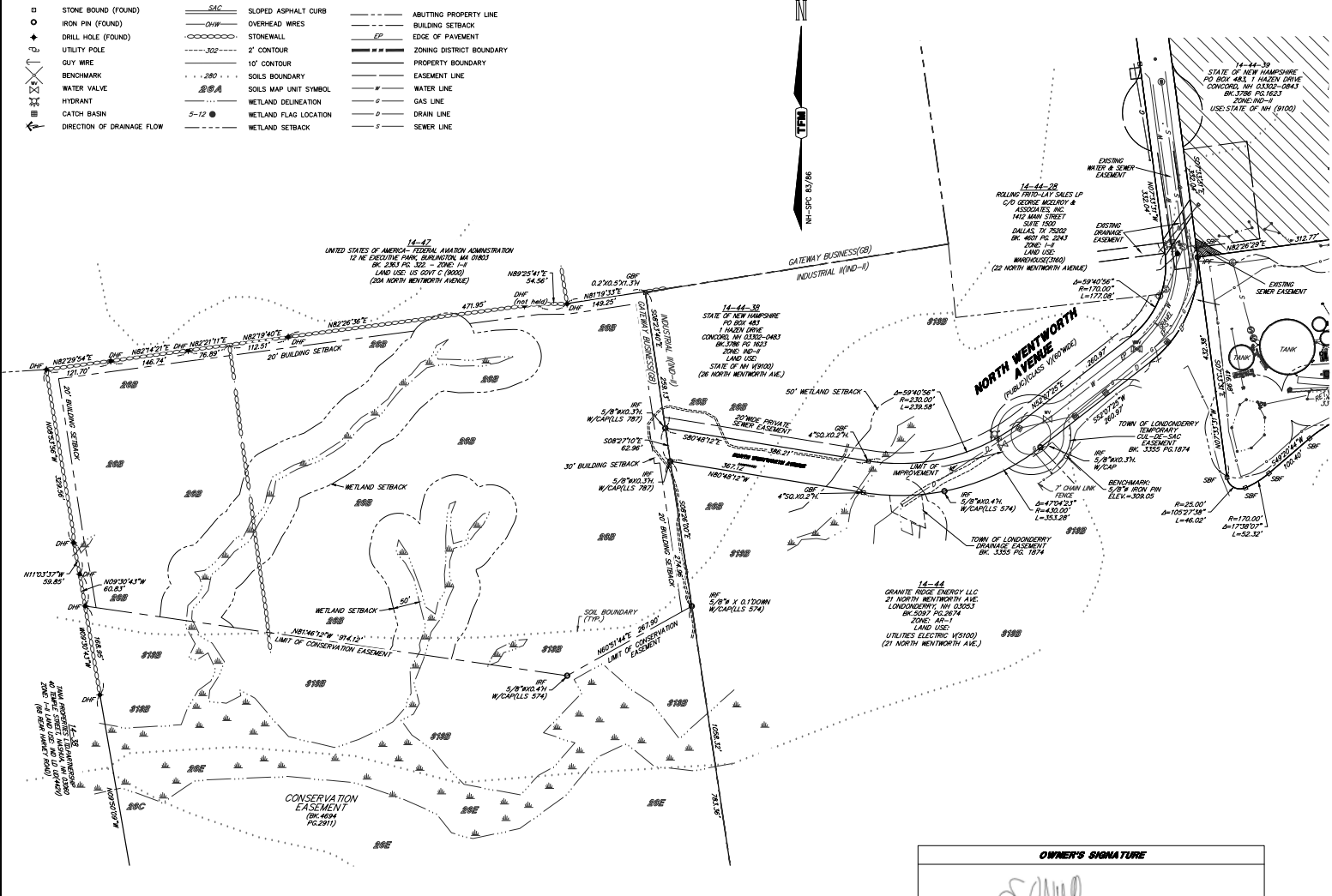


NO.	DATE	DESCRIPTION	BY	CHK
5	12/19/2025	AOT & STAFF COMMENTS	JD	NG
4	10/24/2025	NH&G APPROVAL	JD	NG
3	11/5/2025	TOWN SEWER COMMENTS	JD	NG
2	9/30/2025	REVISED FOR INHQS & INHQS COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG
REV	DATE	DESCRIPTION	BY	CHK

18252-02 OR FB  
 CADFILE 18252-02 COVER & DETAILS C-03

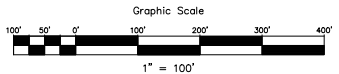
**LEGEND**

- STONE BOUND (FOUND)
- IRON PIN (FOUND)
- ⊕ DRILL HOLE (FOUND)
- ⊕ UTILITY POLE
- ⊕ GUY WIRE
- ⊕ BENCHMARK
- ⊕ WATER VALVE
- ⊕ HYDRANT
- ⊕ CATCH BASIN
- DIRECTION OF DRAINAGE FLOW
- SAC SLOPED ASPHALT CURB
- OHW OVERHEAD WIRES
- STONEMALL
- 302' 2' CONTOUR
- 10' CONTOUR
- 200' SOILS BOUNDARY
- SOILS MAP UNIT SYMBOL
- WETLAND DELINEATION
- WETLAND FLAG LOCATION
- WETLAND SETBACK
- ABUTTING PROPERTY LINE
- BUILDING SETBACK
- EP EDGE OF PAVEMENT
- ZONING DISTRICT BOUNDARY
- PROPERTY BOUNDARY
- EASEMENT LINE
- WATER LINE
- GAS LINE
- DRAIN LINE
- SEWER LINE



**NOTES**

1. OWNER OF RECORD OF MAP 14 LOT 39: CRAIG FOWLER (TRUSTEE) NICHOLAS F. CODNER 2012 TRUST 162 LITCHFIELD ROAD LONDONDERRY, NH 03065 DEED REFERENCE: BK. 5336 PG. 1874 AREA = 2.150,033 S.F. OR 49.473 ACRES
2. 14-39 INDICATES TAX MAP AND LOT NUMBER.
3. THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS PRESENT ON TAX MAP 14, LOT 39, LOCATED AT 162 LITCHFIELD ROAD AND THE WESTERN PORTION OF NORTH WENTWORTH AVENUE IN LONDONDERRY, NEW HAMPSHIRE, AS SHOWN HEREON, AND NO OTHER PURPOSE.
4. CURRENT ZONING: GATEWAY BUSINESS (GB) MINIMUM LOT SIZE: 43,560 S.F./1 ACRE (SUBJECT TO PLANNING BOARD APPROVAL) MINIMUM LOT FRONTAGE: 150 FEET MAXIMUM BUILDING HEIGHT: 50 FEET MINIMUM GREEN SPACE: 25 PERCENT MINIMUM BUILDING SETBACKS: FRONT 30 FEET, SIDE & REAR 20 FEET. AGRICULTURAL/RESIDENTIAL (AR-1) MINIMUM LOT SIZE: (MINIMUM WATER & SEWER) SINGLE FAMILY (1-2 BEDROOMS): 35,000 S.F. SINGLE FAMILY (3 OR MORE BEDROOMS): 40,000 S.F. DUPLEX (2-4 BEDROOMS)(BOTH DWELLINGS): 52,000 S.F. (NO MINIMUM SETBACK) SINGLE OR TWO FAMILY RESIDENCE: 43,560 S.F./1 ACRE MINIMUM LOT FRONTAGE (CLASS Y OR BETTER): SINGLE FAMILY: 150 FEET TWO FAMILY: 200 FEET MAXIMUM BUILDING HEIGHT: 35 FEET MINIMUM BUILDING SETBACKS: FRONT 40 FEET, SIDE & REAR 15 FEET. INDUSTRIAL (IND-I) MINIMUM LOT SIZE: 43,560 S.F. (SUBJECT TO PLANNING BOARD APPROVAL) MINIMUM LOT FRONTAGE (CLASS Y OR BETTER): 150 FEET MAXIMUM BUILDING HEIGHT: 50 FEET MINIMUM BUILDING SETBACKS: FRONT 30 FEET, SIDE & REAR 20 FEET.
5. EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR ROCKINGHAM COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS), MAP NUMBER: 3301503101E, EFFECTIVE DATE: MAY 17, 2005, INDICATES THAT THE SUBJECT PARCEL IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.
6. HORIZONTAL DATUM: NAD 83/86. VERTICAL DATUM: NAVD 29. BENCHMARKS SET: AS NOTED
7. EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THIS OFFICE IN ACCORDANCE WITH THE STANDARD PRACTICES, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL MAY DETECT.
8. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMOR, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITY SHOWN, PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT 800-SAFE AT 811.
9. SEE SHEETS S-03 THROUGH S-09 FOR BENCHMARK INFORMATION.
10. SEE SHEETS S-03 THROUGH S-09 FOR DETAILED UTILITY INFORMATION.



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 This plan is not effective unless signed by a duly authorized officer of TFMOR, Inc.



**WETLAND SCIENTIST CERTIFICATION**

JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED ON AUGUST 16, 2024 BY CHRISTOPHER K. DAWORTH, CWS #077. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGIONS, VERSION 3, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES' A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, NRCIS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USACE NATIONAL WETLAND PLANT LIST, NWPL 2016 VERSION 3.3. HTTP://WETLAND\_PLANTS.USACE.ARMY.MIL.



OWNER'S SIGNATURE  
  
 OWNER OR AUTHORIZED AGENT  
 12/22/2025  
 DATE

**SURVEYOR'S CERTIFICATION**

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION. FURTHER, THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE IN MAY OF 2024. SAID SURVEY HAS AN ERROR OF CLOSURE OF NOT LESS ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000).  
 I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. (RSA 678:18)



REV.	DATE	DESCRIPTION	DR	CK
2	12-18-25	PER REVIEW COMMENTS FROM TOWN	MRD	MRD
1	11-17-25	REVISE SEWER EASEMENT DEED REFERENCE	MRD	MRD

Michael E. Dalberg 12-22-25 DATE  
 Licensed Land Surveyor

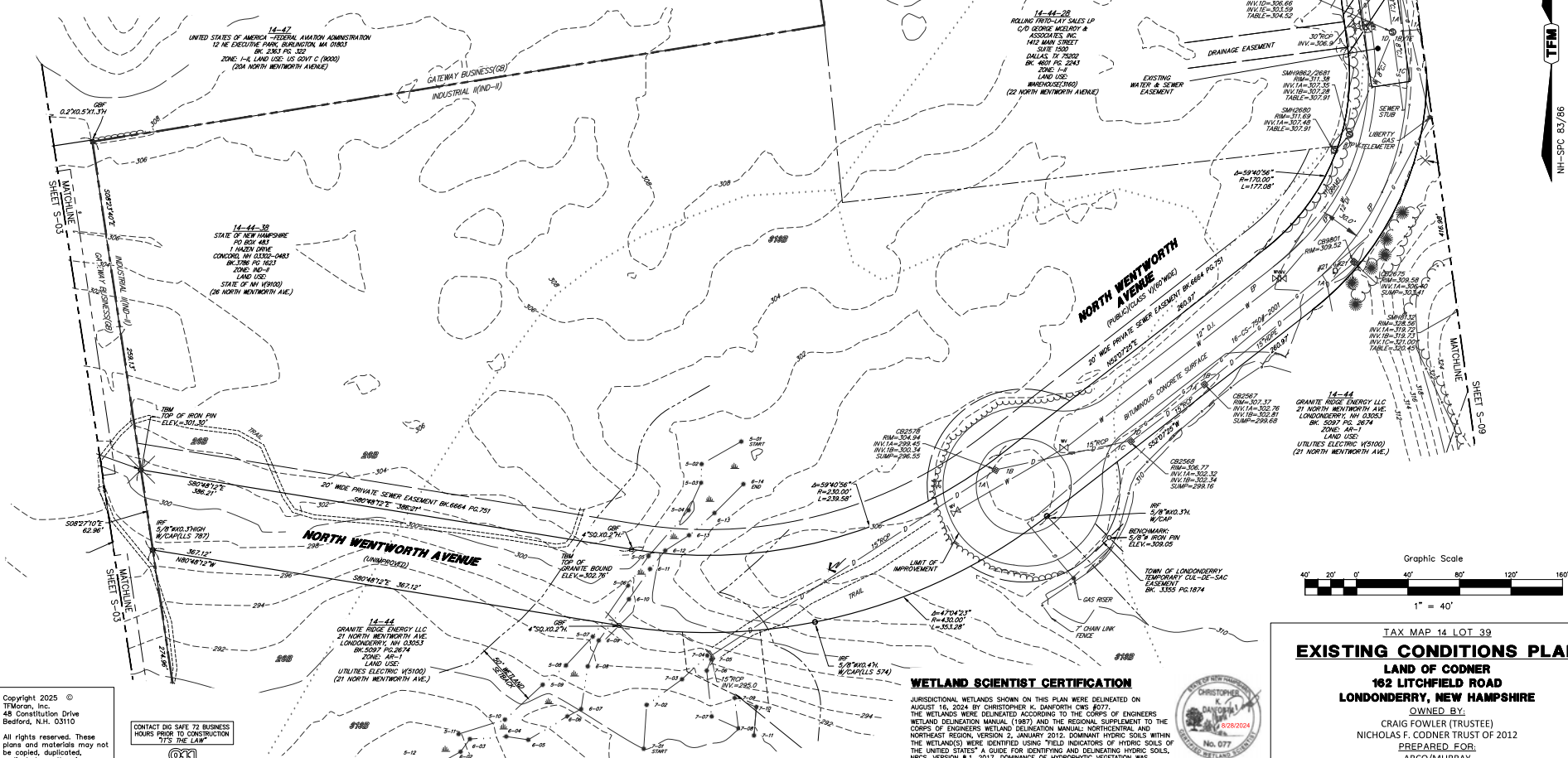
TAX MAP 14 LOT 39  
**EXISTING CONDITIONS PLAN**  
**LAND OF CODNER**  
**162 LITCHFIELD ROAD**  
**LONDONDERRY, NEW HAMPSHIRE**  
 OWNED BY:  
 CRAIG FOWLER (TRUSTEE)  
 NICHOLAS F. CODNER TRUST OF 2012  
 PREPARED FOR:  
 ARCO/MURRAY  
 113 NORTH MAY STREET, CHICAGO, IL 60607  
**SCALE: 1" = 100'**  
**JUNE 12, 2024**

**TFM** Civil Engineers 48 Constitution Drive Bedford, NH 03110  
 Structural Engineers Phone (603) 472-4488  
 Traffic Engineers Land Surveyors Fax (603) 472-9747  
 Landscape Architects www.tfmor.com  
 Scientists

18252.01 DR TNB #B 2229/2330  
 CR MND CADP/E 18252-01 Survey S-01

**LEGEND**

- STONE BOUND (FOUND)
- IRON PIN (FOUND)
- ⊕ DRILL HOLE (FOUND)
- ⊕ UTILITY POLE
- ⊕ GUY WIRE
- ⊕ BENCHMARK
- ⊕ WATER VALVE
- ⊕ HYDRANT
- SAC — SLOPED ASPHALT CURB
- OWH — OVERHEAD WIRES
- STONEWALL
- 2' CONTOUR
- 10' CONTOUR
- CATCH BASIN
- SOLS MAP UNIT SYMBOL
- BUILDING SETBACK
- ZONING DISTRICT BOUNDARY
- PROPERTY BOUNDARY
- EASEMENT LINE
- WATER LINE
- GAS LINE
- SOLS BOUNDARY
- METLAND SETBACK
- EDGE OF PAVEMENT
- DRAIN LINE
- SEWER LINE
- ABUTTING PROPERTY LINE
- METLAND DELINEATION
- METLAND FLAG LOCATION
- 5-12



14-47  
UNITED STATES OF AMERICA - FEDERAL AVIATION ADMINISTRATION  
12 1/2 W. EXECUTIVE PARK, BOSTON, MA 02151  
BK 2383 PG. 32  
ZONE: L-1 LAND USE: GO GOVT C (9000)  
(20A NORTH WENTWORTH AVENUE)

14-44-30  
STATE OF NEW HAMPSHIRE  
TO BEA 443  
1 HAZEN DRIVE  
CONCORD, NH 03302-0483  
BK 3208 PG. 1633  
ZONING: M-1  
LAND USE: I  
STATE OF NH (9100)  
(26 NORTH WENTWORTH AVE.)

14-44-30  
ROLLING HILLS REALTY SALES LP  
C/O GEORGE WELBY &  
ASSOCIATES INC.  
1412 MAIN STREET  
SUITE 500  
DALLAS, TX 75202  
BK 460 PG. 2943  
ZONING: M-1  
LAND USE: UNDEVELOPED  
(22 NORTH WENTWORTH AVENUE)

14-44  
GRANITE RIDGE ENERGY LLC  
21 NORTH WENTWORTH AVE  
LONDONDERRY, NH 03057  
BK 2097 PG. 2674  
ZONING: M-1  
LAND USE: UTILITIES ELECTRIC (K100)  
(21 NORTH WENTWORTH AVE.)

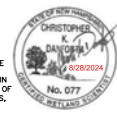
**NRCS SOILS LEGEND**

SOILS INFORMATION SHOWN HEREON IS GRAPHICALLY REPRODUCED FROM THE USDA NATURAL RESOURCES CONSERVATION SERVICE, NATIONAL COOPERATIVE SOIL SURVEY OF ROCKINGHAM COUNTY, NEW HAMPSHIRE.

- 26A WINDSOR LOAMY SAND, 0 TO 3 PERCENT SLOPES
- 26B WINDSOR LOAMY SAND, 3 TO 8 PERCENT SLOPES
- 26C WINDSOR LOAMY SAND, 8 TO 15 PERCENT SLOPES
- 26E WINDSOR LOAMY SAND, 15 TO 60 PERCENT SLOPES
- 45B MONTAUK FINE SANDY LOAM, 0 TO 8 PERCENT SLOPES, VERY STONY
- 115 SCARBOROUGH MUCK, COASTAL LOWLAND, 0 TO 3 PERCENT SLOPES
- 913B DEERFIELD LOAMY FINE SAND, 3 TO 8 PERCENT SLOPES

**WETLAND SCIENTIST CERTIFICATION**

JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED ON AUGUST 16, 2024 BY CHRISTOPHER K. DANFORTH CWS 8077. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES' A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, NRCS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USFWS NATIONAL WETLAND PLANT LIST, NWPL 2016 VERSION 3.3. HTTP://WETLAND\_PLANTS.USACE.ARMV.ML.

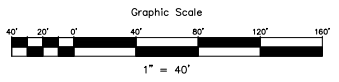


**SURVEYOR'S CERTIFICATION**

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE IN MAY 19 2024 THAT HAS AN ERROR OF CLOSURE OF NOT LESS ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000). I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. (RSA 876:18)



Michael R. Dahlberg 12-22-25  
LICENSED LAND SURVEYOR DATE



**EXISTING CONDITIONS PLAN**

LAND OF CODNER  
162 LITCHFIELD ROAD  
LONDONDERRY, NEW HAMPSHIRE

OWNED BY:  
CRAIG FOWLER (TRUSTEE)  
NICHOLAS F. CODNER TRUST OF 2012  
PREPARED FOR:  
ARCO/MURRAY  
113 NORTH MAY STREET, CHICAGO, IL 60607

SCALE: 1" = 40' JUNE 12, 2024

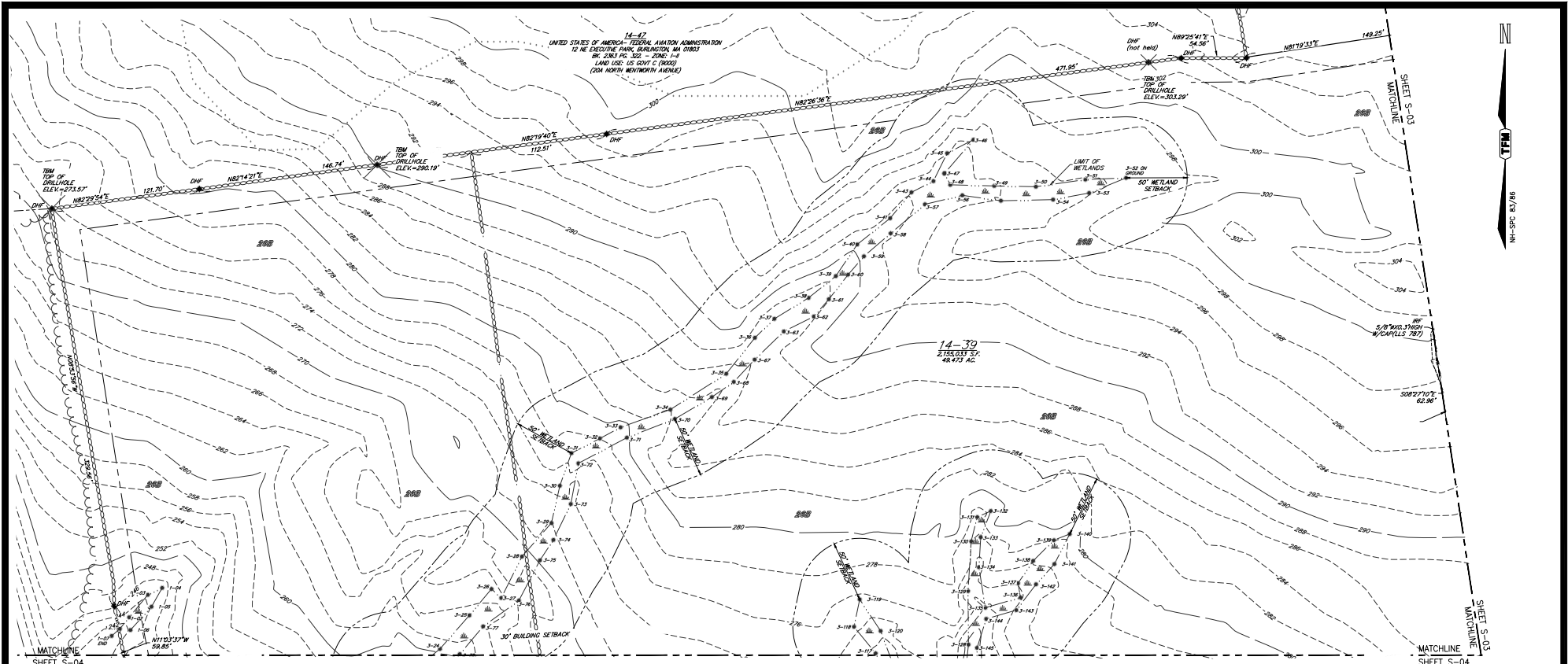
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Scientists

18252.01	DR TNB	FR 2229/2230	
	CK MRD	CADFILE 18252-01	Survey

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This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



REV.	DATE	DESCRIPTION	MRD	MRD
2	12-18-25	PER REVIEW COMMENTS FROM TOWN	MRD	MRD
1	11-17-25	REVISE SEWER EASEMENT DEED REFERENCE	MRD	MRD
		DESCRIPTION	DR	CK



**LEGEND**

- |   |                     |          |                            |     |                          |
|---|---------------------|----------|----------------------------|-----|--------------------------|
| □ | STONE BOUND (FOUND) | — SAC —  | SLOPED ASPHALT CURB        | --- | BUILDING SETBACK         |
| ○ | IRON PIN (FOUND)    | — CHW —  | OVERHEAD WIRES             | --- | ZONING DISTRICT BOUNDARY |
| ● | DRILL HOLE (FOUND)  | — PWB —  | STONEMALL                  | --- | PROPERTY BOUNDARY        |
| ⊕ | UTILITY POLE        | — S02 —  | 2' CONTOUR                 | --- | EASEMENT LINE            |
| ⊖ | GUY WIRE            | — W —    | 10' CONTOUR                | --- | WATER LINE               |
| ⊗ | BENCHMARK           | — G —    | SOLS MAP UNIT SYMBOL       | --- | GAS LINE                 |
| ⊙ | WATER VALVE         | — D —    | WETLAND DELINEATION        | --- | DRAIN LINE               |
| ⊕ | HYDRANT             | — S —    | WETLAND FLAG LOCATION      | --- | SEWER LINE               |
| ⊖ | CATCH BASIN         | — S-12 — | WETLAND SETBACK            | --- | ABUTTING PROPERTY LINE   |
| □ | MAILBOX             | ---      | DIRECTION OF DRAINAGE FLOW | --- |                          |
| ⊖ | EDGE OF PAVEMENT    | ---      |                            | --- |                          |

**NRCS SOLS LEGEND**

- SOLS INFORMATION SHOWN HEREON IS GRAPHICALLY REPRODUCED FROM THE USDA NATURAL RESOURCES CONSERVATION SERVICE, NATIONAL COOPERATIVE SOIL SURVEY OF ROCKINGHAM COUNTY, NEW HAMPSHIRE.
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  - 30B WINDSOR LOAMY SAND, 3 TO 8 PERCENT SLOPES
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  - 46B MONTAUK FINE SANDY LOAM, 0 TO 8 PERCENT SLOPES, VERY STONY
  - 11B SCARBORO MUCK, COASTAL LOWLAND, 0 TO 3 PERCENT SLOPES
  - 313B DEERFIELD LOAMY FINE SAND, 3 TO 6 PERCENT SLOPES

**WETLAND SCIENTIST CERTIFICATION**

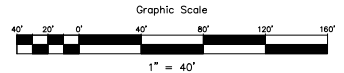
JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED ON AUGUST 16, 2024 BY CHRISTOPHER K. DANFORTH CWS #077. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEASTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOLS WITHIN THE WETLANDS WERE IDENTIFIED USING FIELD INDICATORS OF HYDRIC SOLS OF THE UNITED STATES' A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOLS, NRCS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USACE NATIONAL WETLAND PLANT LIST, NWPL 2016 VERSION 3.3. <http://wetland.plants.usace.army.mil>



**SURVEYOR'S CERTIFICATION**

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE IN MAY OF 2024 THAT HAS AN ERROR OF CLOSURE OF NOT LESS ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000). I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. (RSA 676:15)

*Michael R. Dahlberg* 12-22-25  
LICENSED LAND SURVEYOR DATE



Graphic Scale  
0' 40' 80' 120' 160'  
1" = 40'

TAX MAP 14 LOT 39  
**EXISTING CONDITIONS PLAN**  
**LAND OF CODNER**  
**162 LITCHFIELD ROAD**  
**LONDONDERRY, NEW HAMPSHIRE**  
OWNED BY:  
CRAIG FOWLER (TRUSTEE)  
NICHOLAS F. CODNER TRUST OF 2012  
PREPARED FOR:  
ARCO/MURRAY  
113 NORTH MAY STREET, CHICAGO, IL 60607  
**SCALE: 1" = 40'** **JUNE 12, 2024**

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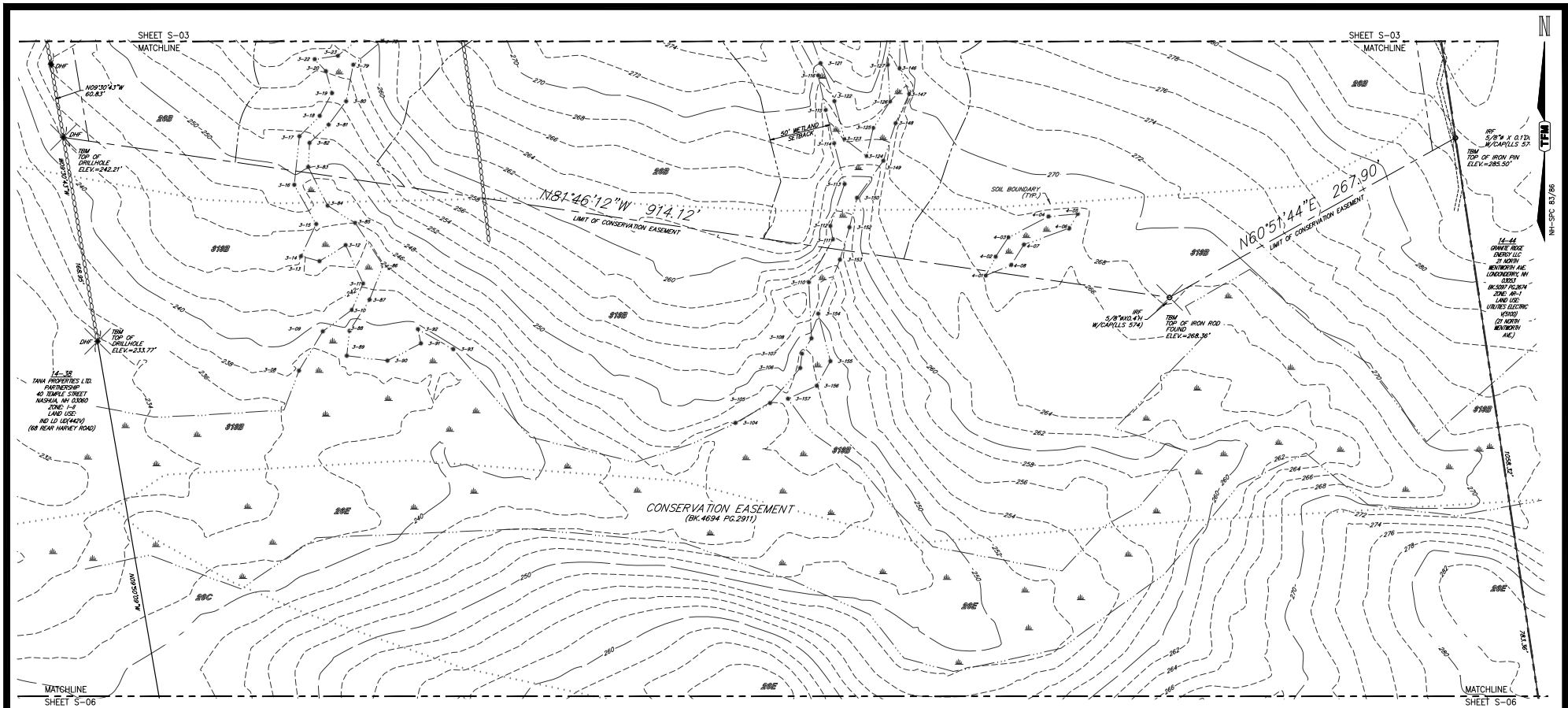


2	12-18-25	PER REVIEW COMMENTS FROM TOWN	MRD	MRD
1	11-17-25	REVISE SEWER EASEMENT DEED REFERENCE	MRD	MRD
REV.	DATE	DESCRIPTION	DR	CK

<b>TFM</b>	Civil Engineers	48 Constitution Drive
	Structural Engineers	Bedford, NH 03110
	Traffic Engineers	Phone (603) 472-4488
	Land Surveyors	Fax (603) 472-9747
	Landscape Architects	www.tfmoran.com
	Scientists	

18252.01	DR TNB	FR 2229/2230	
	CK MRD	CADFILE 18252-01	Survey

S-03

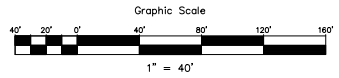


**LEGEND**

- STONE BOUND (FOUND)
- IRON PIN (FOUND)
- ◆ DRILL HOLE (FOUND)
- UTILITY POLE
- ⊗ GUY WIRE
- ⊗ BENCHMARK
- ⊗ WATER VALVE
- ⊗ HYDRANT
- ⊗ CATCH BASIN
- MAILBOX
- ⊗ EDGE OF PAVEMENT
- SLOPED ASPHALT CURB
- OVERHEAD WIRES
- STONEWALL
- 2' CONTOUR
- 10' CONTOUR
- SOILS MAP UNIT SYMBOL
- WETLAND DESIGNATION
- WETLAND FLAG LOCATION
- WETLAND SETBACK
- DIRECTION OF DRAINAGE FLOW
- BUILDING SETBACK
- ZONING DISTRICT BOUNDARY
- PROPERTY BOUNDARY
- EASEMENT LINE
- WATER LINE
- GAS LINE
- DRAIN LINE
- SEWER LINE
- ADJUTING PROPERTY LINE

**NRCS SOILS LEGEND**

- SOILS INFORMATION SHOWN HEREON IS GRAPHICALLY REPRODUCED FROM THE USDA NATURAL RESOURCES CONSERVATION SERVICE, NATIONAL COOPERATIVE SOIL SURVEY OF ROCKINGHAM COUNTY, NEW HAMPSHIRE.
- 26A WINDSOR LOAMY SAND, 0 TO 3 PERCENT SLOPES
  - 26B WINDSOR LOAMY SAND, 3 TO 8 PERCENT SLOPES
  - 26C WINDSOR LOAMY SAND, 8 TO 15 PERCENT SLOPES
  - 26E WINDSOR LOAMY SAND, 15 TO 60 PERCENT SLOPES
  - 46B MONTAUK FINE SANDY LOAM, 0 TO 8 PERCENT SLOPES, VERY STONY
  - 116 SCARBORO MUCK, COASTAL LOWLAND, 0 TO 3 PERCENT SLOPES
  - 313B DEERFIELD LOAMY FINE SAND, 3 TO 8 PERCENT SLOPES



**WETLAND NOTE**

THE WETLANDS DEPICTED ON THIS SHEET AND THOSE LOCATED WITHIN THE EXISTING CONSERVATION EASEMENT WERE DIGITIZED FROM PLANS OF RECORD PREPARED FOR THE STATE OF NEW HAMPSHIRE AND RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN #

**WETLAND SCIENTIST CERTIFICATION**

JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED ON AUGUST 16, 2024 BY CHRISTOPHER K. DANFORTH, CWS #077. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL-NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING FIELD INDICATORS OF HYDRIC SOILS OF THE UNITED STATES' A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, NRCS, VERSION 8.1, 2017. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE USGS NATIONAL WETLAND PLANT LIST, NWRP, 2016 VERSION 3.3 HTTP://WETLAND\_PLANTS.USACE.ARMY.MIL.



**SURVEYOR'S CERTIFICATION**

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I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. (RSA 676:18)

Michael E. Dalberg 12-22-25  
LICENSED LAND SURVEYOR DATE



TAX MAP 14 LOT 39

**EXISTING CONDITIONS PLAN**

LAND OF CODNER  
182 LITCHFIELD ROAD  
LONDONDERRY, NEW HAMPSHIRE

OWNED BY:  
CRAIG FOWLER (TRUSTEE)  
NICHOLAS F. CODNER TRUST OF 2012

PREPARED FOR:  
ARCO/MURRAY  
113 NORTH MAY STREET, CHICAGO, IL 60607

SCALE: 1" = 40'

JUNE 12, 2024

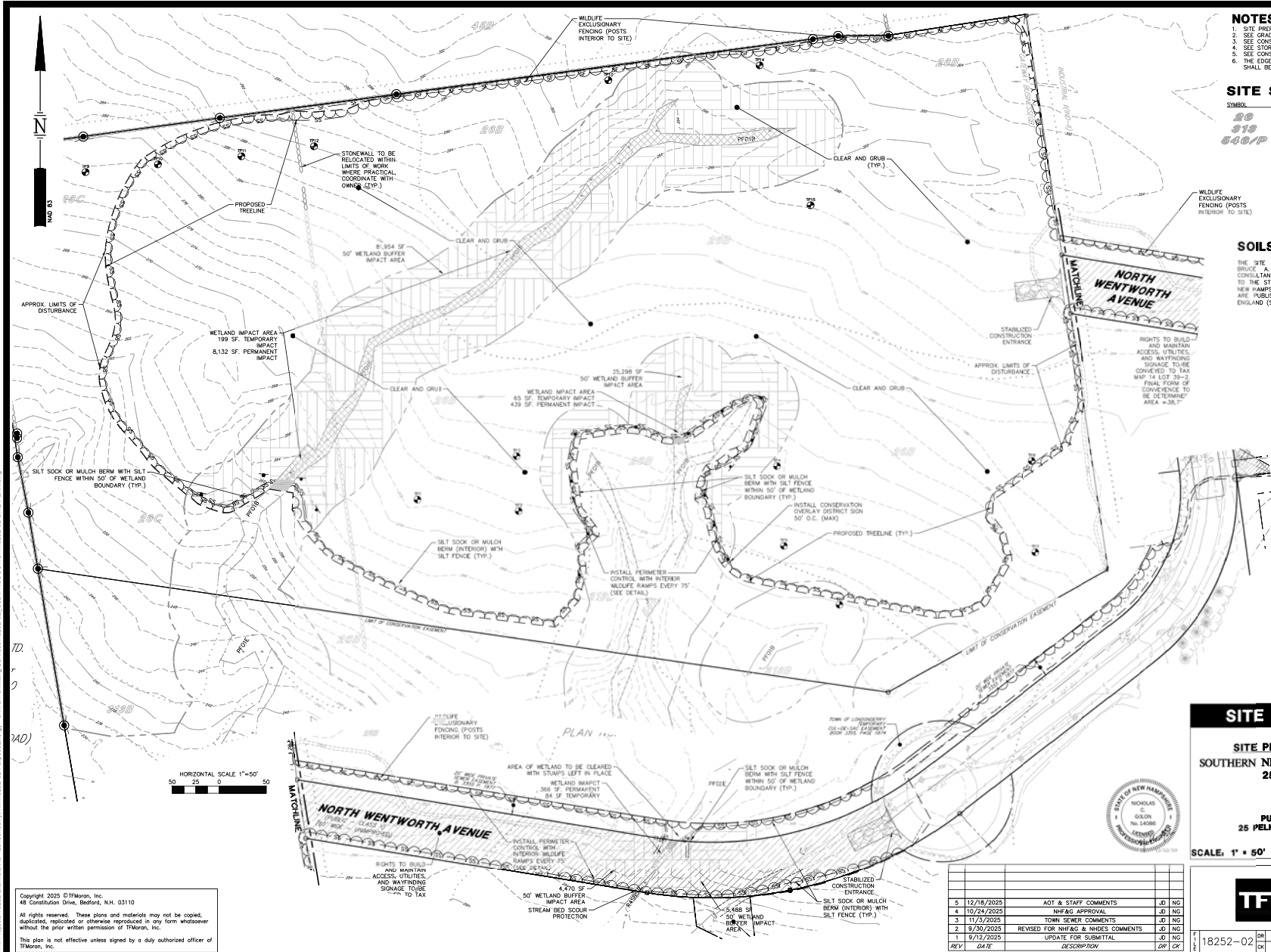
2	12-18-25	PER REVIEW COMMENTS FROM TOWN	MRD	MRD
1	11-17-25	REVISE SEWER EASEMENT DEED REFERENCE	MRD	MRD
REV.	DATE	DESCRIPTION	DR	CK

**TFM**

Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

48 Constitution Drive  
Bedford, NH 03110  
Phone (603) 472-4488  
Fax (603) 472-9747  
www.tfmoran.com

18252.01 DR TMB FB 2229/2230  
CK MRD CADPFB 18252-01 Survey S-04



- NOTES**
1. SITE PREP. NOTES ON SHEET C-03.
  2. SEE GRADING AND DRAINAGE NOTES ON SHEET C-03.
  3. SEE CONSTRUCTION SEQUENCING AND EROSION CONTROL NOTES ON SHEET C-03.
  4. SEE STORMWATER MANAGEMENT NOTES ON C-12.
  5. SEE CONSTRUCTION PHASING NOTES ON SHEET PH-1.
  6. THE EDGE OF THE CONSERVATION OVERLAY AND NON-DISTURBANCE (NO-CUT) ZONES SHALL BE APPROPRIATELY DELINEATED IN THE FIELD PRIOR TO CONSTRUCTION.

**SITE SPECIFIC SOILS LEGEND**

SYMBOL	MAP UNIT	DRAINAGE	WELL
20	WINDSOR		A
319	DEERFIELD		B
546/P	WALPOLE		C

**SLOPE DESIGNATION PERCENT SLOPE**

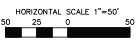
SLOPE DESIGNATION	PERCENT SLOPE
B	0 TO 8%
C	8 TO 15%
D	15 TO 25%
E	>25%



**SOILS CERTIFICATION**

THE SITE SPECIFIC SOIL MAPPING WAS PERFORMED DECEMBER 2024 BY BRUCE A. GILDAY, CERTIFIED SOIL SCIENTIST #012, OF BAG LAND CONSULTANTS IN CONCORD, NH. THIS MAPPING WAS PERFORMED ACCORDING TO THE STANDARDS OF THE "SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT" VERSION 7.0, JULY 2021. THESE STANDARDS ARE PUBLISHED BY THE SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND (SSSNE).

RIGHTS TO BUILD AND MAINTAIN ACCESS, UTILITIES, AND WAYFINDING SIGNAGE TO BE CONVEYED TO TAX MAP 14 LOT 39-2. FINAL FORM OF CONVEYENCE TO BE DETERMINED AREA = 36.7'



Date: 2/23/2025 2:15pm  
 File: F:\ITEM Projects\18252-02 PurposeEnergy - Civil & Permitting Services\18252-02\_CDD\PRODUCTION\18252-02 SITE PLAN.dwg

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**SITE DEVELOPMENT PLANS**

TAX MAP 14 LOT 39-2

**SITE PREPARATION & DEMOLITION PLAN**

**SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS**  
**25 NORTH WENTWORTH AVE.**  
**LONDONDERRY, NH 03053**

OWNED BY  
 PREPARED FOR  
**PURPOSEENERGY-LONDONDERRY, LLC**  
 25 PELHAM ROAD SUITE 102, SALEM, NH 03079

SCALE: 1" = 60'      SEPTEMBER 8, 2025



NO.	DATE	DESCRIPTION	BY	CHK
5	12/19/2025	ADT & STAFF COMMENTS	JD	NG
4	10/24/2025	NH&G APPROVAL	JD	NG
3	11/3/2025	TOWN SEWER COMMENTS	JD	NG
2	9/30/2025	REVISED FOR NH&G & NH&S COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG
REV	04/7	DESCRIPTION	DR	CK

**TFM** Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveys  
 Landscape Architects  
 Scientists

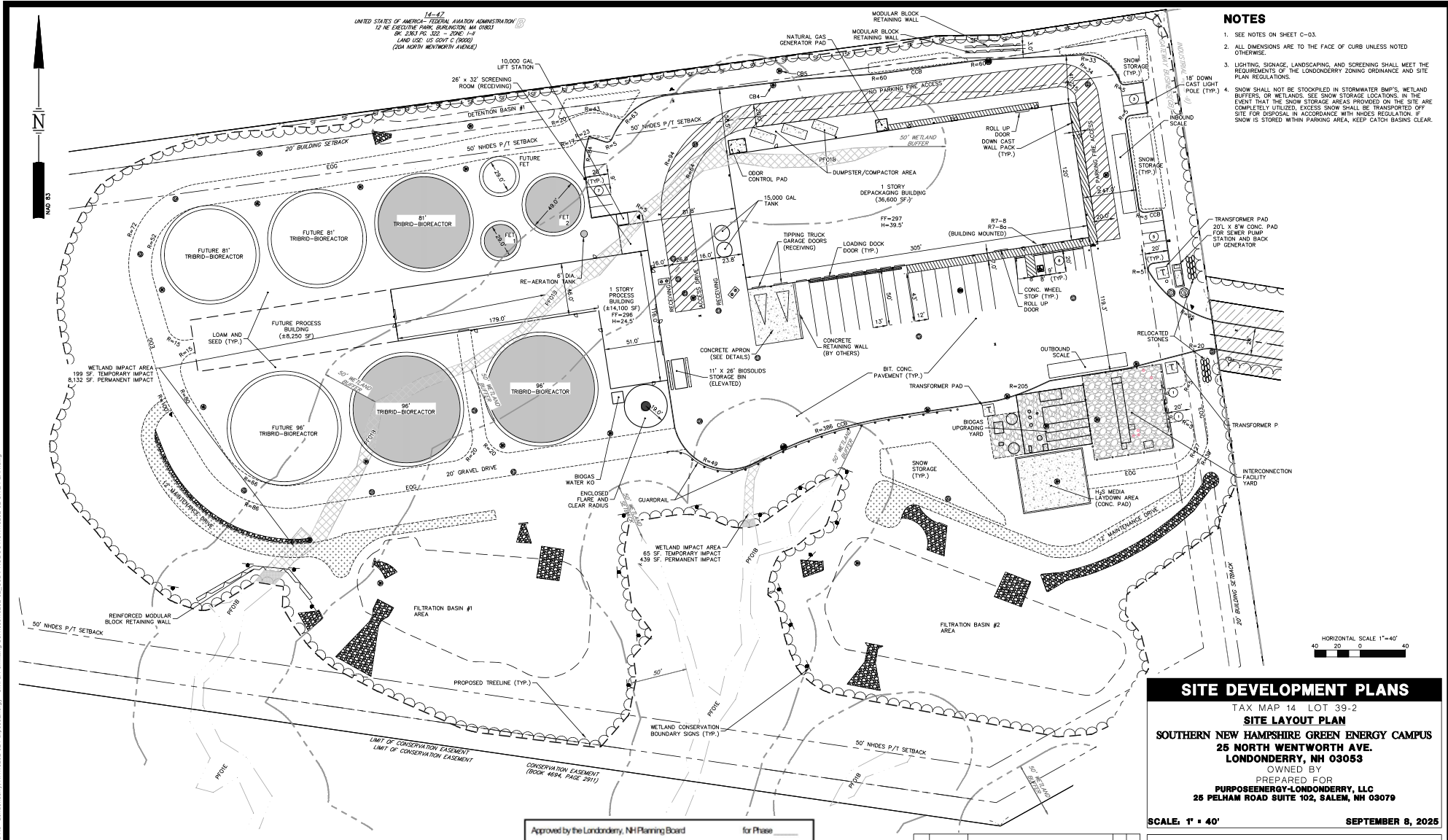
48 Constitution Drive  
 Bedford, NH 03110  
 Phone (603) 472-4488  
 Fax (603) 472-9747  
 www.tfmoran.com

18252-02 DR FB  
 CK CADFILE 18252-02 SITE PLAN C-04



14-47  
 UNITED STATES OF AMERICA - FEDERAL AVIATION ADMINISTRATION  
 12 NE EXECUTIVE PARK, BURLINGTON, MA 01803  
 OR 2383 PLS 150' - 200' - 100'  
 LAND USE: US DOT C (1000)  
 (20A NORTH WENTWORTH AVENUE)

- NOTES**
1. SEE NOTES ON SHEET C-03.
  2. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
  3. LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE LONDONDERRY ZONING ORDINANCE AND SITE PLAN REGULATIONS.
  4. SNOW SHALL NOT BE STOCKPILED IN STORMWATER BMP'S, WETLAND BUFFERS, OR WETLANDS. SEE SNOW STORAGE LOCATIONS IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH NHDES REGULATION. IF SNOW IS STORED WITHIN PARKING AREA, KEEP CATCH BASINS CLEAR.



HORIZONTAL SCALE 1" = 40'

**SITE DEVELOPMENT PLANS**  
 TAX MAP 14 LOT 39-2  
**SITE LAYOUT PLAN**  
 SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS  
 25 NORTH WENTWORTH AVE.  
 LONDONDERRY, NH 03053  
 OWNED BY  
 PURPOSEENERGY-LONDONDERRY, LLC  
 25 PELHAM ROAD SUITE 102, SALEM, NH 03079  
 SCALE: 1" = 40' SEPTEMBER 8, 2025

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**OWNER'S SIGNATURE**  
  
 OWNER OR AUTHORIZED AGENT  
 12/22/2025  
 DATE

Approved by the Londonderry, NH Planning Board for Phase \_\_\_\_\_  
 on Date: \_\_\_\_\_  
 Certified by: \_\_\_\_\_

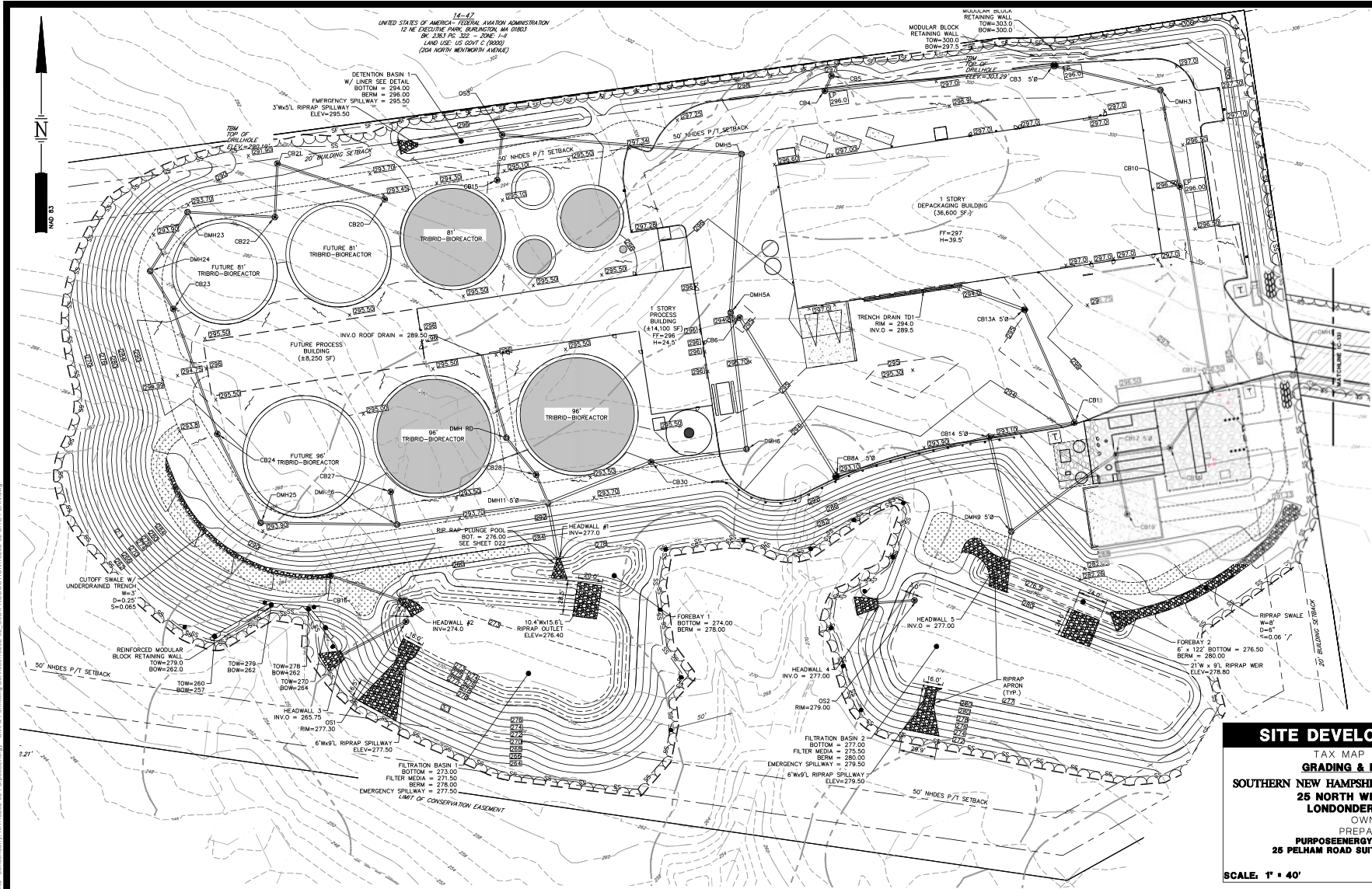


REV	DATE	DESCRIPTION	JD	NG
5	12/18/2025	ADT & STAFF COMMENTS	JD	NG
4	10/24/2025	NH&S APPROVAL	JD	NG
3	11/3/2025	TOWN SEWER COMMENTS	JD	NG
2	9/30/2025	REVISED FOR NH&S & NHDES COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG
REV	DATE	DESCRIPTION	JD	NG

**TFM**  
 Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists  
 48 Constitution Drive  
 Bedford, NH 03110  
 Phone (603) 472-4488  
 Fax (603) 472-9747  
 www.tfmoran.com

18252-02 DR FB  
 CK CADFILE 18252-02 SITE PLAN C-06

Date: 2/20/2025 - 2:16pm  
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**SITE DEVELOPMENT PLANS**  
 TAX MAP 14 LOT 39-2  
**GRADING & DRAINAGE PLAN**  
 SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS  
 25 NORTH WENTWORTH AVE.  
 LONDONDERRY, NH 03053  
 OWNED BY  
 PURPOSEENERGY-LONDONDERRY, LLC  
 25 PELHAM ROAD SUITE 102, SALEM, NH 03079

SCALE: 1" = 40'      SEPTEMBER 8, 2025

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HORIZONTAL SCALE 1" = 40'  
 40 20 0 40

REV	DATE	DESCRIPTION	BY	CHK
5	12/18/2024	ADT & STAFF COMMENTS	JD	NG
4	10/24/2025	NH&G APPROVAL	JD	NG
3	11/3/2025	TOWN SEWER COMMENTS	JD	NG
2	9/30/2025	REVISED FOR NH&G & NHDES COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG

<b>TFM</b>	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com	
	18252-02 DR CK	FB CADFILE	18252-02 SITE PLAN

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Date: 09/25/2025 - 2:10pm  
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Pipe Table				
Pipe Name	SIZE	MATERIAL	Length	Slope
CB10-CB12	15"	HDPE PIPE	169 LF	0.010
DMH1-CB12	15"	HDPE PIPE	65 LF	0.010
CB14-DMH9	24"	HDPE PIPE	81 LF	0.010
CB13-CB14	15"	HDPE PIPE	71 LF	0.012
CB1-CB2	15"	HDPE PIPE	22 LF	0.010
CB2-DMH1	15"	HDPE PIPE	156 LF	0.010
CB12-CB18	15"	HDPE PIPE	60 LF	0.010
CB6-CB8A	24"	HDPE PIPE	153 LF	0.008
CB8A-CB14	18"	HDPE PIPE	131 LF	0.010
DMH9-POND2	30"	HDPE PIPE	24 LF	0.005
CB30-DMH11	24"	HDPE PIPE	92 LF	0.010
DMH11-POND1	24"	HDPE PIPE	46 LF	0.005
CB28-DMH11	15"	HDPE PIPE	25 LF	0.008
CB27-DMH26	15"	HDPE PIPE	28 LF	0.010
CB20-CB21	15"	HDPE PIPE	94 LF	0.025
CB21-CB22	15"	HDPE PIPE	44 LF	0.009
CB22-DMH23	15"	HDPE PIPE	73 LF	0.010
DMH23-DMH24	15"	HDPE PIPE	58 LF	0.010
CB24-DMH25	15"	HDPE PIPE	82 LF	0.011
DMH25-DMH26	15"	HDPE PIPE	113 LF	0.009
DMH26-DMH11	18"	HDPE PIPE	126 LF	0.010
DMH6-CB8A	24"	HDPE PIPE	80 LF	0.010
DMH24-CB23	15"	HDPE PIPE	37 LF	0.009
OS3-DMH5	18"	HDPE PIPE	199 LF	0.010
DMH5-DMH5A	24"	HDPE PIPE	132 LF	0.010

Pipe Table				
Pipe Name	SIZE	MATERIAL	Length	Slope
CB4-DMH5	18"	HDPE PIPE	191 LF	0.010
CB23-CB24	15"	HDPE PIPE	110 LF	0.010
CB13A-CB13	15"	HDPE PIPE	102 LF	0.010
CB17-DMH9	18"	HDPE PIPE	108 LF	0.015
CB5-CB4	15"	HDPE PIPE	14 LF	0.007
TD-CB13A	24"	HDPE PIPE	56 LF	0.010
CB18-CB17	18"	HDPE PIPE	45 LF	0.010
CB19-CB17	15"	HDPE PIPE	50 LF	0.010
CB3-DMH3	15"	HDPE PIPE	90 LF	0.010
DMH3-CB10	15"	HDPE PIPE	82 LF	0.010
OS2-OUT	15"	HDPE PIPE	31 LF	0.016
OS1-OUT	15"	HDPE PIPE	60 LF	0.004
CB16-HW2	15"	HDPE PIPE	61 LF	0.030
CB15-OS3	15"	HDPE PIPE	38 LF	0.009
DMH RD-CB28	15"	HDPE PIPE	39 LF	0.005
PROCESS -DMH RD	15"	CORRUGATED HDPE PIPE	72 LF	0.005
DMH5A-DMH6	24"	CORRUGATED HDPE PIPE	114 LF	0.010

**NOTES**

- SEE NOTES ON SHEET C-02.
- SEE GRADING AND DRAINAGE PLAN ON SHEET C-07

STRUCTURE TABLE		
STRUCTURE NAME	STRUCTURE DETAILS	SUMP
CB1	RIM = 297.43 CB1-CB2 INV OUT = 293.18	0.0
CB2	RIM = 297.43 CB1-CB2 INV IN = 292.96 CB2-DMH1 INV OUT = 292.64	0.0
CB3 5'Ø	RIM = 296.74 CB4-DMH5 INV IN = 289.15 CB3-DMH3 INV OUT = 289.05	0.0
CB4	RIM = 297.46 CB5-CB4 INV IN = 291.16 CB4-DMH5 INV OUT = 291.06	0.0
CB5	RIM = 296.65 CB5-CB4 INV OUT = 291.26	0.0
CB6	RIM = 294.80 CB6-CB8A INV OUT = 288.00	0.0
CB8A 5'Ø	RIM = 293.10 CB6-CB8A INV IN = 286.82 CB8A-CB14 INV IN = 284.69	0.0
CB10	RIM = 296.00 DMH3-CB10 INV IN = 286.15 CB10-CB12 INV OUT = 285.94	0.0
CB12	RIM = 296.75 CB10-CB12 INV IN = 284.25 CB12-CB18 INV OUT = 284.15	0.0
CB13	RIM = 294.50 CB13A-CB13 INV IN = 289.66 CB13-CB14 INV OUT = 288.00	0.0
CB13A 5'Ø	RIM = 294.95 TD-CB13A INV IN = 286.94 CB13A-CB13 INV OUT = 290.70	0.0
CB14 5'Ø	RIM = 293.10 CB13-CB14 INV IN = 287.13 CB8A-CB14 INV OUT = 286.00 CB14-DMH9 INV OUT = 280.06	0.0
CB15	RIM = 296.08 CB15-OS3 INV OUT = 291.94	0.0
CB16	RIM = 281.80 CB16-HW2 INV OUT = 277.55	0.0
CB17 5'Ø	RIM = 298.57 CB18-CB17 INV OUT = 282.45 CB17-DMH9 INV OUT = 279.72 CB19-CB17 INV OUT = 285.00	0.0
CB18	RIM = 298.57 CB18-CB17 INV IN = 282.00 CB12-CB18 INV IN = 283.55	0.0
CB19	RIM = 293.00 CB19-CB17 INV IN = 284.50	0.0
CB20	RIM = 293.44 CB20-CB21 INV OUT = 289.20	0.0
CB21	RIM = 291.69 CB20-CB21 INV IN = 286.90 CB21-CB22 INV OUT = 286.80	0.0
CB22	RIM = 293.45 CB21-CB22 INV IN = 286.41 CB22-DMH23 INV OUT = 286.31	0.0

STRUCTURE TABLE		
STRUCTURE NAME	STRUCTURE DETAILS	SUMP
CB23	RIM = 293.50 DMH24-CB23 INV IN = 284.46 CB23-CB24 INV OUT = 284.31	0.0
CB24	RIM = 293.40 CB23-CB24 INV IN = 283.20 CB24-DMH25 INV OUT = 283.10	0.0
CB27	RIM = 292.34 CB27-DMH26 INV OUT = 288.15	0.0
CB28	RIM = 293.39 DMH RD-CB28 INV IN = 286.85 CB28-DMH11 INV OUT = 286.75	0.0
CB30	RIM = 295.91 DMH6-CB8A INV IN = 285.92 CB30-DMH11 INV OUT = 285.80	0.0
DMH RD	RIM = 294.18 PROCESS -DMH RD INV IN = 289.15 DMH RD-CB28 INV OUT = 289.05	0.0
DMH1	RIM = 300.00 DMH1-CB12 INV IN = 289.30 CB2-DMH1 INV IN = 291.08	0.0
DMH3	RIM = 296.65 CB3-DMH3 INV IN = 288.15 DMH3-CB10 INV OUT = 286.97	0.0
DMH5	RIM = 296.65 OS3-DMH5 INV IN = 289.51 DMH5-DMH5A INV OUT = 289.40	0.0
DMH5A	RIM = 293.04 DMH5-DMH5A INV IN = 288.13 DMH5A-DMH6 INV OUT = 288.00	0.0
DMH6	RIM = 294.50 DMH5A-DMH6 INV IN = 286.82 DMH6-CB8A INV OUT = 286.72	0.0
DMH9 5'Ø	RIM = 292.03 CB17-DMH9 INV IN = 278.10 CB14-DMH9 INV IN = 279.25 DMH9-POND2 INV OUT = 278.12	0.0
DMH11 5'Ø	RIM = 292.73 CB30-DMH11 INV IN = 284.88 CB28-DMH11 INV IN = 286.54 DMH26-DMH11 INV IN = 279.54 DMH11-POND1 INV OUT = 277.23	0.0
DMH23	RIM = 293.73 CB22-DMH23 INV IN = 285.59 DMH23-DMH24 INV OUT = 285.49	0.0
DMH24	RIM = 293.70 DMH23-DMH24 INV IN = 284.91 DMH24-CB23 INV OUT = 284.81	0.0
DMH25	RIM = 293.90 CB24-DMH25 INV IN = 282.23 DMH25-DMH26 INV OUT = 282.10	0.0
DMH26	RIM = 293.70 DMH25-DMH26 INV IN = 281.05 CB27-DMH26 INV IN = 287.87 DMH26-DMH11 INV OUT = 280.80	0.0
OS1	RIM = 277.30 OS1-OUT INV OUT = 266.00	0.0
OS2	RIM = 279.00 OS2-OUT INV OUT = 272.00	0.0
OS3	RIM = 295.90 CB15-OS3 INV IN = 291.60 OS3-DMH5 INV OUT = 291.50	0.0

**SITE DEVELOPMENT PLANS**  
 TAX MAP 14 LOT 39-2  
**DRAINAGE STRUCTURE TABLES**  
 SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS  
 25 NORTH WENTWORTH AVE.  
 LONDONDERRY, NH 03053  
 OWNED BY  
 PREPARED FOR  
**PURPOSEENERGY-LONDONDERRY, LLC**  
 25 PELHAM ROAD SUITE 102, SALEM, NH 03079

**SCALE: NONE** **SEPTEMBER 8, 2025**

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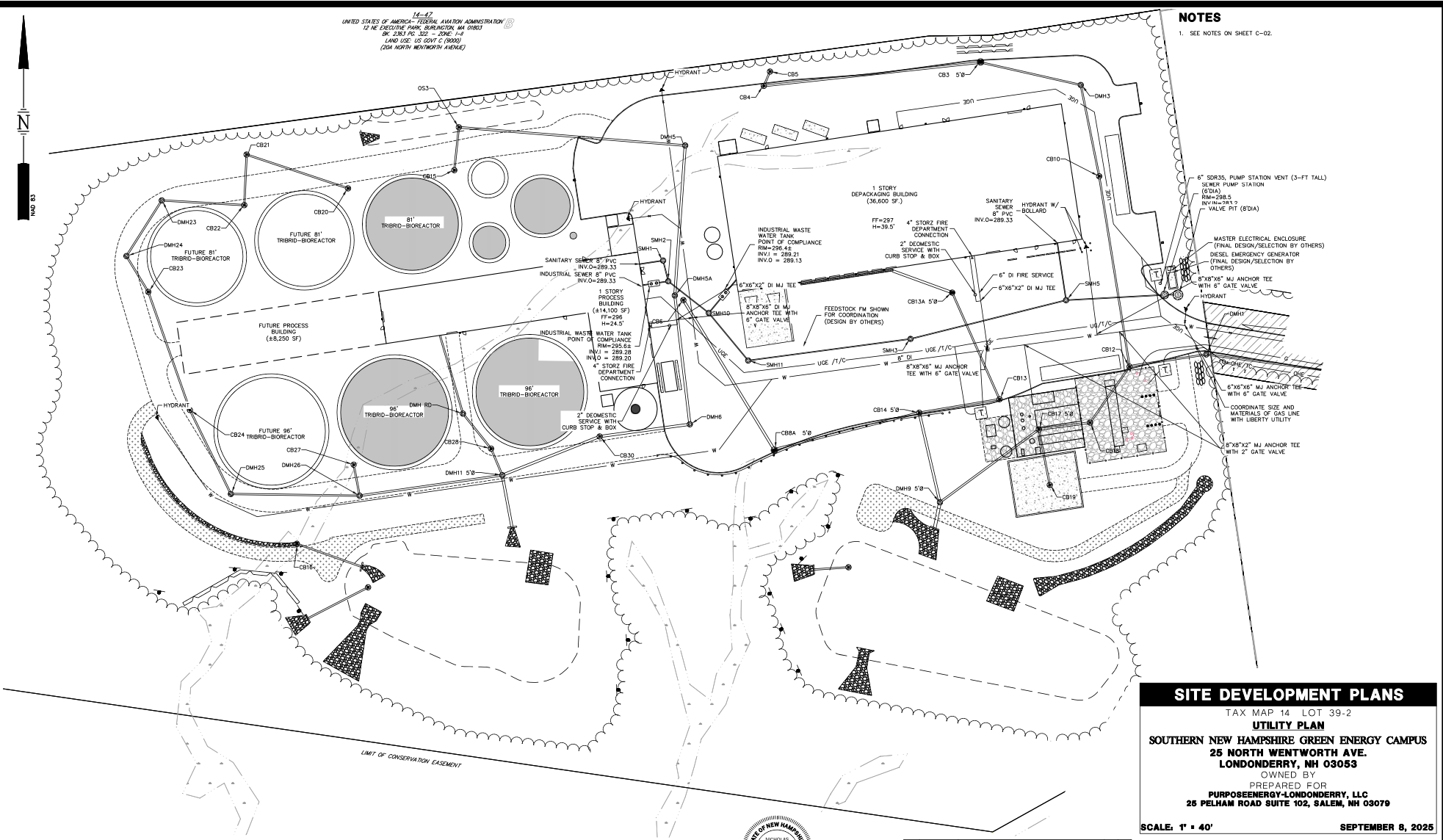
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4	10/24/2025	INP&S APPROVAL	JD	NG
3	11/3/2025	TOWN SEWER COMMENTS	JD	NG
2	9/30/2025	REVISED FOR INP&S & INP&S COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG

	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists www.tfmoran.com	48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747
	18252-02	FB CADFILE 18252-02 SITE PLAN

14-47  
 UNITED STATES OF AMERICA - FEDERAL AVIATION ADMINISTRATION  
 12 NE EXECUTIVE PARK, BURLINGTON, MA 01803  
 DR 2352.P1.325 - ZONE 140  
 LAND USE: US GOVT C (R000)  
 (20A NORTH WENTWORTH AVENUE)

**NOTES**

1. SEE NOTES ON SHEET C-02.



**SITE DEVELOPMENT PLANS**

TAX MAP 14 LOT 39-2  
**UTILITY PLAN**  
 SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS  
 25 NORTH WENTWORTH AVE.  
 LONDONDERRY, NH 03053

PREPARED FOR  
**PURPOSEENERGY-LONDONDERRY, LLC**  
 25 PELHAM ROAD SUITE 102, SALEM, NH 03079

SCALE: 1" = 40' SEPTEMBER 8, 2025



HORIZONTAL SCALE 1"=40'  
 40 20 0

REV	DATE	DESCRIPTION	JD	NG
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4	10/24/2025	NHF&G APPROVAL	JD	NG
3	11/3/2025	TOWN SEWER COMMENTS	JD	NG
2	12/30/2025	REVISED FOR NHF&G INQUIRIES COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG



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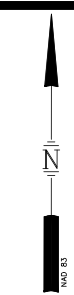
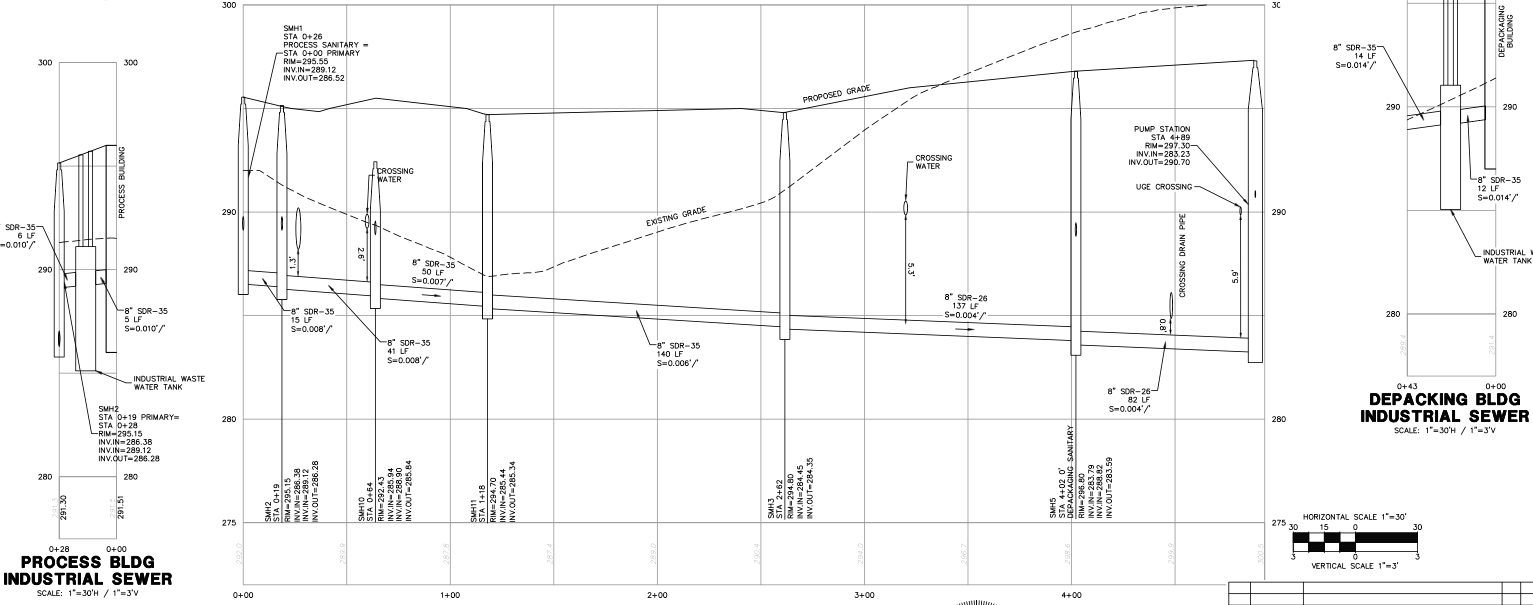
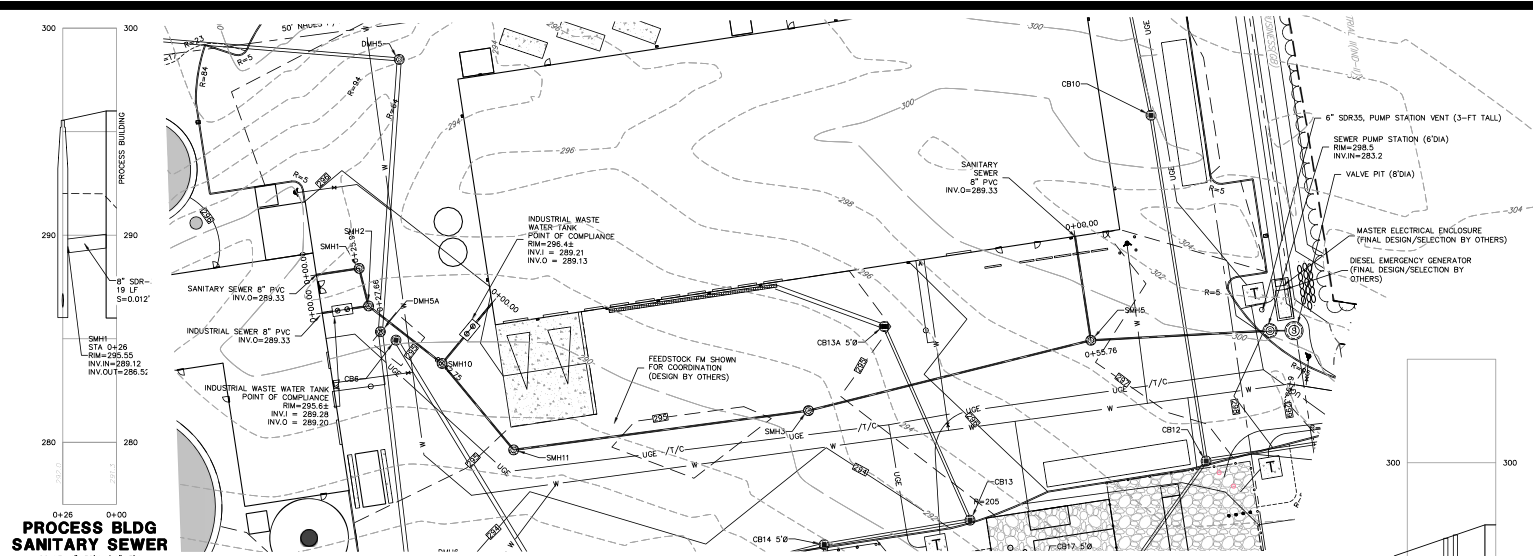
18252-02	DR	FB	18252-02 SITE PLAN	C-09
	CK	CADFILE		

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Dec 29, 2025 - 2:16pm  
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**NOTES**  
 1. SEE NOTES ON SHEET C-02.

**SITE DEVELOPMENT PLANS**  
 TAX MAP 14 LOT 39-2  
**SITE SEWERS PLAN AND PROFILE**  
 SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS  
 25 NORTH WENTWORTH AVE.  
 LONDONDERRY, NH 03053  
 PREPARED FOR  
**PURPOSEENERGY-LONDONDERRY, LLC**  
 25 PELHAM ROAD SUITE 102, SALEM, NH 03079  
 SCALE: 1" = 30' H / 1" = 3' V      SEPTEMBER 8, 2025

<b>TFM</b>	Civil Engineers		48 Constitution Drive	
	Structural Engineers		Bedford, NH 03110	
Land Surveyors		Phone (603) 472-4488		
Landscape Architects		Fax (603) 472-9747		
Scientists		www.tfmoran.com		

18252-02	DR	FB	18252-02 SITE PLAN	C-10
	CK	CADFILE		

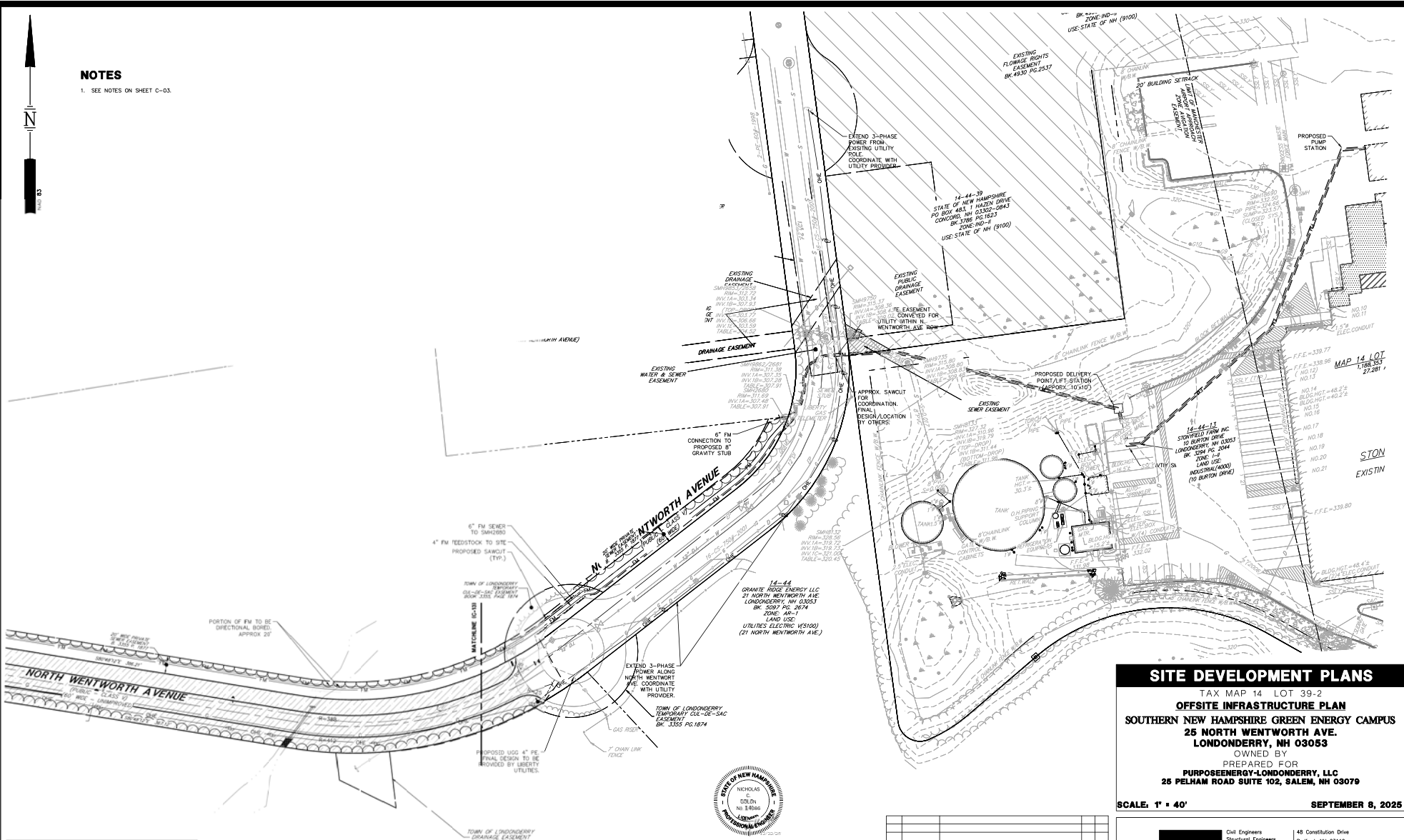
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3	11/3/2025	TOWN SEWER COMMENTS	JD	NG
2	5/25/2025	REVISED FOR NHF&Q & NHDES COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG





**NOTES**

1. SEE NOTES ON SHEET C-03.



**SITE DEVELOPMENT PLANS**  
 TAX MAP 14 LOT 39-2  
**OFFSITE INFRASTRUCTURE PLAN**  
**SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS**  
**25 NORTH WENTWORTH AVE.**  
**LONDONDERY, NH 03053**  
 OWNED BY  
**PURPOSEENERGY-LONDONDERY, LLC**  
**25 PELHAM ROAD SUITE 102, SALEM, NH 03079**  
 PREPARED FOR  
**PURPOSEENERGY-LONDONDERY, LLC**  
**25 PELHAM ROAD SUITE 102, SALEM, NH 03079**  
 SCALE: 1" = 40' SEPTEMBER 8, 2025



HORIZONTAL SCALE 1"=50'  
50 25 0 50

REV	DATE	DESCRIPTION	BY	CHK
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4	10/24/2025	NHF&G APPROVAL	JD	NG
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2	9/30/2025	REVISED FOR NHF&G COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG
			DR	CK



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18252-02	DR	FB	18252-02 SITE PLAN	C-11
	CK	CADFILE		

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HORIZONTAL SCALE 1"=40'  
 40 20 0 40

REV	DATE	DESCRIPTION	BY	CHK
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4	10/24/2025	INR&S APPROVAL	JD	NG
3	11/3/2025	TOWN SEWER COMMENTS	JD	NG
2	9/30/2025	REVISED FOR INR&S & INR&S COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG

**SITE DEVELOPMENT PLANS**

TAX MAP 14 LOT 39-2  
**STORMWATER MANAGEMENT PLAN**  
 SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS  
 25 NORTH WENTWORTH AVE.  
 LONDONDERRY, NH 03053

PREPARED FOR  
**PURPOSEENERGY-LONDONDERRY, LLC**  
 25 PELHAM ROAD SUITE 102, SALEM, NH 03079

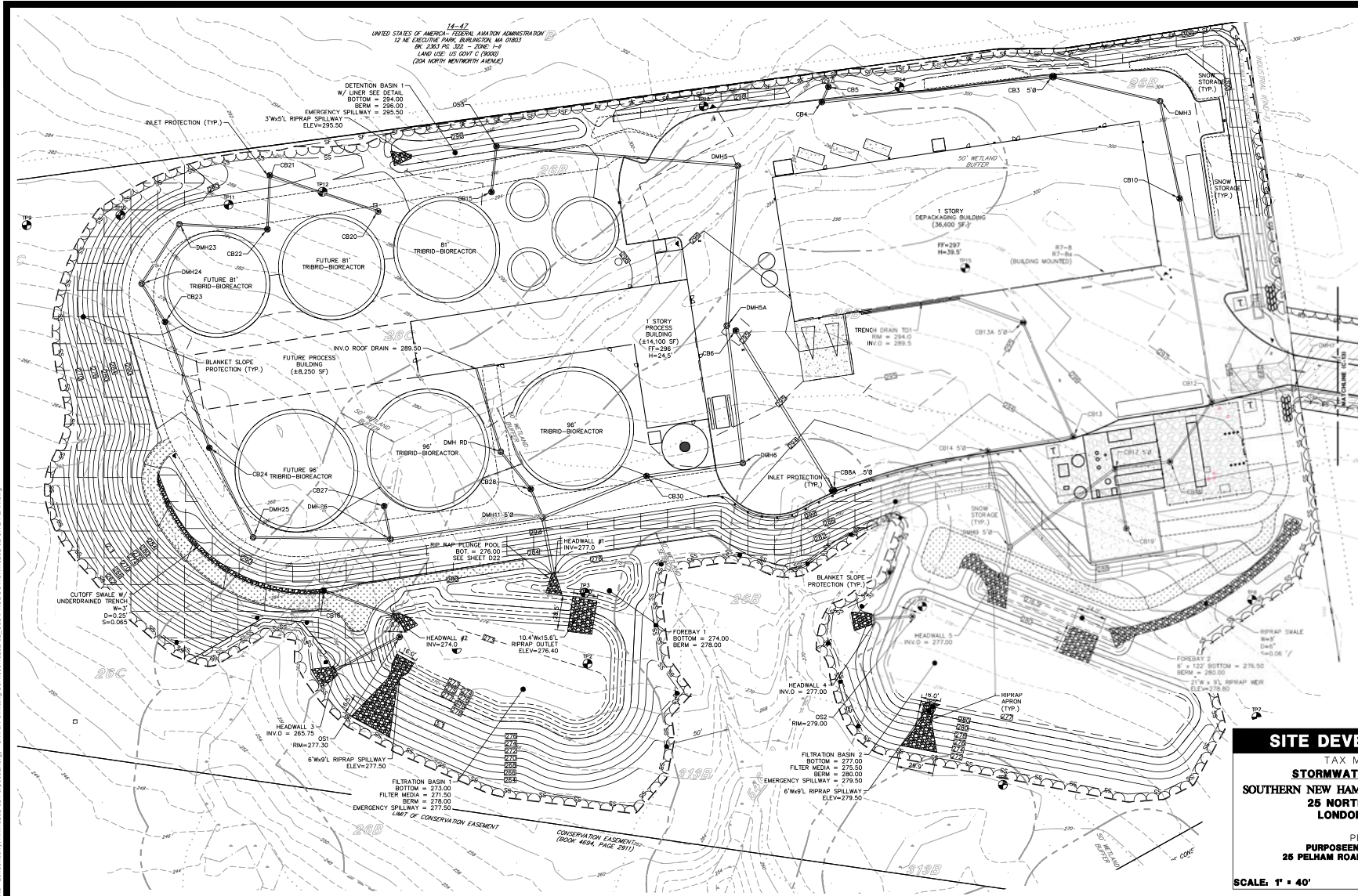
SCALE: 1" = 40'      SEPTEMBER 8, 2025

**TFM**

Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

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 Fax (603) 472-9747  
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18252-02	DR	FB	CADFILE	18252-02 SITE PLAN	C-12
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N  
 18252-02

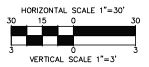
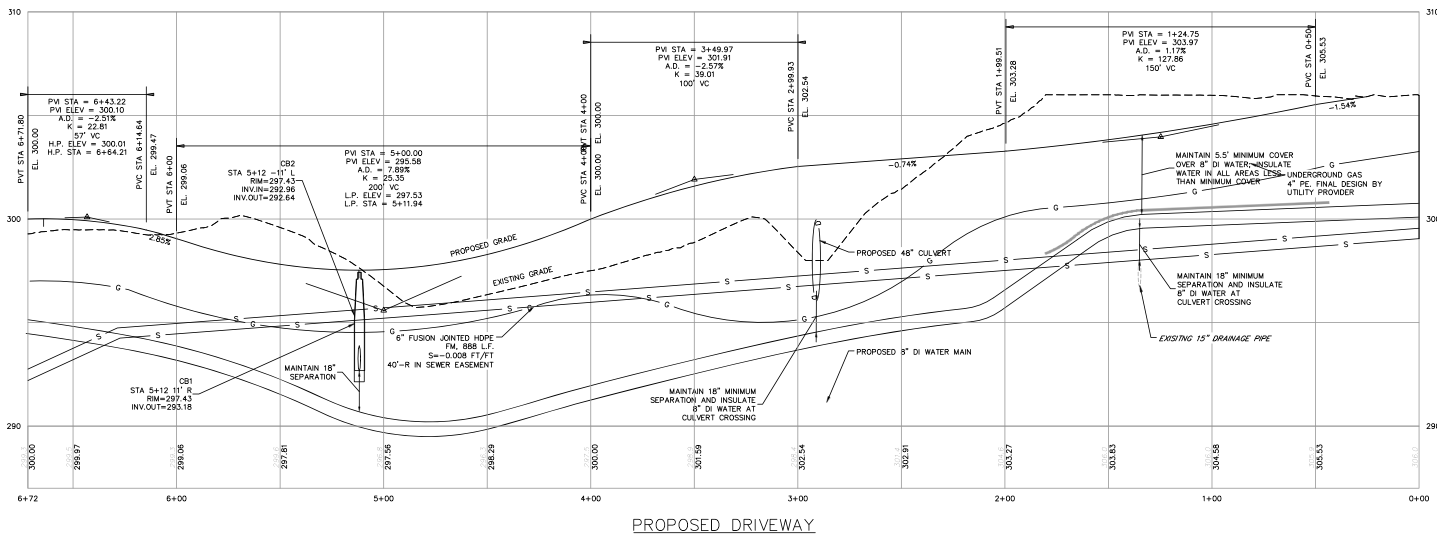
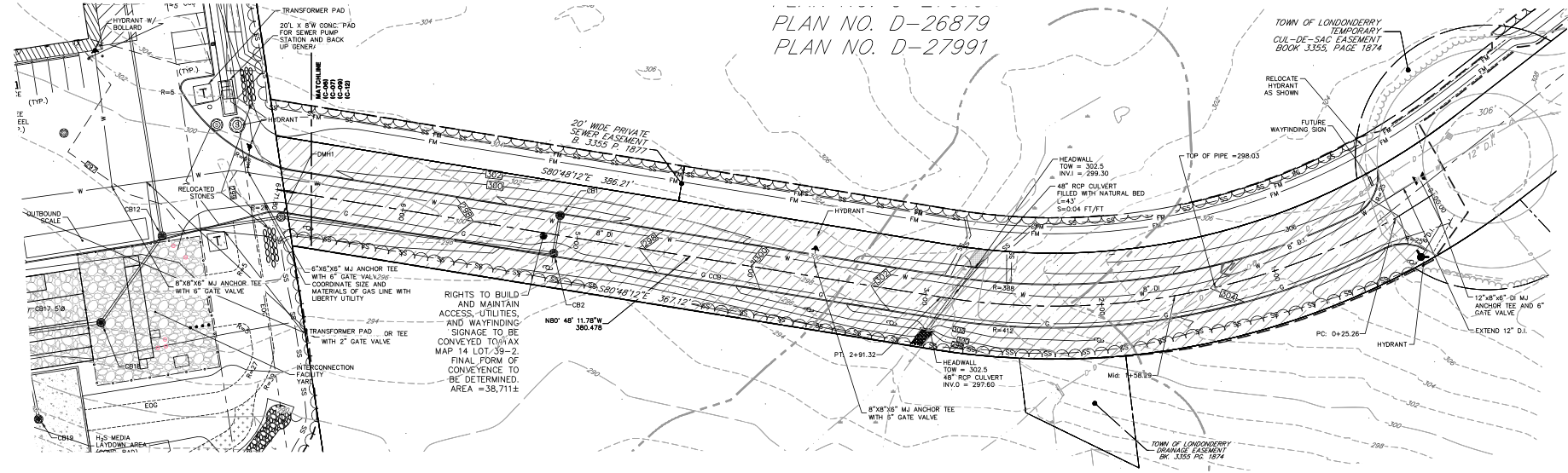
**NOTES**

1. SEE SHEET D-01 FOR STORMWATER MANAGEMENT AND CONSTRUCTION GENERAL PERMIT NOTES.

PLAN NO. D-26879  
PLAN NO. D-27991

TOWN OF LONDONDERRY  
TEMPORARY  
CUL-DE-SAC EASEMENT  
BOOK 3355, PAGE 1874

RIGHTS TO BUILD  
AND MAINTAIN  
ACCESS, UTILITIES,  
AND WAYFINDING  
SIGNAGE TO BE  
CONVEYED TO AS X  
MAP 14 LOT 39-2.  
FINAL FORM OF  
CONVEYANCE TO BE  
DETERMINED.  
AREA = 38,711±



**SITE DEVELOPMENT PLANS**  
TAX MAP 14 LOT 39-2  
**DRIVEWAY PLAN & PROFILE**  
SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS  
25 NORTH WENTWORTH AVE.  
LONDONDERRY, NH 03053  
PREPARED BY  
PURPOSEENERGY-LONDONDERRY, LLC  
25 PELHAM ROAD SUITE 102, SALEM, NH 03079  
SCALE: 1" = 30' H / 1" = 3' V      SEPTEMBER 8, 2025

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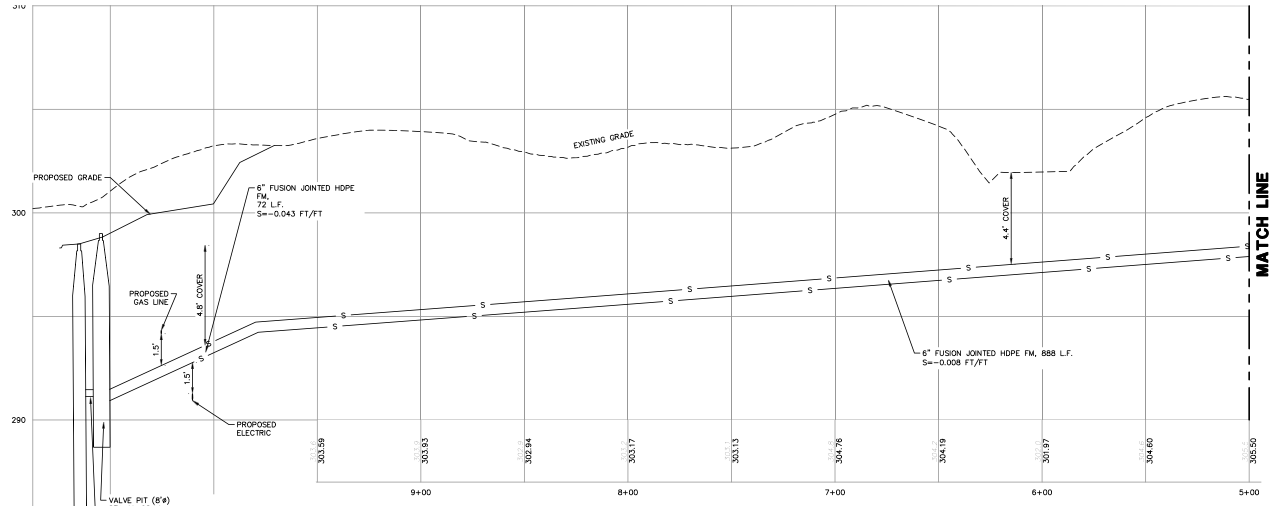
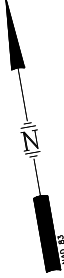
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4	10/24/2025	TOWN & APPROVAL	JD	NG
3	11/3/2024	TOWN SEWER COMMENTS	JD	NG
2	9/30/2025	REVISED FOR NHRAID & INDEXES COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG

**TFM** Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

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Bedford, NH 03110  
Phone (603) 472-4488  
Fax (603) 472-9747  
www.tfmoran.com

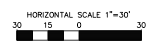
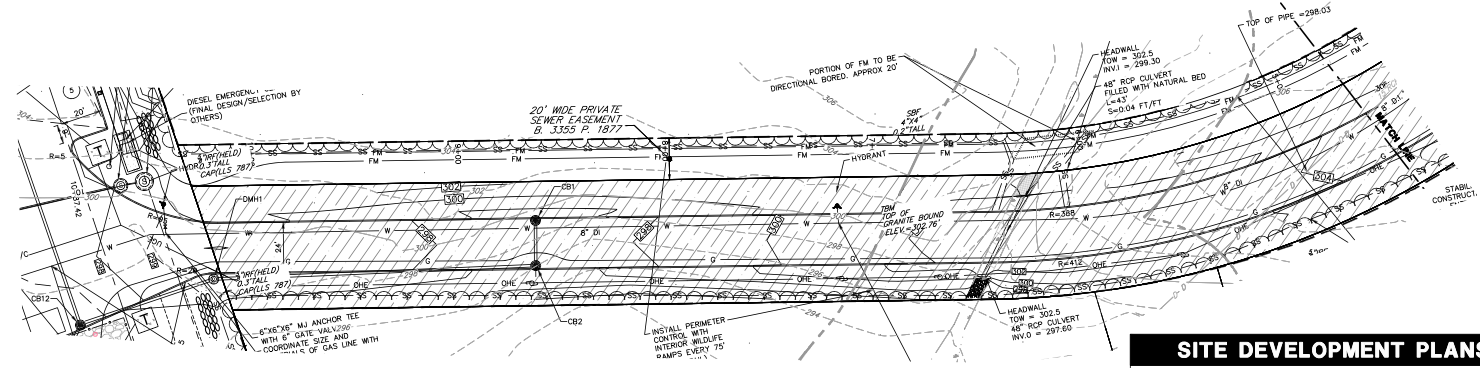
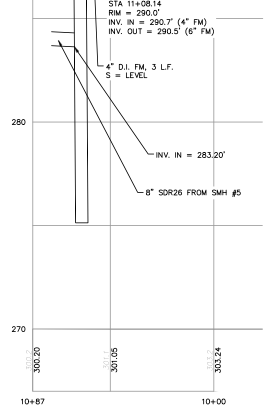
18252-02 DR CK FB CADFILE 18252-02 SITE PLAN C-13





**SEWER FORCEMAIN TO MUNICIPAL SYSTEM**

SCALE: 1" = 30' H, 1" = 3' V



**NOTES**  
1. SEE NOTES ON SHEET C-03.

**SITE DEVELOPMENT PLANS**  
TAX MAP 14 LOT 39-2  
**FORCEMAIN PLAN AND PROFILE**  
**SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS**  
**25 NORTH WENTWORTH AVE.**  
**LONDONDERRY, NH 03053**  
OWNED BY  
PREPARED FOR  
**PURPOSEENERGY-LONDONDERRY, LLC**  
**25 PELHAM ROAD SUITE 102, SALEM, NH 03079**  
**SCALE: 1" = 30' H / 1" = 3' V**      **SEPTEMBER 8, 2025**

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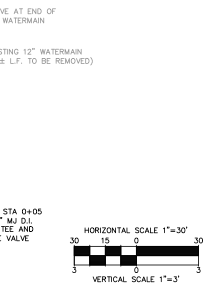
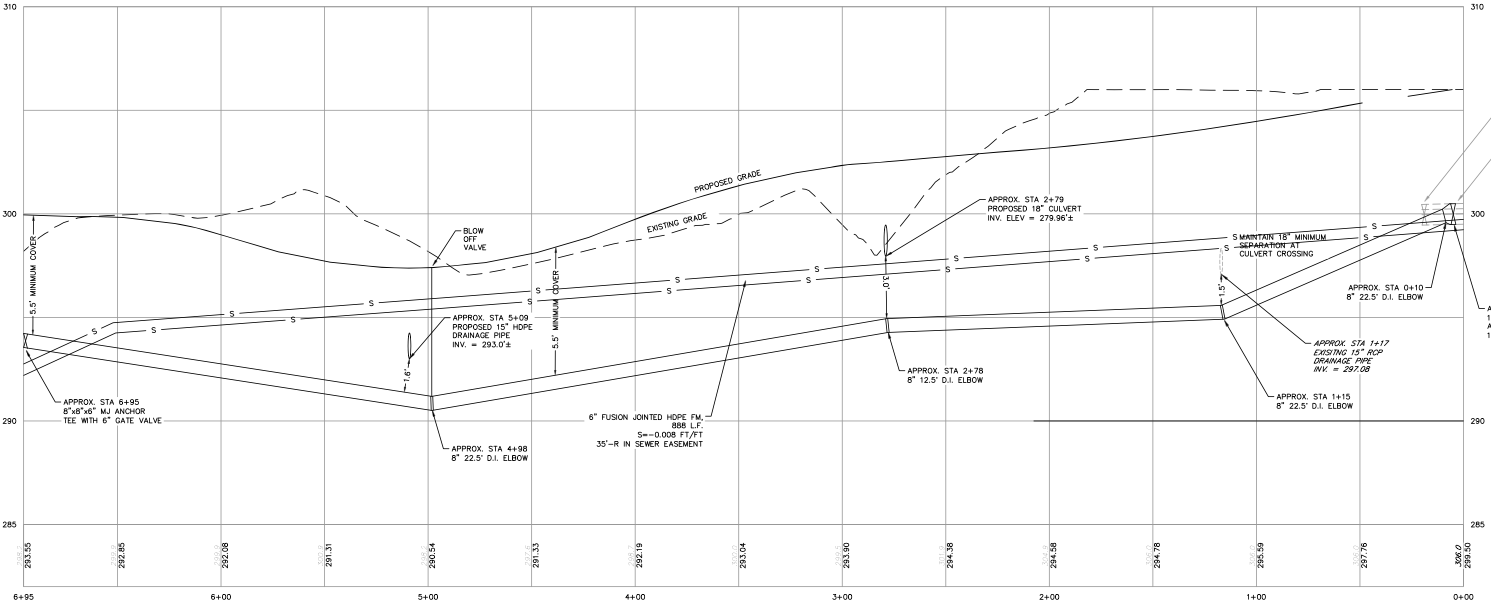
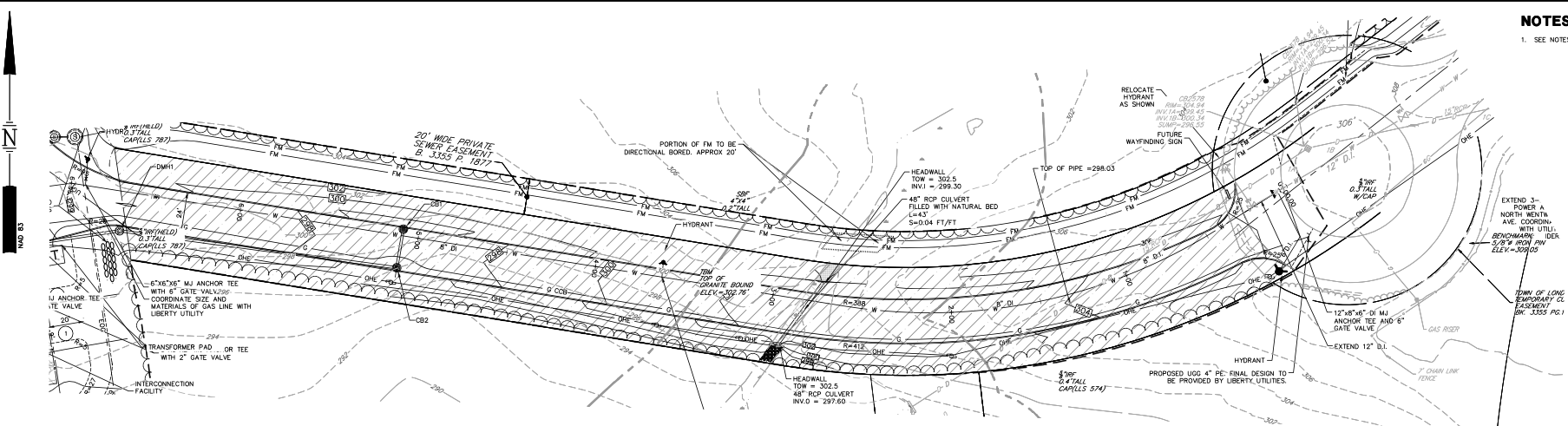
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2	9/30/2025	REVISED FOR INFR&D & INHES COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG
REV	DATE	DESCRIPTION	BY	CHK

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	18252-02	18252-02 SITE PLAN
DR	FB	C-15
CK	CADFILE	

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**NOTES**

1. SEE NOTES ON SHEET C-03.



**SITE DEVELOPMENT PLANS**  
 TAX MAP 14 LOT 39-2  
**WATER PLAN & PROFILE**  
**SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS**  
**25 NORTH WENTWORTH AVE.**  
**LONDONDERRY, NH 03053**  
 PREPARED FOR  
**PURPOSEENERGY-LONDONDERRY, LLC**  
**25 PELHAM ROAD SUITE 102, SALEM, NH 03079**

**SCALE: 1" = 30' H / 1" = 3' V** **SEPTEMBER 8, 2025**

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4	10/24/2025	NHF&C APPROVAL	JD	ING
3	11/23/2025	TOWN SEWER COMMENTS	JD	ING
2	12/30/2024	REVISED FOR NHF&C & INHES COMMENTS	JD	ING
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	ING
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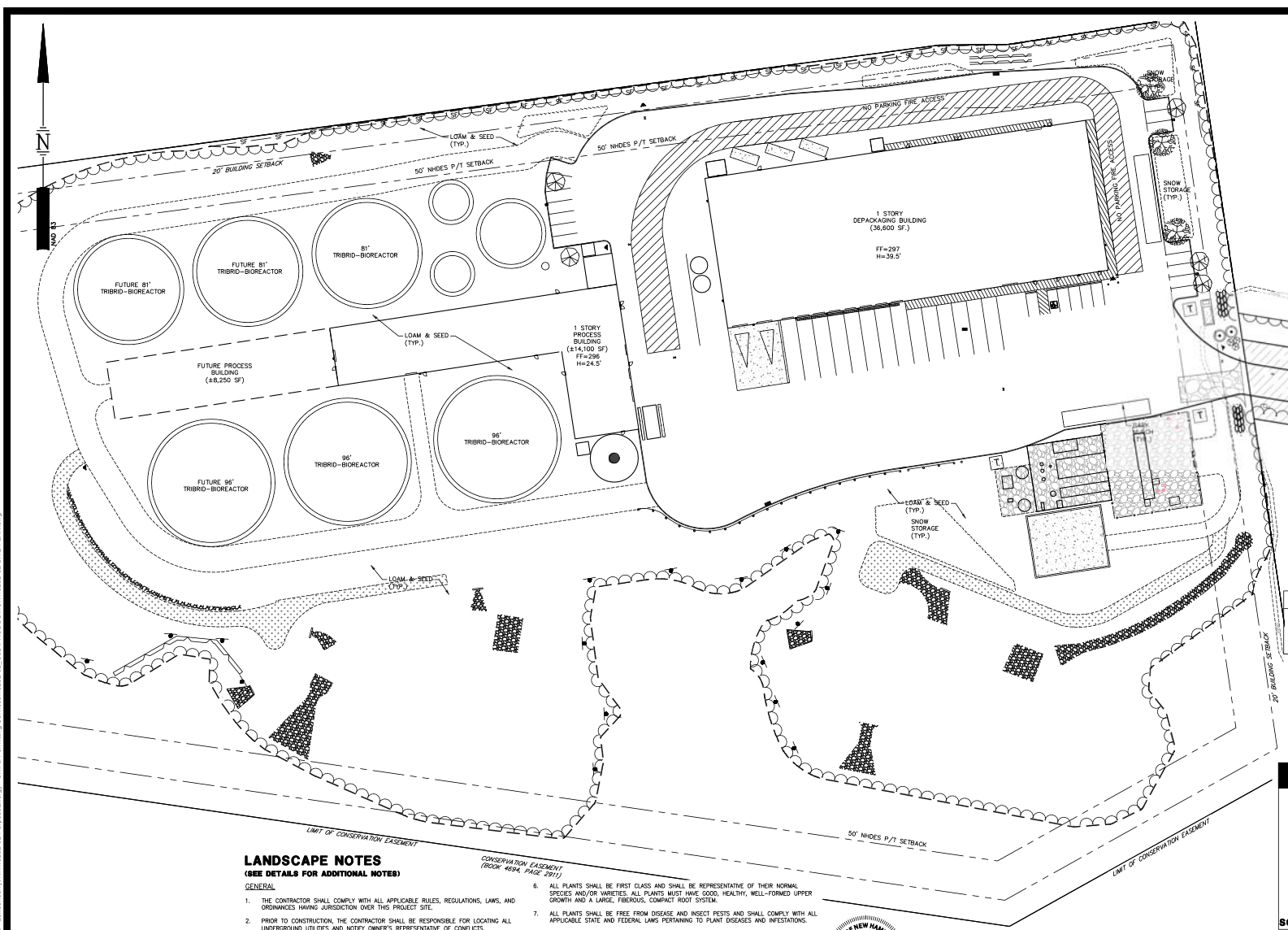
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18252-02 DR CK FB CADFILE 18252-02 SITE PLAN C-16

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Date: 2/23/2025 2:22pm  
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### LANDSCAPE LEGEND

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
	3	QUERCUS RUBRA RED OAK	2 1/2" TO 3" CAL.	B&B
	5	QUERCUS P. 'GREEN PILLAR' GREEN PILLAR PIN OAK	2 1/2" TO 3" CAL.	B&B
	3	JUNIPERUS VIRGINIANA HILLSPIRE' HILLSPIRE EASTERN RED CEDAR	6" TO 7"	B&B
	3	SYRINGA VALLDARIS 'NEW AGE LAVENDER' NEW AGE LAVENDER LILAC	5 GAL.	CONT.

### LANDSCAPE REQUIREMENTS

**GREEN SPACE REQUIREMENT:**  
 REQUIRED: 25%  
 PROVIDED: 64%

**INTERIOR PARKING LANDSCAPE AREA REQUIREMENTS:**  
 (3.10g) OF SITE PLAN REG. 5) \*WAIVER REQUIRED

**INTERNAL PARKING LOT LANDSCAPING:**  
 (3.10g) OF SITE PLAN REG. 5)  
 1 SHADE TREE/15 PARKING SPACES (19 SPACES/15) = 1.2 TREES  
 TOTAL TREES REQUIRED = 1  
 TREES PROVIDED = 2 TREES

**PARKING LOT PERIMETER LANDSCAPING:**  
 (3.10g) OF SITE PLAN REG. 5)  
 1 SHADE TREE/20' OF PARKING PERIMETER = 117 SF/20' = 5.8 SHADE TREES  
 TOTAL TREES REQUIRED = 6  
 TREES PROVIDED = 8 TREES

**SCREENING FROM PUBLIC RIGHT-OF-WAY:**  
 (3.10g) OF SITE PLAN REG. 5)  
 EXISTING VEGETATION TO SATISFY REQUIREMENT.

**ACCORDING TO THE USDA PLANT HARDINESS ZONE MAP THE ANNUAL MINIMUM TEMPERATURE ZONES FOR SOUTHERN NH ARE BETWEEN ZONE 4 (-30 TO -20 DEGREES) AND ZONE 5 (-20 TO -10 DEGREES). THE PLANT MATERIALS SHOWN ON THIS PLAN HAVE A HARDINESS ZONE TO MEET THAT OF SOUTHERN NH.**

**THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE THROUGHOUT CONSTRUCTION OF PROTECTIVE TREE FENCING LOCATED 12" INCHES OFF THE THE DAPLINE OF ALL TREES TO BE PROTECTED. PRIOR TO CONSTRUCTION THE CONTRACTOR IS REQUIRED TO HAVE ALL NO-CUT ZONES DELINEATED IN THE FIELD.**

**THE CONTRACTOR/APPLICANT IS RESPONSIBLE FOR REPLACEMENT OF ANY TREES DESIGNATED TO REMAIN, WHICH HAVE BEEN DAMAGED, KILLED OR REMOVED AS A RESULT OF CONSTRUCTION ACTIVITIES. (SEE TOWN OF LONDONDERRY 'LANDSCAPE DESIGN STANDARDS' SECTION 3.10.D OF THE SITE PLAN REGULATIONS.)**

**THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPE AREAS ONCE CONSTRUCTION IS COMPLETED AS OUTLINED IN THE TOWN OF LONDONDERRY 'LANDSCAPE DESIGN STANDARDS' SECTION 3.10.F OF THE SITE PLAN REGULATIONS.**

**APPROVED BY THE TOWN OF LONDONDERRY PLANNING BOARD**

BY \_\_\_\_\_ AND  
 BOARD MEMBER  
 BOARD MEMBER

### LANDSCAPE NOTES (SEE DETAILS FOR ADDITIONAL NOTES)

- GENERAL**
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES, REGULATIONS, LAWS, AND ORDINANCES HAVING JURISDICTION OVER THIS PROJECT SITE.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND NOTIFY OWNER'S REPRESENTATIVE OF CONFLICTS.
  - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON PLANS BEFORE PROING THE WORK. ANY DIFFERENCE IN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION. LANDSCAPE QUANTITIES SHOWN ON THE PLAN SHALL SUPERCEDE QUANTITIES LISTED IN LANDSCAPE LEGEND.
  - THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO STARTING WORK AND VERIFY THAT THE PLANS IN THE CONTRACTOR'S POSSESSION ARE THE MOST CURRENT PLANS AVAILABLE AND ARE THE APPROVED PLAN SET FOR USE IN CONSTRUCTION.
  - ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) (FORMERLY THE AMERICAN ASSOCIATION OF NURSERMEN) IN THE AMERICAN STANDARD FOR NURSERY STOCK (AS AMENDED) (ANSI Z60.1-1998).
  - ALL PLANTS SHALL BE FIRST CLASS AND SHALL BE REPRESENTATIVE OF THEIR NORMAL SPECIES AND/OR VARIETIES. ALL PLANTS MUST HAVE GOOD, HEALTHY, WELL-FORMED UPPER GROWTH AND A LARGE, FIBROUS, COMPACT ROOT SYSTEM.
  - ALL PLANTS SHALL BE FREE FROM DISEASE AND INSECT PESTS AND SHALL COMPLY WITH ALL APPLICABLE STATE AND FEDERAL LAWS PERTAINING TO PLANT DISEASES AND INFESTATIONS.
  - ALL TREES SHALL BE BALLED AND BURLAPPED (B & B) UNLESS OTHERWISE NOTED OR APPROVED BY LANDSCAPE ARCHITECT.
  - IF APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPORTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
  - ALL INVASIVE PLANT SPECIES FROM THE 'NEW HAMPSHIRE PROHIBITED INVASIVE PLANT SPECIES LIST' TO BE REMOVED SHALL BE DONE SO IN ACCORDANCE WITH THE "INVASIVE SPECIES ACT, HB 1058-PL".
  - LANDSCAPING SHALL NOT CONFLICT WITH SNOW STORAGE, LIGHT FIXTURES, OR SIGHT DISTANCE.
- GUARANTEE**
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE WORK FOR A PERIOD OF ONE



HORIZONTAL SCALE 1"=40'  
 40 20 0 40

NO.	DATE	DESCRIPTION	BY	CHK
5	12/18/2024	AOT & STAFF COMMENTS	JD	NG
4	10/24/2025	NIN&S APPROVAL	JD	NG
3	11/3/2025	TOWN SEWER COMMENTS	JD	NG
2	9/30/2025	REVISED FOR NIN&S & NIDES COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG
REV	DATE	DESCRIPTION	BY	CHK

### SITE DEVELOPMENT PLANS

TAX MAP 14 LOT 39-2  
**LANDSCAPE PLAN**  
**SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS**  
**25 NORTH WENTWORTH AVE.**  
**LONDONDERRY, NH 03053**  
 OWNED BY  
**PURPOSEENERGY-LONDONDERRY, LLC**  
**25 PELHAM ROAD SUITE 102, SALEM, NH 03079**

**SCALE: 1" = 40'**      **SEPTEMBER 8, 2025**

**TFM** Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

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 www.tfmor.com

18252-02 DR FB  
 CK CADFILE 18252-02 SITE PLAN C-17

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### CONSTRUCTION SEQUENCE NOTES

1. TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE.
2. MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.
3. THE CONTRACTOR SHALL SCHEDULE WORK SUCH THAT ANY CONSTRUCTION AREA IS STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE EXCEPT AS NOTED BELOW. NO MORE THAN 5 ACRES OF DISTURBED LAND SHALL BE UNSTABILIZED AT ANY ONE TIME.
4. THE PROJECT SHALL BE MANAGED SO THAT IT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARG 3900 RELATIVE TO INVASIVE SPECIES.
5. DO NOT TRAFFIC EXPOSED SOIL SURFACE OF INFILTRATION SYSTEMS WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
6. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO STORMWATER BMP'S. STORMWATER RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMP'S ARE STABILIZED.
7. DO NOT PLACE STORMWATER BMP'S INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

8. AFTER THE INFILTRATION SYSTEM IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE THE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
9. NOTIFY EASEMENT OWNERS PRIOR TO COMMENCEMENT OF WORK.
10. INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
11. STORMWATER TREATMENT POND'S AND SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING OF THE SITE.
12. DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MAINTAIN SURFACE RUNOFF QUALITY.
13. DAILY OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED. (TEMPORARY SEED MIXTURE OF WATER PINE APPLIED AT A RATE OF 2.5 LBS/1000 SF SHALL BE USED).
14. CONDUCT MAJOR EARTHWORK, INCLUDING CLEARING AND GRUBBING, WITHIN THE LIMITS OF WORK. ALL CUT AND FILL SLOPES SHALL BE SEED WITHIN 72 HOURS AFTER GRADING.
15. ALL STRIPPED TOPSOIL AND OTHER EARTH MATERIALS SHALL BE STOCKPILED OUTSIDE THE IMMEDIATE WORK AND WETLAND AREAS. A SILT BARRIER SHALL BE CONSTRUCTED AROUND THESE PILES IN A MANNER TO PROVIDE ACCESS AND AVOID SEDIMENT OUTSIDE OF THE WORK AREA.
16. CONSTRUCT BUILDING PAD AND COMMENCE NEW BUILDING CONSTRUCTION.
17. CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.
18. BEIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH.
19. PERFORM EARTHWORK NECESSARY TO ESTABLISH ROUGH GRADING AROUND PARKING FIELDS AND ACCESS DRIVES. MANAGE EXPOSED SOIL SURFACES TO AVOID TRANSPORTING SEDIMENTS INTO WETLANDS. PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
20. INSTALL SUBSURFACE UTILITIES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, DRAINAGE, DRAINAGE FACILITIES, ETC.).
21. CONSTRUCT PROPOSED ROADWAY, RAIN GARDENS, GRAVEL WETLANDS AND DRAINAGE SWALES. ALL DITCHES, SWALES, AND GRAVEL WETLANDS SHALL BE FULLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
22. COMPLETE BUILDING AND ALL OFF-SITE IMPROVEMENTS.
23. COMPLETE SEEDING AND MULCHING. SEED TO BE APPLIED WITH BROADCAST SPREADER OR BY HYDRO-SEEDING, THEN ROLLED, RAKED, OR DRAGGED TO ASSURE SEED/SOIL CONTACT.
24. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE BECOME FIRMLY ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE.
25. DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, INCLUDING CATCH BASINS AND TANKS, DRAIN PIPES AND DITCHES, CURB LINES, ALONG SILT BARRIERS, ETC. RESULTING FROM SOIL AND/OR CONSTRUCTION OPERATIONS.
26. SEE WATER CONSTRUCTION SEQUENCE FOR WORK CONDUCTED AFTER OCTOBER 15TH.
27. EACH PHASE MUST BE STABILIZED TO 85% PRIOR TO THE DISTURBANCE OF THE SUBSEQUENT PHASE.
28. STRUCTURES (SOIL, CURB, DITCH, SWALE, DRAIN, OPEN CREEK, AND DAMOR) SHALL BE CONSTRUCTED AS PART OF PHASE 5.
29. AN ENVIRONMENTAL MONITOR SHALL BE REQUIRED ON SITE. THE ENVIRONMENTAL MONITOR SHALL:
  - (1) INSPECT THE PROJECT SITE AT LEAST ONCE EACH WEEK FROM THE START OF TERRAIN ALTERATION ACTIVITIES UNTIL ALL TERRAIN ALTERATION ACTIVITIES ARE COMPLETED AND THE SITE IS STABILIZED.
  - (2) IN ADDITION TO REGULAR WEEKLY INSPECTIONS, INSPECT THE PROJECT SITE DURING ANY RAIN EVENT IN WHICH 0.5 INCH OF RAIN PRECIPITATION OR MORE FALLS WITHIN A 24 HOUR PERIOD, PROVIDED THAT IF THE ENVIRONMENTAL MONITOR IS UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THE RAIN EVENT.
  - (3) SUBMIT A WRITTEN REPORT, STAMPED BY A QUALIFIED ENGINEER OR A PECC SPECIALIST, TO THE DEPARTMENT WITHIN 24 HOURS OF EACH INSPECTION THAT:
    - A. DESCRIBES THE PROGRESS OF THE PROJECT, INCLUDING WHETHER ALL CONDITIONS OF THE PERMIT ARE BEING MET AND, IF NOT, WHICH REQUIREMENTS ARE NOT BEING MET;
    - B. IF ANY REQUIREMENTS ARE NOT BEING MET, AN EXPLANATION OF THE CORRECTIVE ACTION(S) THAT WILL BE OR ARE BEING TAKEN TO BRING THE PROJECT INTO COMPLIANCE WITH APPLICABLE REQUIREMENTS AND THE DEADLINE BY WHICH SUCH ACTIONS WILL BE COMPLETED; AND
    - C. INCLUDES PHOTOGRAPHS OF THE SITE THAT ARE REPRESENTATIVE OF THE PROJECT.
  - (4) RETAIN A COPY OF THE PROJECT REPORT PREPARED PURSUANT TO (3), ABOVE, ON-SITE FOR REVIEW DURING SITE INSPECTIONS BY FEDERAL, STATE, AND LOCAL OFFICIALS.

14-47  
 UNITED STATES OF AMERICA - FEDERAL AERONAUTICS ADMINISTRATION  
 14 CFR REGULATORY AVIATION DIVISION, FAA ORDER  
 SR-2363 P/L 202 - 2006 211 P  
 LAND USE: 10' GROUND CLEARANCE  
 (FOR NORTH WENTWORTH AVENUE)



**SITE DEVELOPMENT PLANS**  
 TAX MAP 14 LOT 39-2  
**AOT PHASING PLAN**  
 SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS  
 25 NORTH WENTWORTH AVE.  
 LONDONDERRY, NH 03053  
 PREPARED FOR  
**PURPOSEENERGY-LONDONDERRY, LLC**  
 25 PELHAM ROAD SUITE 102, SALEM, NH 03079

SCALE: 1" = 60' SEPTEMBER 8, 2025

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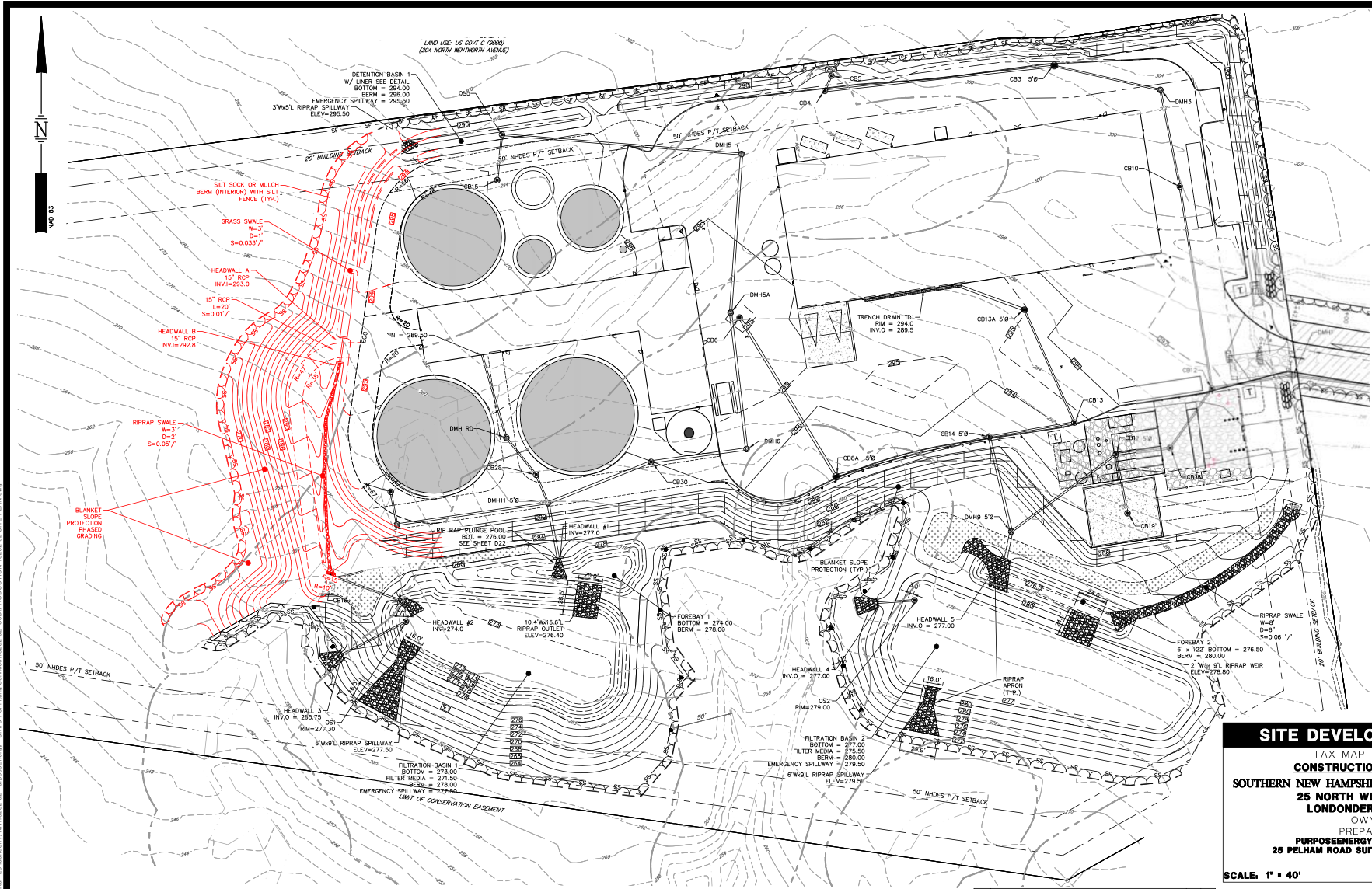
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4	10/24/2024	NEPMS APPROVAL	JD	NG
3	11/3/2024	TOWN SEWER COMMENTS	JD	NG
2	9/30/2024	REVISED FOR NHPRG & INPDES COMMENTS	JD	NG
1	9/12/2024	UPDATE FOR SUBMITTAL	JD	NG
REV	DATE	DESCRIPTION	BY	CHK

**TFM** Civil Engineers  
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 Landscape Architects  
 Scientists

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 CK CADFILE 18252-02 SITE PLAN PH-1

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**SITE DEVELOPMENT PLANS**  
 TAX MAP 14 LOT 39-2  
**CONSTRUCTION PHASING PLAN**  
**SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS**  
**25 NORTH WENTWORTH AVE.**  
**LONDONDERRY, NH 03053**  
 OWNED BY  
**PURPOSEENERGY-LONDONDERRY, LLC**  
**25 PELHAM ROAD SUITE 102, SALEM, NH 03079**  
 SCALE: 1" = 40'      SEPTEMBER 8, 2025

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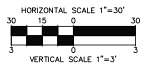
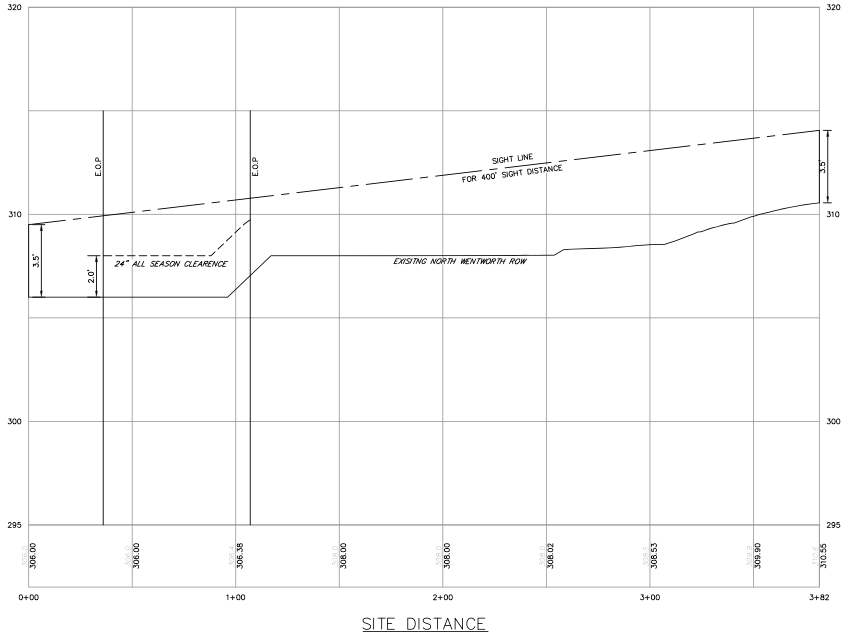
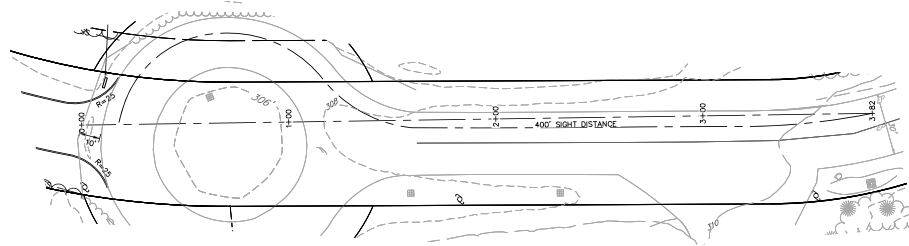
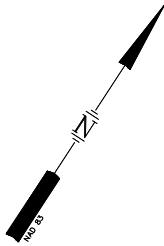
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4	10/24/2025	NHF&G APPROVAL	JD	NG
3	11/3/2025	TOWN SEWER COMMENTS	JD	NG
2	5/30/2025	REVISED FOR NH&G & NHDES COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG
REV	04/E		DP	CK

<b>TFM</b>	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists		48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com	
	18252-02	DR CK	FB CADFILE	18252-02 SITE PLAN
				PH-2

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- NOTES**
- POSTED SPEED LIMIT ON NORTH WENTWORTH AVE. IS 30 MPH.
  - TOWN OF LONDONDERRY SIGHT DISTANCE CALCULATIONS:  
 SUBDIVISION REGULATIONS SECTION 3.09 F.2 & EXHIBIT 03  
 MINIMUM ALL SEASON SIGHT DISTANCE = 365- FEET (NON-RESIDENTIAL) WHICH IS EXCEEDED.

**SITE DEVELOPMENT PLANS**  
 TAX MAP 14 LOT 39-2  
**SIGHT DISTANCE**  
 SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS  
 25 NORTH WENTWORTH AVE.  
 LONDONDERRY, NH 03053  
 OWNED BY  
 PREPARED FOR  
 PURPOSEENERGY-LONDONDERRY, LLC  
 25 PELHAM ROAD SUITE 102, SALEM, NH 03079  
**SCALE: 1" = 30' H / 1" = 3' V**      **SEPTEMBER 8, 2025**



REV	DATE	DESCRIPTION	JD	NG
5	12/18/2025	AOT & STAFF COMMENTS	JD	NG
4	10/24/2025	NHF&G APPROVAL	JD	NG
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			DZ	CK

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	18252-02	FB CADFILE	18252-02 SITE PLAN
			SD-1

**CONSTRUCTION GENERAL PERMIT**

1. THE OWNER, IN CONJUNCTION WITH THE CONTRACTOR (OPERATORS), MUST OBTAIN A CONSTRUCTION GENERAL PERMIT (CGP) FOR LARGE CONSTRUCTION ACTIVITIES (TWO OR MORE ACRES) OR SMALL CONSTRUCTION ACTIVITIES (GREATER THAN ONE ACRE BUT LESS THAN FIVE ACRES) FROM THE ENVIRONMENTAL PROTECTION AGENCY (EPA), AS PART OF THE CGP, A STORMWATER NOTICE OF INTENT (NOI) MUST BE SUBMITTED TO THE EPA AT LEAST 7 DAYS PRIOR TO COMMENCING CONSTRUCTION. THE NOI MUST BE SUBMITTED TO STORM WATER NOTICE OF INTENT (42030), USEPA, 1200 PENNSYLVANIA AVE. NW, WASHINGTON, DC 20460.
2. THE CGP OUTLINES A SET OF PROVISIONS MANDATING THE OWNER AND CONTRACTOR TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER REGULATIONS, INCLUDING, BUT NOT LIMITED TO, STORM WATER POLLUTION PREVENTION PLANS (SWPPP), IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROLS, EQUIPMENT MAINTENANCE GUIDELINES, ETC. PLEASE CONTACT USEPA OFFICE OF WASTEWATER MANAGEMENT AT 202-264-1045 OR AT WWW.EPA.GOV/NPDES/STORMWATER FOR ADDITIONAL INFORMATION. FOR FURTHER ASSISTANCE, CONTACT ASBY SWANE OF NEW ENGLAND'S EPA REGION 1 AT 617-916-1841.

**NOTES**

1. IT IS BEING PROPOSED TO CONSTRUCT AN ORGANIC WASTE PROCESSING FACILITY INCLUDING ACCESS, GRADING, STORMWATER MANAGEMENT SYSTEMS, UTILITIES, AND LANDSCAPING.
  - TOTAL SITE AREA: 15.3 AC (SITE PARCEL)
  - TOTAL PROPOSED AREA OF DISTURBANCE: 13.0 AC
  - SOLS SHOWN WERE PREPARED IN ACCORDANCE WITH THE SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT, VERSION 7.0, JULY 2021.
  - 26 - MINDSOR
  - 313 - OBERFIELD
  - 544/9 - WALFORD
2. STORM WATER DRAINAGE SYSTEM IS SHOWN ON THE PLAN, SEE GRADING & DRAINAGE PLAN AND INVERT TABLES FOR RIN, INVERT, PIPE LENGTH, AND SLOPE INFORMATION.
  - POST-CONSTRUCTION RUNOFF: 0.35
  - IMPERVIOUS SURFACE AREA: 5.9± AC
3. \*IMPERVIOUS AREA AND POST-DEVELOPMENT RUNOFF COEFFICIENT DO NOT INCLUDE OFFSITE RUN-ON AREAS.
3. STABILIZATION PRACTICES FOR EROSION AND SEDIMENTATION CONTROLS:
  - TEMPORARY STABILIZATION - TOPSOIL, STOCKPILES AND DISTURBED AREAS OF THE CONSTRUCTION SITE THAT WILL NOT BE REBUILT FOR 30 DAYS OR MORE MUST BE STABILIZED BY THE 14TH DAY AFTER THE LAST DISTURBANCE. THE TEMPORARY SEED SHALL BE ANNUAL RYE APPLIED AT THE RATE OF 11 LBS PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED, AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH. MULCH TO BE ANCHORED IN PLACE WHERE NECESSARY. AREAS OF THE SITE THAT WILL BE PAVED, WILL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILES AND A STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED. CALCIUM CHLORIDE SHALL BE USED FOR DUST CONTROL, IF NEEDED.
  - PERMANENT STABILIZATION - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 3 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED MIX SHALL BE AS SPECIFIED BY THE LANDSCAPE PLAN NOTES OR MAY OTHERWISE CONSIST OF 0.45 LBS/1,000 SQ FT FALL FESCUE, 0.20 LBS/1,000 SQ FT ORCHARD RYEGRASS, AND 0.20 LBS/1,000 SQ FT BIRDSFOOT TROFOL, PRIOR TO SEEDING, A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE IF 10-20-20 FERTILIZER SHALL BE APPLIED. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH. MULCH TO BE ANCHORED IN PLACE WHERE NECESSARY.
4. STRUCTURAL PRACTICES FOR EROSION AND SEDIMENTATION CONTROL.
  - SILT SOCK - WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE DISTURBED AREAS AND WILL DELINEATE THE LIMITS OF WORK FOR THE PROPOSED CONSTRUCTION. THE SILT SOCK WILL BE INSTALLED BY OTHERS. POSTS SHALL BE USED WITH AT LEAST 6" OF THE POST BURIED BELOW THE GROUND SURFACE, TO PREVENT THE SILT SOCK FROM FORMING GAPS NEAR THE GROUND SURFACE. RUNOFF WILL FLOW THROUGH THE OPENINGS IN THE SILT SOCK WHILE RETAINING THE SEDIMENT WITHIN THE CONSTRUCTION AREA.
  - SILT FENCE - WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE DISTURBED AREAS AND WILL DELINEATE THE LIMITS OF WORK FOR THE PROPOSED CONSTRUCTION. THE SILT FENCE WILL BE INSTALLED BY STRETCHING REINFORCED FILTER FABRIC BETWEEN POSTS WITH AT LEAST 8" OF THE FABRIC BURIED BELOW THE GROUND SURFACE TO PREVENT GAPS FROM FORMING NEAR THE GROUND SURFACE. RUNOFF WILL FLOW THROUGH THE OPENINGS IN THE FILTER FABRIC WHILE RETAINING THE SEDIMENT WITHIN THE CONSTRUCTION AREA.
  - STABILIZED CONSTRUCTION ENTRANCE - WILL BE INSTALLED IN ACCORDANCE WITH THE DETAIL AT THE ENTRANCE TO THE CONSTRUCTION SITE TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS OFF THE SITE. THE STABILIZED ENTRANCE WILL BE 20'-WIDE AND FLARE AT THE ENTRANCE TO THE PARKED ROAD AND HAVE A DEPTH OF 12" OF STONE. THE STABILIZED ENTRANCE SHALL BE MAINTAINED UNTIL THE REMAINDER OF THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED. THE PARKED STREET ADJACENT TO THE SITE SHALL BE SWEEP ON A WEEKLY BASIS TO REMOVE EXCESS MUD AND DIRT FROM BEING TRACKED FROM THE SITE. TRUCKS HAULING MATERIAL TO AND/OR FROM THE SITE SHALL BE COVERED WITH A TARP/AUQUIL.
  - CATCH BASINS - WILL BE CLEANED ON AN ANNUAL BASIS TO REMOVE ALL SEDIMENTS FROM THE CATCH BASIN Sumps.
  - CATCH BASIN PROTECTION - WILL BE INSTALLED AT ALL CATCH BASINS WITHIN THE CONSTRUCTION AREA. FILTER FABRIC WILL BE INSTALLED AROUND THE GRATES OF CATCH BASINS THAT ARE LOCATED IN THE TRAVEL WAY AND STONE/FILTER FABRIC PROTECTION WILL BE INSTALLED AT THE CATCH BASINS FOUND WITHIN THE PARKING AREA AND GRASS.

5. STORM WATER MANAGEMENT
  - STORM WATER DRAINAGE FOR DEVELOPED AREAS WILL BE COLLECTED BY A PIPE AND CATCH BASIN COLLECTOR DRAINAGE SYSTEM. APPROXIMATELY 3.6 ACRES OF THE 15.3 ACRE SITE WILL REMAIN UNDEVELOPED AND IN ITS NATURAL STATE. WHEN CONSTRUCTION IS COMPLETE THE FACILITY AND PARKING AREA WILL BE ROUTED TO TWO (2) SURFACE STORMWATER TREATMENT FILTER BASINS.
6. ALL CONSTRUCTION DEBRIS AND WASTE MATERIAL SHALL BE COLLECTED AND STORED IN SECURE DUMPSTERS OR APPROVED CONTAINERS AND REMOVED FROM THE SITE ON A WEEKLY BASIS. NO CONSTRUCTION WASTE SHALL BE BURIED ON SITE. PORTABLE TOILET SANITARY WASTE FACILITIES WILL BE PROVIDED DURING CONSTRUCTION AND MAINTAINED AND CLEANED ON A REGULAR BASIS IN ACCORDANCE WITH TOWN AND STATE REGULATIONS.

7. A LIST OF CONSTRUCTION ITEMS AND OTHER PRODUCTS USED ON THIS PROJECT SHALL BE KEPT ON RECORD WITH THIS PLAN ONSITE. ALL CHEMICALS, PETROLEUM PRODUCTS AND OTHER MATERIALS USED DURING CONSTRUCTION SHALL BE STORED IN A SECURE AREA AND PRECAUTIONS USED TO PREVENT POTENTIAL SOURCE OF CONTAMINATION OR POLLUTION. ANY SPILL OF THESE TYPES OF SUBSTANCES SHALL BE CLEANED UP AND DISPOSED OF IN A LEGAL MANNER AS SPECIFIED BY STATE REGULATIONS AND THE MANUFACTURER'S INSTRUCTIONS. IN AMOUNTS EQUAL TO OR EXCEEDING REPORTABLE QUANTITIES DEFINED BY THE EPA, THE CONTRACTOR SHALL TAKE THE FOLLOWING STEPS:
  - NOTIFY THE NATIONAL RESPONSE CENTER IMMEDIATELY AT (888) 424-8802; IN WASHINGTON, D.C., CALL (202) 426-2875.
  - WITHIN 14 DAYS, SUBMIT A WRITTEN DESCRIPTION OF THE RELEASE TO THE EPA REGIONAL OFFICE, PROVIDING THE DATE AND CIRCUMSTANCES OF THE RELEASE AND THE STEPS TO BE TAKEN TO PREVENT ANOTHER RELEASE.
  - PROVIDE THE POLLUTION PREVENTION PLAN TO INCLUDE THE INFORMATION LISTED ABOVE.

- GOOD HOUSEKEEPING:**
- THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT:
    - AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
    - ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
    - PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.
    - SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
    - WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
    - MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
    - TRASH DUMPSTERS SHALL BE GASKETED OR HAVE A SECURE WATER TIGHT LID AND BE PLACED AWAY FROM STORMWATER CONVEYANCES AND DRAINAGE.
    - THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.

- HAZARDOUS PRODUCTS:**
- THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
    - PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
    - ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
    - IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDATIONS FOR PROPER DISPOSAL WILL BE FOLLOWED.

- PRODUCT SPECIFIC PRACTICES:**
- THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:
    - ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

- FERTILIZERS:**
- FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

- PAINTS:**
- ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

- CONCRETE BRICKS:**
- EXCESS CONCRETE SHALL BE USED IN AREAS DESIGNATED BY THE SITE CONTRACTOR. WASH WATER SHALL BE DISPOSED OF USING BEST MANAGEMENT PRACTICES. BUILDING CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DRUM WASH WATER ASSOCIATED WITH CONCRETE FOR THE BUILDING AND THE CONTRACTOR TO COORDINATE AND PROVIDE BUILDING CONTRACTOR WITH AN AREA FOR DRUM WASH WATER.

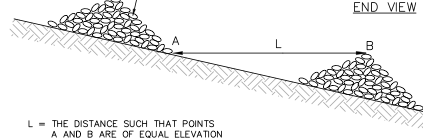
- SPILL CONTROL PRACTICES:**
- IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DETAILED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
    - MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
    - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
    - ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY.
    - THE SPILL AREA WILL BE KEPT WET UNTIL AFTER PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
    - SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE.
    - THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL. IF THERE IS ANOTHER ONE, A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
    - THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THEY WILL DESIGNATE AT LEAST THREE OTHER PERSONNEL WHO WILL EACH RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

11. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN RECORDS OF CONSTRUCTION ACTIVITIES, INCLUDING DATES OF MAJOR GRADING ACTIVITIES, DATES WHEN CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED ON A PORTION OF THE SITE, DATES WHEN WORK IS COMPLETED ON A PORTION OF THE SITE, AND DATES WHEN STABILIZATION MEASURES ARE INITIATED ONSITE.
12. THE CONTRACTOR SHALL PERFORM INSPECTIONS OR HAVE A CONSULTING ENGINEER PERFORM INSPECTIONS EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER A STORM OF 0.5" OR GREATER. INSPECTION REPORTS ARE TO BE KEPT ON FILE AT THE SITE WITH THIS PLAN. MAINTENANCE OR MODIFICATION SHALL BE IMPLEMENTED AND ADDED TO THE PLAN AS RECOMMENDED BY THE QUALIFIED INSPECTOR.

5. STONE CHECK DAMS - WILL BE INSTALLED IN EXISTING AND PROPOSED GRASS SWALES TO REDUCE THE VELOCITY OF CONCENTRATED STORM WATER FLOWS AND PREVENT EROSION OF THE SWALE.

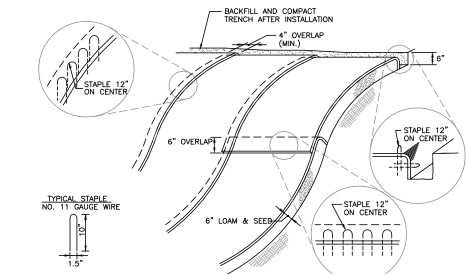
5. STORM WATER MANAGEMENT
  - STORM WATER DRAINAGE FOR DEVELOPED AREAS WILL BE COLLECTED BY A PIPE AND CATCH BASIN COLLECTOR DRAINAGE SYSTEM. APPROXIMATELY 3.6 ACRES OF THE 15.3 ACRE SITE WILL REMAIN UNDEVELOPED AND IN ITS NATURAL STATE. WHEN CONSTRUCTION IS COMPLETE THE FACILITY AND PARKING AREA WILL BE ROUTED TO TWO (2) SURFACE STORMWATER TREATMENT FILTER BASINS.

11. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN RECORDS OF CONSTRUCTION ACTIVITIES, INCLUDING DATES OF MAJOR GRADING ACTIVITIES, DATES WHEN CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED ON A PORTION OF THE SITE, DATES WHEN WORK IS COMPLETED ON A PORTION OF THE SITE, AND DATES WHEN STABILIZATION MEASURES ARE INITIATED ONSITE.



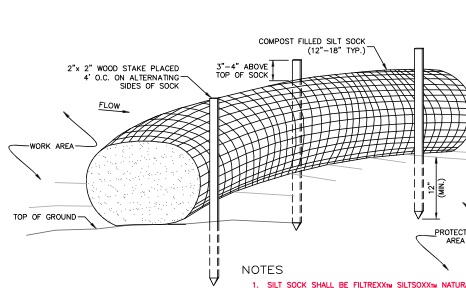
**STONE CHECK DAM**  
IN SWALE NOT TO SCALE

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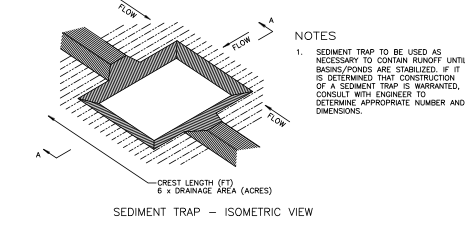
1. BLANKET SLOPE PROTECTION SHALL MEET REQUIREMENTS OF ENV-90 1506.15 MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS.
2. BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH. BACKFILL AND COMPACT TRENCH AFTER STAPLING.
3. ROLL THE BLANKET DOWN THE SWALE IN THE DIRECTION OF THE WATER FLOW.
4. THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE BLANKET END OVER END WITH 6 INCH (MIN.) OVERLAP AND ANCHOR DOWN SLOPE BLANKET IN A 6 INCH DEEP TRENCH.
6. BLANKET SHALL BE NORTH AMERICAN GREEN C125BN, EAST COAST EROSION CONTROL ECG-2B, AMERICAN EXCELSEOR COMPANY CUREX III FIBRENET, ROLANHA SEDIMENTARY EROSION & SEDIMENT CONTROL MATTE JUTAMAT OR BIOD-037 30, OR APPROVED EQUIV.
7. BLANKET SHALL NOT CONTAIN WELDED PLASTIC, MULTI-FILAMENT, OR MONO-FILAMENT POLYPROPYLENE NETTING WHICH MAY OPENING SIZE OF GREATER THAN 1/8\"/>

**BLANKET SLOPE PROTECTION**  
FOR EROSION CONTROL NOT TO SCALE



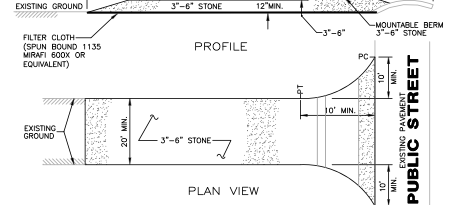
- NOTES**
1. SILT SOCK SHALL BE FILTRExx SILT SOCKx NATURAL ORIGINAL (BIODEGRADABLE) OR APPROVED EQUIVALENT.
  2. SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL REQUIREMENTS.
  3. SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED.
  4. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.

**SILT SOCK**  
NOT TO SCALE



- NOTES**
1. SEDIMENT TRAP TO BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL BASINS/PONDS ARE STABILIZED. IF IT IS DETERMINED THAT CONSTRUCTION OF A SEDIMENT TRAP IS WARRANTED, CONSULT WITH ENGINEER TO DETERMINE APPROPRIATE NUMBER AND DIMENSIONS.

**SECTION A-A SEDIMENT TRAP**  
NOT TO SCALE



- NOTES**
1. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
  2. NO SURFACE WATER SHALL BE DIRECTED TOWARD CONSTRUCTION ENTRANCES.
  3. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  4. WASHING - WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

**STABILIZED CONSTRUCTION ENTRANCE**  
SEE PLAN FOR PROPOSED LOCATION NOT TO SCALE

**SITE DEVELOPMENT PLANS**

TAX MAP 14 LOT 39-2

**DETAILS**

**SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS**  
**25 NORTH WENTWORTH AVE.**  
**LONDONDERRY, NH 03053**

OWNED BY  
PREPARED FOR  
**PURPOSEENERGY-LONDONDERRY, LLC**  
**25 PELHAM ROAD SUITE 102, SALEM, NH 03079**

SCALE: NOT TO SCALE SEPTEMBER 8, 2025

**TFM**

Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

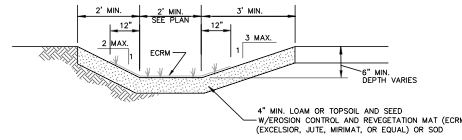
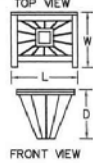
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18252-02 OR CB  
CK FPL  
CAPL 18252-02 COVER & DETAILS D-01



NO.	DATE	REVISION	BY	CHK	APP
5	12/18/2025	AOT & STAFF COMMENTS	JD	NG	
4	10/24/2025	NHF& APPROVAL	JD	NG	
3	11/3/2025	TOWN SEWER COMMENTS	JD	NG	
2	9/30/2025	REVISED FOR NHF& & NHDES COMMENTS	JD	NG	
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG	
REV	DATE	DESCRIPTION	DR	CK	

SQUARE OR RECTANGULAR



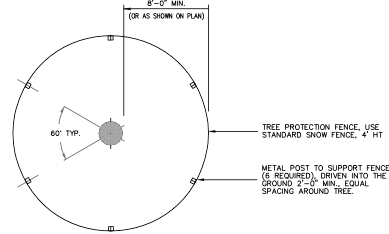
**GRASS LINED SWALE**  
FOR USE WHERE VELOCITIES ARE 3 FPS OR LESS NOT TO SCALE

**FILTER BASKET NOTES:**

1. INLET BASKETS SHALL BE USED ON ALL CATCH BASINS WITHIN THE PROJECT LIMITS WITHIN PAVED AREAS. INLET FILTER BASKETS SHALL BE "SILT SACK®" OR APPROVED EQUAL.
2. FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET OF FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND EXTEND AT LEAST 6 INCHES PAST THE FRAME. THE INLET GRATE SHALL BE PLACED OVER THE BASKET/FRAME AND WILL SERVE AS THE FABRIC ANCHOR.
3. THE FILTER FABRIC SHALL BE A GEO-TEXTILE FABRIC: POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:  
GRAB STRENGTH: 300 lb. MINIMUM IN ANY PRINCIPAL DIRECTION (ASTM D-4632).  
MULLEN BURST STRENGTH: MINIMUM 800 psi (ASTM D-3786).
4. THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 40 U.S. STANDARD SIEVE AND MINIMUM PERMEABILITY OF 40 gpm/sq. ft.
5. THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM ENTERING THE DRAINAGE PIPING SYSTEM AND/OR CAUSING SURFACE FLOODING.
6. INLET BASKETS SHALL BE MAINTAINED IN PLACE UNTIL ALL PAVING IS COMPLETED AND ALL UNPAVED AREAS HAVE BEEN STABILIZED WITH VEGETATION.

**INLET FILTER BASKET**

NOT TO SCALE

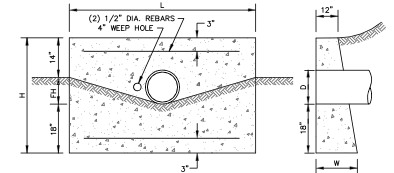


**TREE PROTECTION**  
NOT TO SCALE

**NOTES:**

EXCAVATING WITHIN 10 FEET OF EXISTING TREES SHALL BE PERFORMED BY HAND DIGGING, HYDRAULIC, OR PNEUMATIC TOOLS METHODS. THE USE OF HEAVY EQUIPMENT SHALL BE AVOIDED. NO ROOTS GREATER THAN 2 INCHES IN DIAMETER SHALL BE CUT WITHOUT APPROVAL OF AN ARBORIST. WHEN ROOTS MUST BE CUT, THEY SHALL BE CUT CLEANLY WITH A SHARP SAW TO SOUND WOOD AND FLUSH WITH THE TRENCH SITE. AVOID EXPOSING ROOTS DURING HOT, DRY WEATHER. BACKFILL TRENCHES AS SOON AS POSSIBLE WITH SOIL AND SOAK WITH WATER THE SAME DAY. IF THE TRENCH MUST BE LEFT OPEN FOR AN EXTENDED AMOUNT OF TIME, ALL ROOTS MUST BE KEPT MOIST BY WRAPPING THEM IN PEAT MOSS AND BURLAP.

NOMINAL PIPE SIZE D	LENGTH OF BARS L	H	FH	W
12	3'-2"	3'-6"	0'-10"	1'-10.5"
15	4'-2"	4'-6"	1'-1"	1'-11.75"
18	5'-2"	5'-6"	1'-4"	2'-0"
24	7'-2"	7'-6"	1'-10"	2'-5.5"
30	9'-2"	9'-6"	2'-4"	2'-9"
36	11'-2"	11'-6"	2'-10"	2'-6.5"
42	13'-2"	13'-6"	3'-4"	2'-6"
48	15'-2"	15'-6"	3'-10"	2'-7.5"



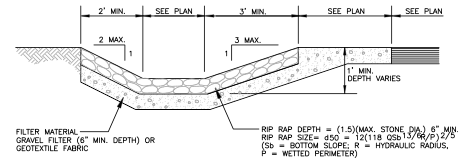
**CONCRETE HEADWALL**  
SINGLE PIPE SYSTEM NOT TO SCALE

**RIP-RAP GRADATION**

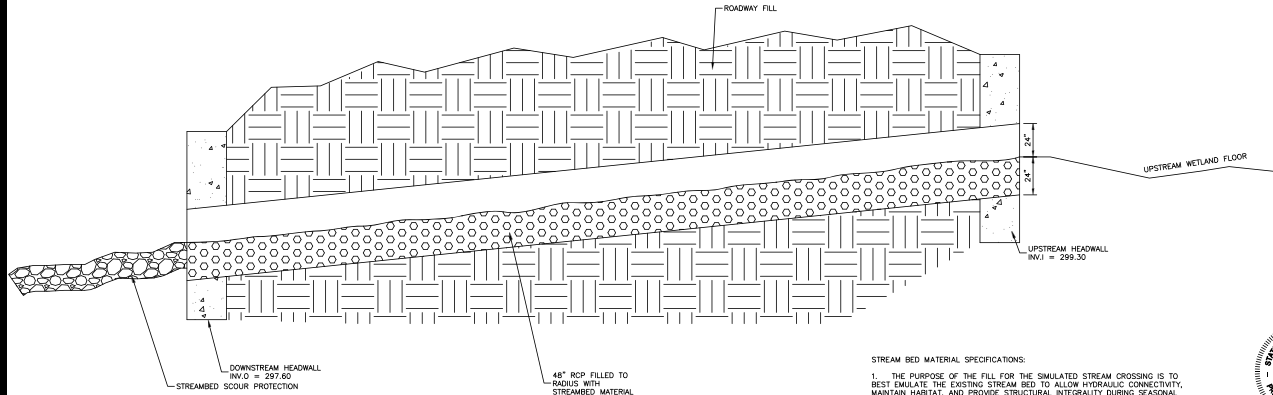
STONE SIZE	% FINER BY WEIGHT			
	D50 = 6"	D50 = 9"	D50 = 12"	D50 = 18"
2"	0-15%	0%	0-10%	-
4"	20-35%	10-20%	0-10%	-
6"	35-50%	25-35%	10-25%	0-10%
8"	50-65%	30-50%	20-30%	10-20%
10"	60-80%	40-60%	30-40%	15-30%
12"	75-100%	-	-	5-15%
15"	-	70-100%	45-60%	20-30%
20"	-	-	70-100%	40-60%
30"	-	-	-	70-100%
40"	-	-	-	70-100%

**GRAVEL FILTER GRADATION**

SIEVE SIZE	% PASSING BY WEIGHT
3/8"	100
1/2"	85-100
3/4"	60-90
1"	40-70
1 1/4"	20-50
1 1/2"	10-40
NO. 200	0-8



**RIP RAP SWALE**  
FOR USE WHERE VELOCITIES EXCEED 3 FPS NOT TO SCALE



**STREAM BED MATERIAL SPECIFICATIONS:**

1. THE PURPOSE OF THE FILL FOR THE SIMULATED STREAM CROSSING IS TO BEST EMULATE THE EXISTING STREAM BED TO ALLOW HYDRAULIC CONNECTIVITY, MAINTAIN HABITAT, AND PROVIDE STRUCTURAL INTEGRITY DURING SEASONAL RUNOFF EVENTS.
2. THE STREAMBED MATERIAL SHALL CONSIST OF WELL GRADED, ROUNDED, FLAT BOTTOM, NATURAL RIVER BED MATERIAL, NO ANGULAR ROCK TO BE USED.
3. COBBLES, STONES, AND GRAVELS:

STONE SIZE	PERCENT PASSING BY WEIGHT
6"	50%
4"	40%
2"	10%



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**CROSS CULVERT SECTION**

**SITE DEVELOPMENT PLANS**

TAX MAP 14 LOT 39-2  
**DETAILS**  
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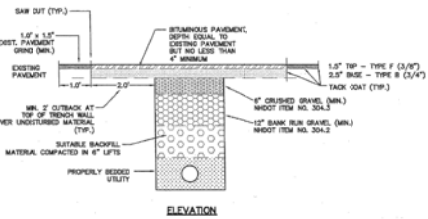


Civil Engineers  
Structural Engineers  
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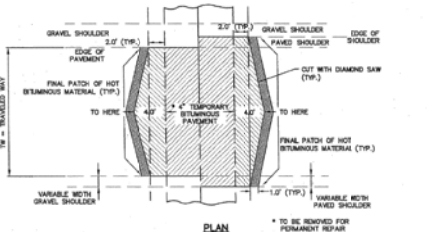
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18252-02	DR	FB	-	D-02
	CK	CADP/LE	18252-02 COVER & DETAILS	



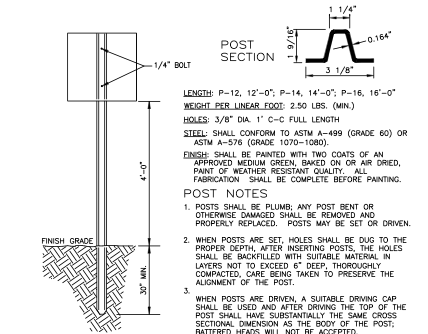
### PAVEMENT SECTION

NOT TO SCALE



### PAVEMENT TRENCH PATCH

NOT TO SCALE

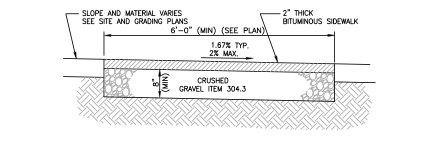


**PROTECTED CONSERVATION AREA**  
DO NOT DISTURB SOILS OR VEGETATION  
VIOLATORS WILL BE PROSECUTED

For Information or To Report A Violation Call The Code Enforcement Officer At 432-1100 Ext. 125

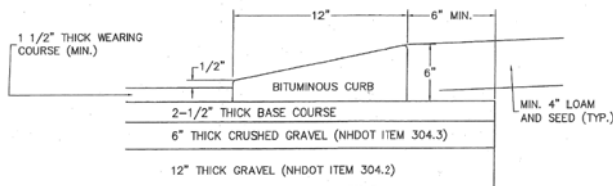
### CONSERVATION OVERLAY DISTRICT SIGN

NOT TO SCALE



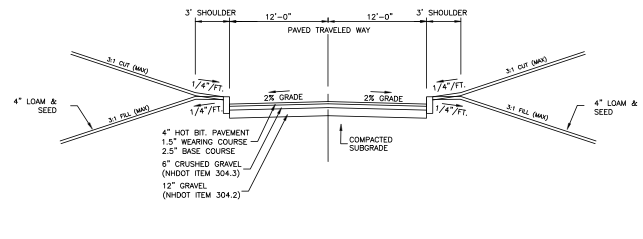
### BITUMINOUS SIDEWALK

NOT TO SCALE



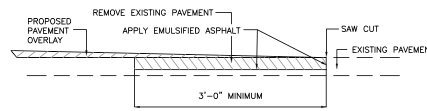
### BITUMINOUS CONCRETE CURB

NOT TO SCALE



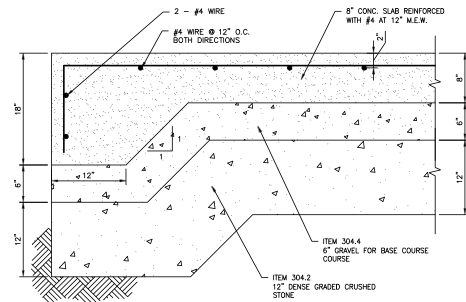
### DRIVEWAY SECTION

NOT TO SCALE



### PAVEMENT SAWCUT

NOT TO SCALE



### CONCRETE PAD DETAIL

NOT TO SCALE

### SITE DEVELOPMENT PLANS

TAX MAP 14 LOT 39-2  
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3	11/3/2025	TOWN SENIOR COMMENTS	JD	NG
2	9/25/2025	REVISED FOR HWFS & HWSES COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG
REV	DATE	DESCRIPTION	BY	CHK

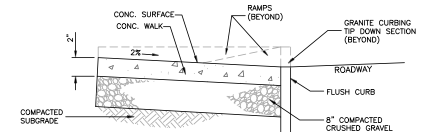
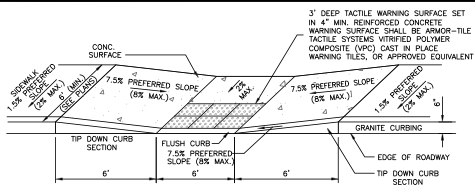
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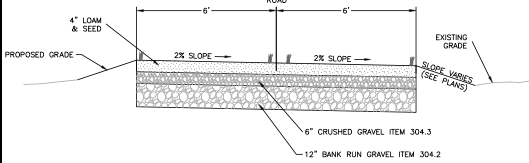
18252-02 DR FB  
CK CADPLE 18252-02 COVER & DETAILS D-03

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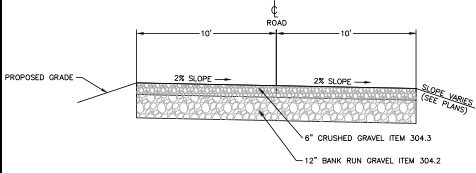
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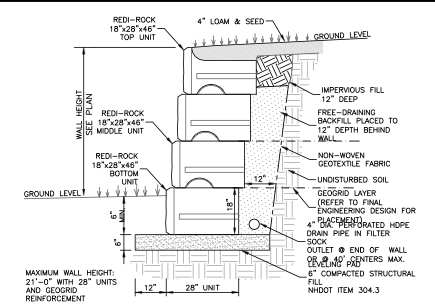
**ACCESSIBLE RAMP RECESSED IN WALK**  
WITH DETECTABLE WARNING SURFACE (VPC) NOT TO SCALE



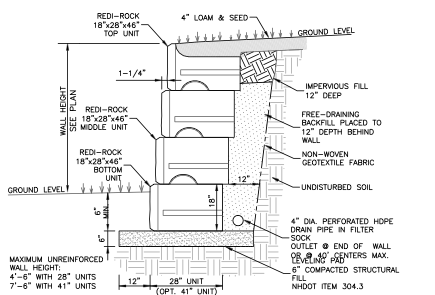
**MAINTENANCE DRIVE**  
STORMWATER MANAGEMENT AREAS NOT TO SCALE



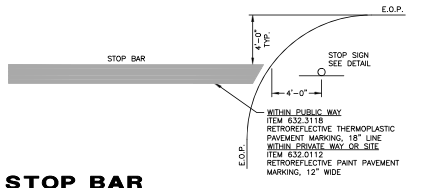
**GRAVEL MAINTENANCE DRIVE**  
PROCESS BUILDING NOT TO SCALE



**REDI-ROCK RETAINING WALL**  
REINFORCED WITH GEORRID SCALE: 1/2"=1'-0"



**REDI-ROCK RETAINING WALL**  
UNREINFORCED SCALE: 1/2"=1'-0"



**STOP BAR** NOT TO SCALE

**SITE DEVELOPMENT PLANS**  
TAX MAP 14 LOT 39-2  
**DETAILS**  
**SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS**  
**25 NORTH WENTWORTH AVE.**  
**LONDONDERRY, NH 03053**  
OWNED BY  
PREPARED FOR  
**PURPOSEENERGY-LONDONDERRY, LLC**  
**25 PELHAM ROAD SUITE 102, SALEM, NH 03079**  
SCALE: NOT TO SCALE SEPTEMBER 8, 2025

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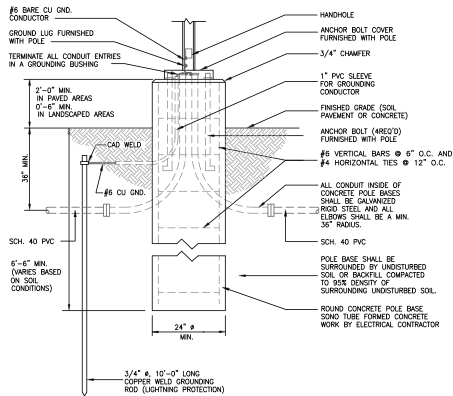
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4	10/24/2025	NHF&G APPROVAL	JD	NG
3	11/3/2025	TOWN SEWER COMMENTS	JD	NG
2	9/30/2025	REVISED FOR NHF&G & NIDES COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG
		DESCRIPTION	BY	CHK

	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com
	18252-02 DR CK	FB CADPLE

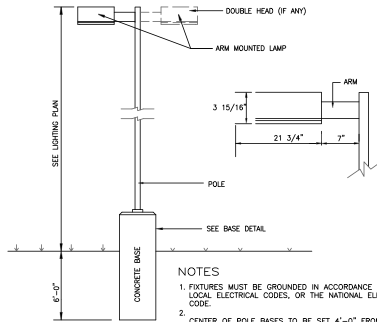
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Date: 2/23/2025 - 2:24pm  
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**LIGHT POLE BASE**  
 NOT TO SCALE



**LIGHT POLE**  
 NOT TO SCALE

- NOTES**
1. FIXTURES MUST BE GROUNDED IN ACCORDANCE WITH LOCAL ELECTRICAL CODES, OR THE NATIONAL ELECTRICAL CODE.
  2. CENTER OF POLE BASES TO BE SET 4'-0" FROM EDGE OF PAVEMENT, EXCEPT WHERE OTHERWISE INDICATED ON 3. DRAWING.
  3. LIGHTING SHOWN HERE IS AREA LIGHTING, SUPPLEMENTAL BUILDING-MOUNTED FIXTURES AT DOORWAYS, ETC. MAY BE REQUIRED.
  4. SEE LIGHTING PLAN FOR FIXTURE SCHEDULE.

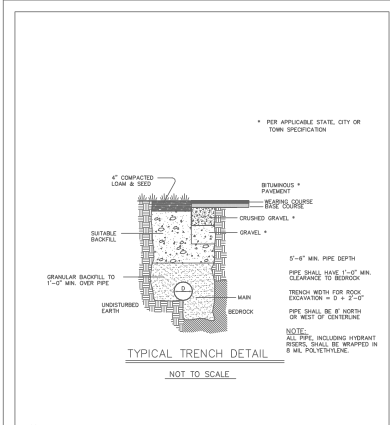
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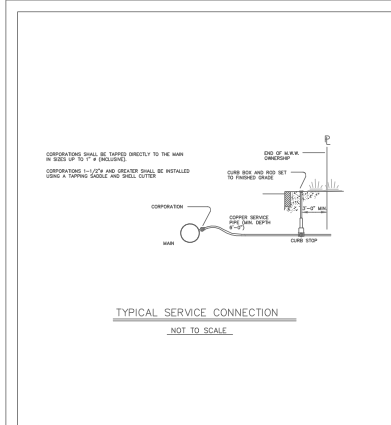
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3	11/3/2025	TOWN SEWER COMMENTS	JD	NG
2	9/30/2025	REVISED FOR NHF&G & HWSES COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG

**SITE DEVELOPMENT PLANS**  
 TAX MAP 14 LOT 39-2  
**DETAILS**  
 SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS  
 25 NORTH WENTWORTH AVE.  
 LONDONDERRY, NH 03053  
 OWNED BY  
 PREPARED FOR  
**PURPOSEENERGY-LONDONDERRY, LLC**  
 25 PELHAM ROAD SUITE 102, SALEM, NH 03079  
**SCALE: NOT TO SCALE**      **SEPTEMBER 8, 2025**

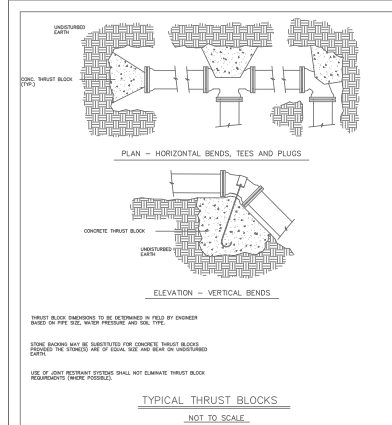
<b>TFM</b>	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists		48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com	
	18252-02	DR CK	FB CADFILE	D-06



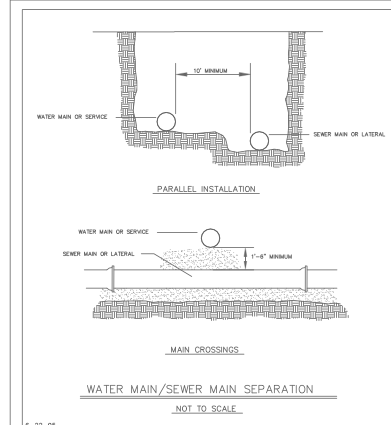
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STANDARD DETAIL		
55501		



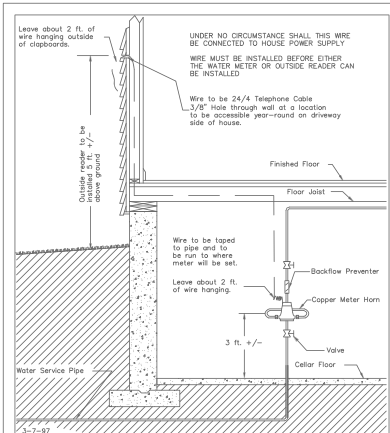
REVISED	MANCHESTER WATER WORKS MANCHESTER, NH	SD2
STANDARD DETAIL		
55502		



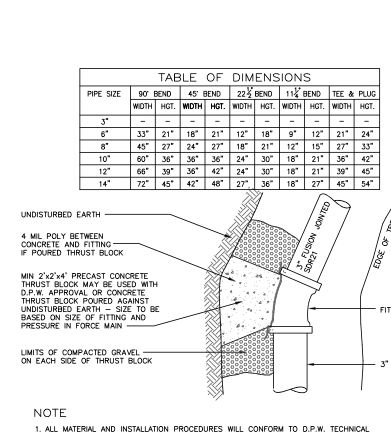
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STANDARD DETAIL		
55504		



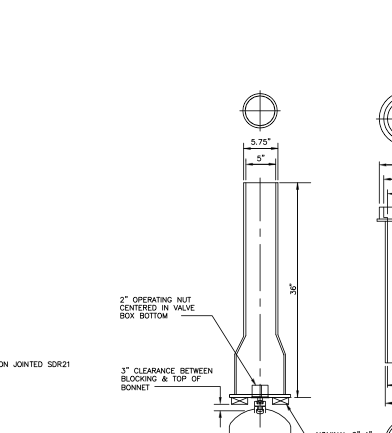
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STANDARD DETAIL		
55506		



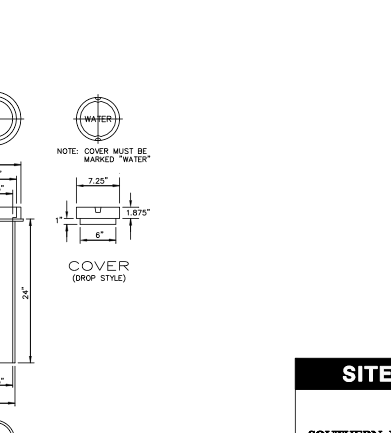
REVISED	MANCHESTER WATER WORKS MANCHESTER, NH	SD12
STANDARD DETAIL		



REVISED	MANCHESTER WATER WORKS MANCHESTER, NH	SD12
STANDARD DETAIL		



REVISED	MANCHESTER WATER WORKS MANCHESTER, NH	SD4
STANDARD DETAIL		



REVISED	MANCHESTER WATER WORKS MANCHESTER, NH	SD6
STANDARD DETAIL		

### THRUST BLOCKING BEHIND FITTINGS INSTALLATION

NOT TO SCALE

### VALVE BOX

NOT TO SCALE

### COVER (DROP STYLE)

NOT TO SCALE

**SITE DEVELOPMENT PLANS**  
TAX MAP 14 LOT 39-2  
**DETAILS**  
**SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS**  
**25 NORTH WENTWORTH AVE.**  
**LONDONDERRY, NH 03053**  
OWNED BY  
PREPARED FOR  
**PURPOSEENERGY-LONDONDERRY, LLC**  
**25 PELHAM ROAD SUITE 102, SALEM, NH 03079**

SCALE: NOT TO SCALE      SEPTEMBER 8, 2025

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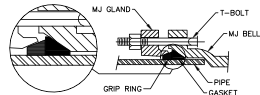


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4	10/24/2025	NHF&G APPROVAL	JD	NG
3	11/3/2025	TOWN SEWER COMMENTS	JD	NG
2	9/30/2025	REVISED FOR NHF&G & WHISES COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG
REV	DATE	DESCRIPTION	DR	CK

**TFM** Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

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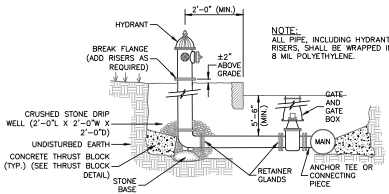
18252-02 DR FB  
CK CADFILE 18252-02 COVER & DETAILS D-07



**NOTE:**  
 1. ALL WATER MAINS (DUCTILE IRON) AND SERVICES SHALL BE POLYETHYLENE WRAP. ALL GASKETS SHALL BE NITRILE.  
 GRIP RING JOINT RESTRAINT OR EQUAL SHALL BE UTILIZED AT ALL BENDS AND AT ALL CHANGES IN DIRECTION OF WATER MAINS WHERE A RESTRAINED JOINT IS NEEDED.

**GRIP RING JOINT RESTRAINT**

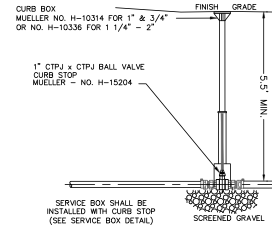
NOT TO SCALE



**NOTE:**  
 ALL PIPE, INCLUDING HYDRANT RISERS, SHALL BE WRAPPED IN 8 MIL POLYETHYLENE.

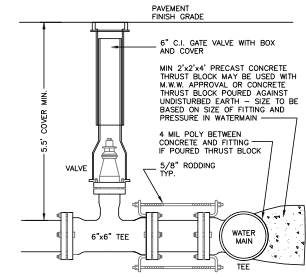
**TYPICAL HYDRANT INSTALLATION**

MANCHESTER WATER WORKS NOT TO SCALE



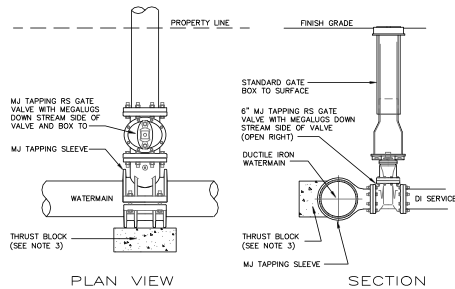
**CURB STOP**

NOT TO SCALE



**BURIED GATE VALVE**

NOT TO SCALE



**NOTE**

1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO M.W.W. TECHNICAL SPECIFICATIONS.
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 5'-6" FROM TOP OF PIPE TO FINISH GRADE.
3. MIN 2'x2'x4" PRECAST CONCRETE THRUST BLOCK MAY BE USED WITH M.W.W. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATERMAIN.

**WET TAP TEE INSTALLATION**

NOT TO SCALE

**SITE DEVELOPMENT PLANS**

TAX MAP 14 LOT 39-2

**DETAILS**

**SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS  
 25 NORTH WENTWORTH AVE.  
 LONDONDERRY, NH 03053**

OWNED BY

PREPARED FOR  
**PURPOSEENERGY-LONDONDERRY, LLC  
 25 PELHAM ROAD SUITE 102, SALEM, NH 03079**

SCALE: NOT TO SCALE

SEPTEMBER 8, 2025

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REV	DATE	DESCRIPTION	BY	CHK
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4	10/24/2023	INF&G APPROVAL	JD	NG
3	11/3/2023	TOWN SEWER COMMENTS	JD	NG
2	5/30/2023	REVISED FOR INF&G & WISES COMMENTS	JD	NG
1	9/12/2023	UPDATE FOR SUBMITTAL	JD	NG
			DJF	CK

18252-02	DR	FB		D-08
	CK	CADFILE	18252-02 COVER & DETAILS	

## SEWER SERVICE NOTES

- MINIMUM SIZE PIPE FOR SEWER SERVICE SHALL BE FOUR INCHES.
- PIPE AND JOINT MATERIALS:
  - PLASTIC SEWER PIPE
    - PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:
 

ASTM STANDARDS	GENERIC PIPE MATERIAL	SIZES APPROVED
D3034	*PVC (SOLID WALL)	8" THROUGH 15" (SDR 35)
F679	PVC (SOLID WALL)	18" THROUGH 27" (T-1 & T-2)
F789	PVC (RIBBED WALL)	4" THROUGH 18" (T-1 TO T-3)
F794	PVC (RIBBED WALL)	8" THROUGH 36"
D2685	*ABS (COMPOSITES WALL)	8" THROUGH 15"

\*PVC: POLY VINYL CHLORIDE  
\*ABS: ACRYLONITRILE-BUTADIENE-STYRENE

- JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPOUT TYPE.
- ABS TRUSS PIPE AND FITTINGS SHALL CONFORM TO ASTM D-2680, POLYMER COMPOUNDING SHALL BE TO ASTM D-1788 (CLASS 32).

- JOINTS FOR ABS TRUSS PIPE SHALL BE CHEMICAL WELDED COUPLINGS TYPE SC IN ACCORDANCE WITH ASTM D-2680, FORMING A CHEMICAL WELDED JOINT.
- DUCTILE-IRON PIPE, FITTINGS AND JOINTS.
  - DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
    - A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS.
    - A21.51 DUCTILE IRON PIPE, CENTRICALLY CAST IN METAL MOLDS OR SAND-LINED MOLDS FOR WATER OR OTHER LIQUIDS.
  - JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO:
    - A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS

- DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
- JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER-TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED, WHERE DIFFERENT MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
- TEES AND WYES: WHERE A TEE OR WYE IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE, FOLLOWING MANUFACTURERS' INSTRUCTIONS USING A BOLTED, CLAMPED OR EPOXY-CEMENTED SADDLE TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING IN THE EXISTING PIPE. JOINTS SHALL BE MADE WITH A SLOTTED MANHOLE STOPPING CLOTH OR OTHER SUCH MATERIAL AROUND THE JOINT, OR APPLYING MORTAR TO HOLD THE CONNECTION, AND ANY OTHER SIMILAR CRUDE PRACTICES OR REPT OR HASTY IMPROVISATIONS WILL NOT BE PERMITTED. THE CONNECTION SHALL BE CONCRETE ENCASED AS SHOWN IN THE DETAIL UP TO AND INCLUDING 15" DIAMETER.

- SEWER SERVICE INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 6 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN NOTE 10, BEDDING AND RE-FILL FOR DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES. THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4" INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DRY THE TRENCH.

- TESTING: THE COMPLETED SEWER SERVICE SHALL BE SUBJECTED TO A THIRD PARTY LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS: (PRIOR TO BACKFILLING)
  - ALL NEW GRABBY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF LOW-PRESSURE AIR TESTS.
    - LOW PRESSURE AIR TESTING SHALL BE IN CONFORMANCE WITH:
 

ASTM F1417-92(2005) "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW PRESSURE AIR"

UNI-BELL PVC PIPE ASSOCIATION UNI-B-6, "LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPE"
    - LEAKAGE OBSERVED IN ANY ONE OF THE ABOVE ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG-UP IF NECESSARY AND RE-LAID 50 AS TO ASSURE WATER TIGHTNESS.

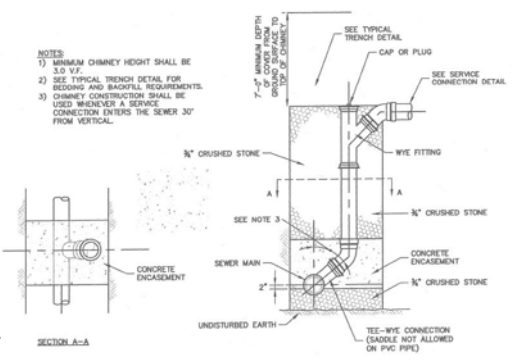
- ILLEGAL CONNECTIONS: NOTHING BUT SANITARY WASTE FLOW FROM TOILETS, SINKS, LAUNDRY ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SWAMP PUMPS OR OTHER SIMILAR CONNECTIONS CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.
- WATER SERVICE SHALL NOT BE LAID IN SAME TRENCH AS SEWER SERVICE.
- BEDDING: CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33-87.
 

100% PASSING	1 INCH SCREEN
90%-100% PASSING	3/4 INCH SCREEN
20%-55% PASSING	3/8 INCH SCREEN
0%-10% PASSING	#4 SIEVE
0%-5% PASSING	#6 SIEVE

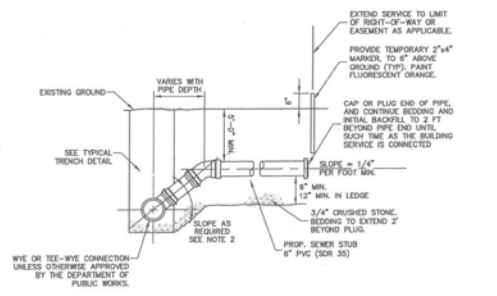
- WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, CRUSHED STONE 1/2 INCH TO 1 1/2 INCH SHALL BE USED.

- LOCATION: THE LOCATION OF THE TEE OR WYE SHALL BE RECORDED AND PLOTTED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE TEE OR WYE AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPEFINDER.
- CHIMNEYS: IF VERTICAL DROP INTO SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE SEWER CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.

## SEWER SERVICE DETAILS



## CHIMNEY (SEE NOTE 12)



- ALL SERVICE CONNECTIONS TO BE 6" MINIMUM UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
- USE CHIMNEY DETAIL WHERE SERVICE CONNECTION ENTERS SEWER AT GREATER THAN 60" TO THE HORIZONTAL.

## SEWER SERVICE

NOT TO SCALE

## GRAVITY SEWER NOTES

- MINIMUM SIZE PIPE FOR GRAVITY SEWER SHALL BE 8-INCHES.
- PIPE AND JOINT MATERIALS FOR PLASTIC SEWER PIPE SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:
 

ASTM STANDARDS	GENERIC PIPE MATERIAL	SIZES APPROVED
D3034-04a	* PVC (SOLID WALL)	8" THROUGH 15" (SDR 35)
F679-03	PVC (SOLID WALL)	18" THROUGH 27" (T-1 & T-2)
F794-03	PVC (RIBBED WALL)	8" THROUGH 36"
F1760-01(2005)1	PVC, RECYCLED	ALL DIAMETERS

\*PVC: POLY VINYL CHLORIDE

- PLASTIC SEWER PIPE SHALL HAVE A PIPE STIFFNESS RATING OF AT LEAST 46 POUNDS PER SQUARE INCH AT 5 PERCENT PIPE DIAMETER DEFLECTION, AS MEASURED IN ACCORDANCE WITH ASTM D9412-02 DURING MANUFACTURE.
- JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212-92(2003)1 AND SHALL BE PUSH-ON, BELL AND SPOUT TYPE.
- DUCTILE-IRON PIPE, FITTINGS AND JOINTS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE AMERICAN WATER WORKS ASSOCIATION (AWWA).
  - AWWA C150/A21.50 FOR THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A536 FOR DUCTILE IRON CASTINGS.
  - AWWA C151/A21.51 FOR DUCTILE IRON PIPE, CENTRICALLY CAST IN METAL- OR SAND-LINED MOLDS FOR WATER, WASTEWATER, AND RECLAIMED WATER SYSTEMS.

- JOINTS SHALL BE OF THE MECHANICAL TYPE, PUSH-ON TYPE, OR BALL- AND SOCKET TYPE AS APPROPRIATE FOR THE SPECIFIC APPLICATION. JOINTS AND GASKETS SHALL CONFORM TO AWWA C151/A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS.
- CONCRETE PIPE SHALL CONFORM TO AWWA C302-04.
- PRESTRESSED CONCRETE CYLINDER PIPE AND FITTINGS SHALL CONFORM TO AWWA C301-99.

- JOINTS SEALS FOR CONCRETE CYLINDER PIPE SHALL BE OIL RESISTANT ELASTOMERIC MATERIAL CONFORMING TO AWWA C301-99 SPECIFICATIONS.
- DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
- GRAVITY SEWER PIPE TESTING SHALL BE AS FOLLOWS:
  - ALL NEW GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF LOW-PRESSURE AIR TESTS.
    - LOW PRESSURE AIR TESTING SHALL BE IN CONFORMANCE WITH:
 

ASTM F1417-92(2005) "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW PRESSURE AIR"

UNI-BELL PVC PIPE ASSOCIATION UNI-B-6, "LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPE"

- ALL NEW GRAVITY SEWERS SHALL BE CLEANED AND VISUALLY INSPECTED AND SHALL BE TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR TO USE.
- ALL PLASTIC SEWER PIPE SHALL BE DEFLECTION TESTED NOT LESS THAN 30 DAYS FOLLOWING INSTALLATION.
- THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5 PERCENT OF THE AVERAGE INSIDE DIAMETER.
- TRENCH CONSTRUCTION SHALL CONFORM TO THE FOLLOWING:
  - SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6" BELOW GRADE IN ALL ROADWAY LOCATIONS AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS COUNTRY LOCATIONS.

- WHERE SEWER LINES CROSS WATER PIPES, A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. AT SEWER/WATER INTERSECTIONS, A MINIMUM OF 6 FEET SHALL BE PROVIDED FROM THE WATER LINE TO THE SEWER PIPE JOINT. 12" SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE REQUIRED BETWEEN SEWER LINES AND ALL OTHER PIPES.
- TRENCH DIMENSIONS FOR SEWER PIPE LESS THAN 15 INCHES IN DIAMETER, THE ALLOWABLE TRENCH WIDTH AT A PLANE 12 INCHES ABOVE THE PIPE SHALL BE NO MORE THAN 36 INCHES AND FOR PIPE 15 INCHES AND LARGER, THE ALLOWABLE WIDTH SHALL BE EQUAL TO THE PIPES OUTSIDE DIAMETER PLUS 24 INCHES.

- PIPE TRENCH BEDDING MATERIAL AND FILL MATERIAL FOR EXCAVATION BELOW GRADE SHALL BE CRUSHED STONE TO ASTM C33-03 STONE SIZE NO. 87, THE PIPE SAND BLANKET MATERIAL SHALL BE GRADED SAND FREE FROM ANY ORGANIC MATERIALS, GRADED SUCH THAT 100 PERCENT PASSED THE 1/2-INCH SIEVE AND A MAXIMUM OF 15 PERCENT PASSES A #200 SIEVE. IN LIEU OF A SAND BLANKET, A STONE ENVELOPE 6 INCHES THICK COMPLETELY AROUND THE PIPE USING 3/4-INCH STONE MAY BE USED.
- PIPE BEDDING MATERIAL SHALL EXTEND FROM A HORIZONTAL PLANE THROUGH THE PIPE AXIS TO 6-INCHES BELOW THE BOTTOM OF THE OUTSIDE SURFACE OF THE PIPE.

- PIPE SAND BLANKET MATERIAL SHALL COVER THE PIPE A MINIMUM OF 12 INCHES ABOVE THE CROWN OF THE OUTSIDE SURFACE.
- COMPACTION SHALL BE IN 12-INCH LAYERS FOR BEDDING AND BLANKET MATERIALS.
- BACKFILL MATERIAL SHALL BE IN 3-FOOT LAYERS TO THE GROUND SURFACE EXCEPT FOR ROAD CONSTRUCTION WHERE THE FINAL 3-FEET SHALL BE COMPACTED IN 12-INCH LAYERS TO THE ROAD BASE SURFACE.

- TRENCH BACKFILL MATERIAL IN ROADWAY LOCATIONS SHALL BE NATURAL MATERIALS EXCAVATED FROM THE TRENCH DURING CONSTRUCTION, EXCLUDING DEBRIS, PACKED FRESH, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT, CLAY, EXCAVATED LEDGE, ROCKS OVER 6 INCHES IN THE LARGEST DIMENSION, OR ANY OTHER UNSUITABLE MATERIAL NOT APPROVED BY THE ENGINEER.
- TRENCH BACKFILL AT CROSS-COUNTRY LOCATIONS SHALL BE AS DESCRIBED ABOVE EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE AND POSSIBLE RECONSTRUCTION, WHEN NECESSARY WILL BE PRESERVED. BACKFILL SHALL BE MOISTENED 6-INCHES ABOVE ORIGINAL GROUND.

- BASE COURSE MATERIALS FOR TRENCH REPAIRS SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- WHERE SHEETING IS PLACED ALONG SIDE OF THE PIPE AND EXTENDS BELOW MID-DIAMETER, THE SHEETING SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN ONE FOOT ABOVE THE TOP OF THE PIPE AND AT LEAST 3 FEET BELOW FINISH GRADE.

- TRENCHES FOR SEWER PIPES WITH SLOPES OVER 0.08 FEET PER FOOT AND TRENCHES FOR SEWER PIPES BELOW THE SEASONAL HIGH GROUND WATER LEVEL SHALL HAVE IMPROVED TRENCH DAMS CONSTRUCTED EVERY 300 FEET TO PREVENT POTENTIAL DISTURBANCE TO PIPE BEDDING AND BLANKET MATERIALS.

## SITE DEVELOPMENT PLANS

TAX MAP 14 LOT 39-2  
DETAILS

SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS  
25 NORTH WENTWORTH AVE.  
LONDONDERRY, NH 03053

OWNED BY  
PURPOSEENERGY-LONDONDERRY, LLC  
25 PELHAM ROAD SUITE 102, SALEM, NH 03079

SCALE: NOT TO SCALE SEPTEMBER 8, 2025



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

48 Constitution Drive  
Bedford, NH 03110  
Phone (603) 472-4488  
Fax (603) 472-9747  
www.tfmoran.com



NO.	DATE	DESCRIPTION	BY	CHK	APP
5	12/18/2025	AOT & STAFF COMMENTS	JD	NG	
4	10/24/2025	INP&G APPROVAL	JD	NG	
3	11/3/2025	TOWN SEWER COMMENTS	JD	NG	
2	9/30/2025	REVISED FOR INP&G INCHES COMMENTS	JD	NG	
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG	
REV	GAZ	DESCRIPTION	DP	CK	

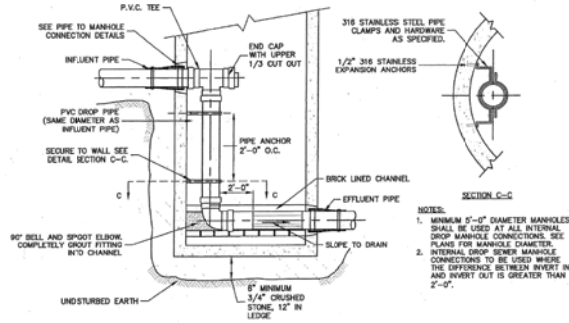
18252-02

DR FB  
CK CADPLE 18252-02 COVER & DETAILS D-09

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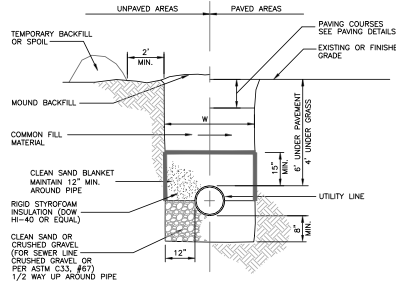
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Date: 2/23/2025 - 2:24pm  
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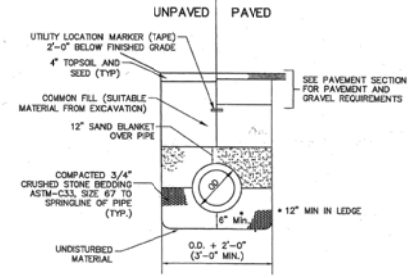
**TYPICAL SEWER MANHOLE WITH INTERNAL DROP CONNECTION**

NOT TO SCALE



**PIPE INSULATION**

NOT TO SCALE



**TYPICAL SEWER PIPE TRENCH**

NOT TO SCALE

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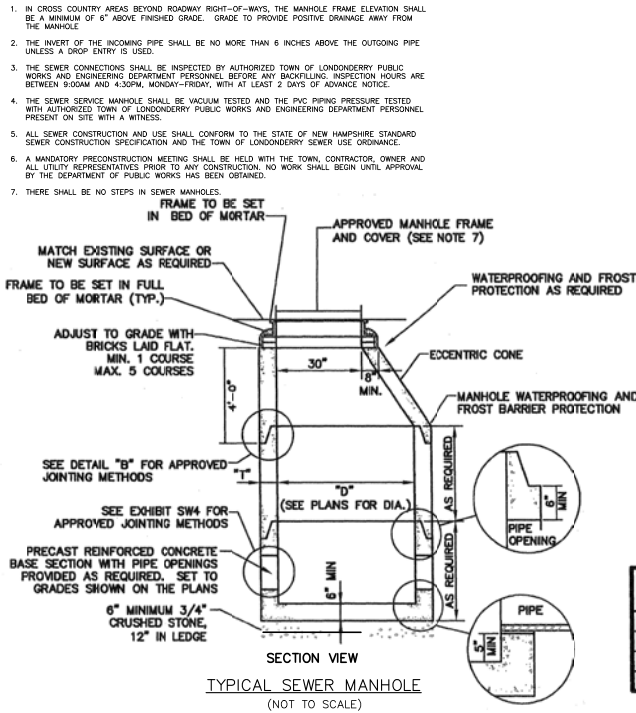
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**DETAILS**  
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 SCALE: NOT TO SCALE      SEPTEMBER 8, 2025

<b>TFM</b>	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists		48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tmmoran.com	
	18252-02	DR	FB	-
	CK	CADPLE	18252-02 COVER & DETAILS	D-10

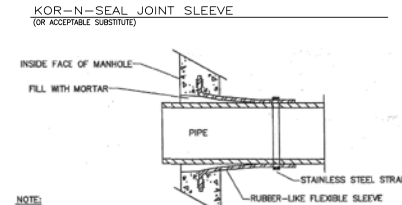
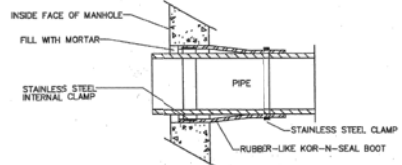
**GENERAL NOTES**

- ALL SEWER CONSTRUCTION STANDARDS AND DETAILS SHALL ADHERE TO ENV-WO 700, EFFECTIVE DATE JULY 1, 2025.
- IT IS THE INTENTION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONFIGURATIONS SHALL BE AS SHOWN ON THE DRAWING. MANHOLES SHALL BE AN ASSEMBLY OF PRECAST REINFORCED CONCRETE AND ADEQUATE JOINTING. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND HS-20-44 LOADING INCLUDING THE FRAME AND COVERS.
- SEWER MANHOLE DIAMETER SHALL BE AS INDICATED ON THE PLANS.
- LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF LONDONDERRY AND NHDES REQUIREMENTS. INVERT AND SHELF TO BE PLACED AFTER PASSING THE LEAKAGE TEST.
  - ALL MANHOLES SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST IN ACCORDANCE WITH THE ASTM C1244 STANDARD IN EFFECT WHEN THE TESTING IS PERFORMED.
  - THE MANHOLE VACUUM TEST SHALL CONFORM TO THE FOLLOWING:
    - THE INITIAL VACUUM GAUGE TEST PRESSURE SHALL BE 10 INCHES HG.
    - THE MINIMUM ACCEPTABLE TEST HOLD TIME FOR 1-INCH HG PRESSURE DROP TO 9 INCHES SHALL BE:
      - NOT LESS THAN 2 MINUTES FOR MANHOLES LESS THAN 10 FEET DEEP.
      - NOT LESS THAN 2.5 MINUTES FOR MANHOLES 10 TO 15 FEET DEEP.
      - NOT LESS THAN 3 MINUTES FOR MANHOLES MORE THAN 15 FEET DEEP.
  - THE MANHOLE SHALL BE REPAIRED AND RETESTED IF THE TEST HOLD TIMES FAIL TO ACHIEVE THE ACCEPTANCE LIMITS SPECIFIED IN (b) ABOVE.
  - INVERTS AND SHELVES SHALL NOT BE INSTALLED UNTIL AFTER SUCCESSFUL TESTING IS COMPLETE.
  - AFTER COMPLETION OF THE LEAKAGE TEST, THE FRAME AND COVER SHALL BE PLACED ON TOP OF THE MANHOLE OR SOME OTHER MEANS USED TO PREVENT ACCIDENTAL ENTRY BY UNAUTHORIZED PERSONS, CHILDREN OR ANIMALS, UNTIL THE CONTRACTOR IS READY TO MAKE FINAL ADJUSTMENT TO GRADE.
- CARE SHALL BE TAKEN TO ENSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT. INVERT BRICKS SHALL BE LAID ON EDGE. BASE SECTION TO BE FULL.
- MANHOLE CHANNELS REQUIRING CHANGE IN ALIGNMENT ARE TO BE BUILT ON A SMOOTH RADIUS.
- IN CROSS COUNTRY AREAS BEYOND ROADWAY RIGHT-OF-WAYS, THE MANHOLE FRAME ELEVATION SHALL BE A MINIMUM OF 6" ABOVE FINISHED GRADE. GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE MANHOLE.
- FRAMES AND COVERS: MANHOLES FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING (MINIMUM HEIGHT). LETTERS WITH THE WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH MANHOLE COVER.
- BARRELS, CONE SECTIONS AND CONCRETE GRADE RINGS SHALL BE PRECAST REINFORCED CONCRETE AND SHALL CONFORM ENV-WO 704.12 & 704.13.
- PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478-06.
- BASE SECTIONS SHALL BE OF MONOLITHIC CONSTRUCTION TO A POINT AT LEAST 6 INCHES ABOVE THE CROWN OF THE INCOMING PIPE.
- MANHOLE CONE SECTIONS SHALL BE ECCENTRIC IN SHAPE.
- ALL PRECAST SECTIONS AND BASES SHALL HAVE THE DATE OF MANUFACTURE AND THE NAME OR TRADEMARK OF THE MANUFACTURER IMPRESSED OR INDELIBLY MARKED ON THE INSIDE WALL.
- ALL PRECAST SECTIONS AND BASES SHALL BE COATED ON THE EXTERIOR WITH A BITUMINOUS DAMP-PROOFING COATING.
- SHALLOW MANHOLES: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING 14-20 TONS.
- HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF AN OVERLAPPING TYPE, SEALED FOR WATER-TIGHTNESS USING A DOUBLE ROW OF AN ELASTOMERIC OR MASTIC-LIKE SEALANT. APPROVED ELASTOMERIC SEALANTS ARE:
  - SKAFLEX-12-SL OR
  - SOMNEBORN BUILDING PRODUCTS--SONOLASTIC SL-1
- THE MINIMUM INTERNAL DIAMETER OF MANHOLES SHALL BE 48 INCHES FOR SEWERS LARGER THAN 24-INCH DIAMETER. MANHOLE DIAMETERS SHALL BE INCREASED SO AS TO PROVIDE AT LEAST 12-INCHES OF SHELF ON EACH SIDE OF THE SEWER.
- LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE TO ENV-WO 704.17.
- BRICK MASONRY FOR SHELF, INVERT AND GRADE ADJUSTMENT SHALL COMPLY WITH ASTM C32-05, CLAY OR SHALE FOR GRADE SS HAND BRICK.
- MORTAR SHALL BE COMPOSED OF PORTLAND CEMENT AND SAND WITH OR WITHOUT HYDRATED LIME ADDITION. PROPORTIONS IN MORTAR OF PARTS BY VOLUMES SHALL BE:
  - 4.5 PARTS SAND AND 1.5 PARTS CEMENT; OR
  - 4.5 PARTS SAND, 1 PART CEMENT AND 0.5 PART HYDRATED LIME
- CEMENT SHALL BE TYPE II PORTLAND CEMENT CONFORMING TO ASTM C150-05. HYDRATED LIME SHALL BE TYPE S CONFORMING TO ASTM C207-06 "STANDARD SPECIFICATIONS FOR HYDRATED LIME FOR MASONRY PURPOSES". SAND SHALL CONSIST OF INERT NATURAL SAND CONFORMING TO ASTM C33-03 "STANDARD SPECIFICATIONS FOR CONCRETE, FINE AGGREGATES".
- INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED OR PRECAST CONCRETE SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW AT CHANGES IN DIRECTIONS. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE. TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
- FRAMES AND COVERS: MANHOLES FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN, CLASS 30 CONFORMING TO ASTM A48/AS48 AND PROVIDE A 30-INCH CLEAR OPENING, 3-INCH WORD (MINIMUM HEIGHT) LETTERS "SEWER" SHALL BE PLAINLY CAST INTO THE TOP SURFACE. THE CASTING SHALL BE OF EVEN GRAINED CAST IRON, SMOOTH, AND FREE FROM SCALE, LUMPS, BUSTERS, SAND HOLES AND DEFECTS. CONTACT SURFACES OF COVERS AND FRAMES SHALL BE MACHINED AT THE FOUNDRY TO PREVENT ROUNDOFF OF COVERS IN ANY ORIENTATION.
- BEDDING: PRECAST BASES SHALL BE PLACED ON A 6-INCH (12-INCH IN LEDGE) LAYER OF COMPACTED BEDDING MATERIAL THAT CONFORMS TO ASTM C33-03 NO. 67 STONE AND FREE FROM CLAY, LOAM AND ORGANIC MATTER. THE ELEVATION SHALL BE PROPERLY DEMONSTRATED WHILE PLACING BEDDING MATERIAL AND SETTING OF THE BASE OR POURING CONCRETE. WATER-STOPS SHALL BE USED AT THE HORIZONTAL JOINT OF THE CAST-IN-PLACE MANHOLES.
 

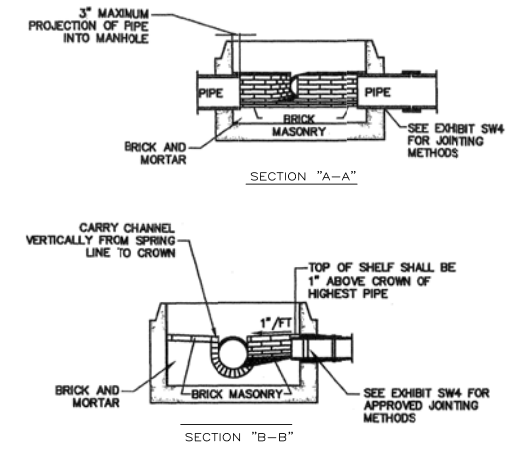
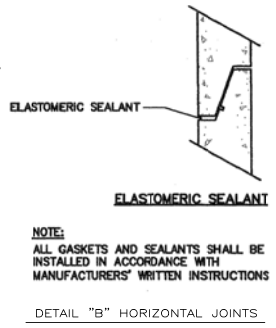
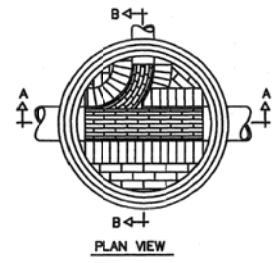
90-100% PASSING	1" SCREEN
100% PASSING	3/4" SCREEN
20-55% PASSING	3/8" SCREEN
0-10% PASSING	#4 SEIVE
0-5% PASSING	#8 SEIVE
- FLEXIBLE JOINT: A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES FROM ANY MANHOLE CONNECTION: (a) WITHIN 48 INCHES FOR REINFORCED CONCRETE PIPE (RCP), (b) WITHIN 60 INCHES FOR 12" PVC PIPE LARGER THAN 12" DIAMETER.
- NO FLEXIBLE JOINT SHALL BE REQUIRED FOR DUCTILE IRON PIPE OR PVC PIPE UP THROUGH 15-INCH DIAMETER.
- PIPE TO MANHOLE JOINTS SHALL BE ONLY AS FOLLOWS:
  - ELASTOMERIC, RUBBER SLEEVE WITH WATER-TIGHT JOINTS AT THE MANHOLE OPENING AND PIPE SURFACES.
  - CAST IRON WALL OR SECURED WITH STAINLESS STEEL CLAMP.
  - ELASTOMERIC SEALING RING CAST IN THE MANHOLE OPENING WITH THE SEAL FORMED ON THE SURFACE OF THE PIPE BY COMPRESSION OF THE RING.



MANHOLE DIAMETER	MAX. PIPE DIAMETER STRAIGHT THROUGH TO 45' DEFLECTION	T" (WALL THICKNESS)
48" (MIN.)	30" OD MAX.	5" (MIN.)
60"	44" OD MAX.	6"
72"	51" OD MAX.	7"
96"	72" OD MAX.	9"



NOTE:  
ALL GASKETS, SEALANTS, MORTAR, ETC., SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.



NOTE:  
ALL GASKETS AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS



**SITE DEVELOPMENT PLANS**  
 TAX MAP 14 LOT 39-2  
**DETAILS**  
 SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS  
 25 NORTH WENTWORTH AVE.  
 LONDONDERRY, NH 03053  
 OWNED BY  
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SCALE: NOT TO SCALE SEPTEMBER 8, 2025

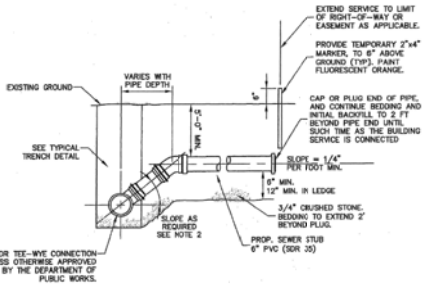
<b>TFM</b>	Soil Engineers	48 Constitution Drive
	Structural Engineers	Bedford, NH 03110
	Traffic Engineers	Phone (603) 472-4488
	Land Surveyors	Fax (603) 472-9747
	Landscape Architects	www.tfmom.com
	Scientists	

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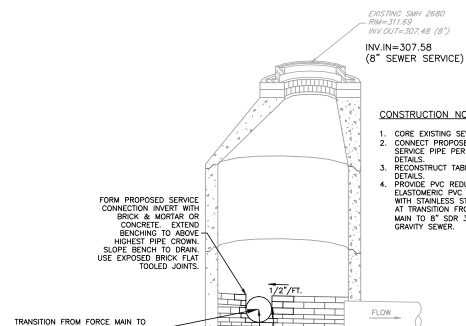
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- NOTES:**
1. ALL SERVICE CONNECTIONS TO BE 6" MINIMUM UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
  2. USE CHIMNEY DETAIL WHERE SERVICE CONNECTION ENTERS SEWER AT GREATER THAN 60° TO THE HORIZONTAL.

**SEWER SERVICE CONNECTION**



- CONSTRUCTION NOTES:**
1. CORE EXISTING SEWER MANHOLE
  2. CONNECT PROPOSED 8" SEWER SERVICE PVC PER PLAN AND DETAILS.
  3. RECONSTRUCT TABLE PER DETAILS.
  4. PROVIDE PVC REDUCER OR ELASTOMERIC PVC COUPLING WITH STAINLESS STEEL BANDS AT TRANSITION FROM FORCE MAIN TO 8" SDR 35 PVC GRAVITY SEWER.

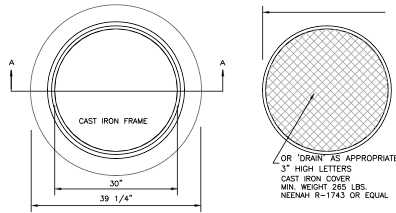
PROPOSED 8" SDR35 SEWER SERVICE  
INV. IN=307.58

LEADING EDGE OF BRICK TO BE PERPENDICULAR TO FLOW LINE TO IN-CREASE DURABILITY

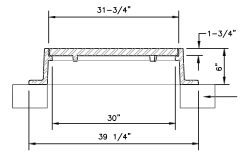
MORTAR SHALL CONSIST OF: 1 PART BY VOLUME PORTLAND CEMENT, 2 PARTS BY VOLUME DAMP WASHED COARSE SAND AND POTABLE WATER TO PRODUCE A CONSISTENCY OF STIFF PASTE. SEAL ALL PRECAST JOINTS WITH MORTAR.

**SEWER SERVICE CONNECTION**

EX. SMH2680 NOT TO SCALE



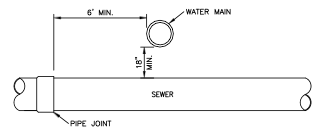
PLAN VIEW



SECTION A-A

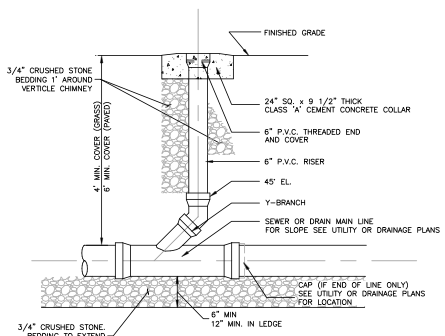
**MANHOLE FRAME & COVER**

HEAVY DUTY

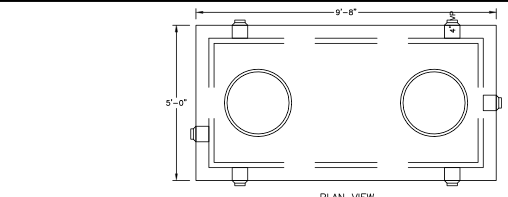


**SEWER / WATER INTERSECTIONS**

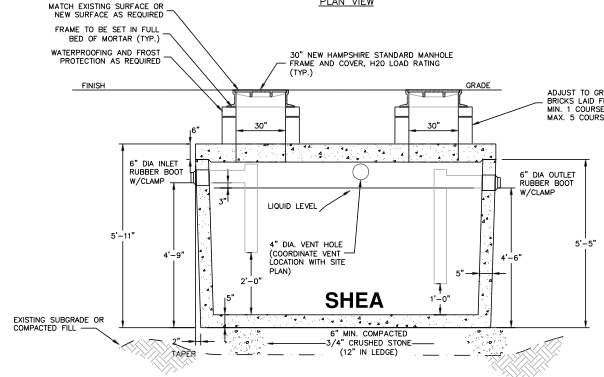
ELEVATION VIEW NOT TO SCALE



**SEWER CLEAN OUT**



PLAN VIEW



SECTION VIEW

- NOTES:**
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
  2. ALL REINFORCEMENT PER ASTM C1227.
  3. TEES AND BAFFLES SOLD SEPARATELY.
  4. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
  5. DESIGNED FOR ASHTO HS-20 LOADING, 1 TO 5 FT COVER.

ITEM NO. M1000H	H=20 (6" TOP)
M1000H10	H=20 (10" TOP)
WEIGHT:	
BOTTOM	= 11,250#
10" TOP	= 5,960#
6" TOP	= 3,975#

**INDUSTRIAL TANK DETAIL**

SHEA CONCRETE 1,000 GALLON SEPTIC TANK (OR APPROVED EQUAL) NOT TO SCALE

**SITE DEVELOPMENT PLANS**

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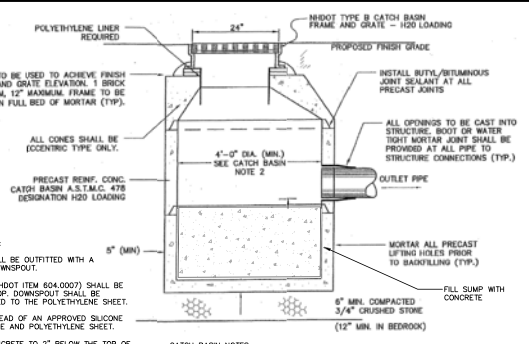
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2	10/22/2025	TOWN SEWER COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG

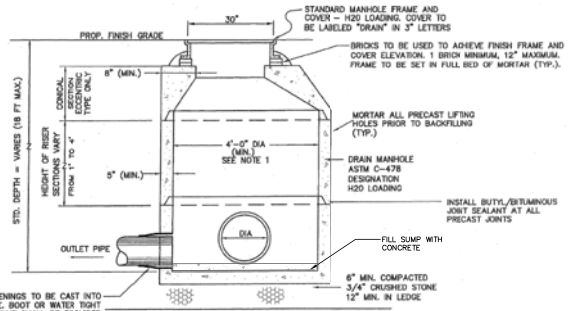
18252-02	DR	FB	-	D-12
	CK	CADPFL	18252-02 COVER & DETAILS	

Date: 2/25/2025 2:24pm  
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- POLYETHYLENE LINER NOTES:**
1. ALL CATCH BASINS SHALL BE OUTFITTED WITH A POLYETHYLENE LINER DOWNSPOUT.
  2. POLYETHYLENE LINER (MIDDOT ITEM 604.0007) SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION FILLET WELDED TO THE POLYETHYLENE SHEET.
  3. PLACE A CONTINUOUS BEAD OF AN APPROVED SILICONE SEALANT BETWEEN FRAME AND POLYETHYLENE SHEET.
  4. PLACE A CLASS AA CONCRETE TO 2\"/>

- CATCH BASIN NOTES:**
1. WHERE DEPTH EXCEEDS 12 FT, USE 5\"/>



- NOTES:**
1. WHERE DEPTH EXCEEDS 12 FT, USE 5\"/>

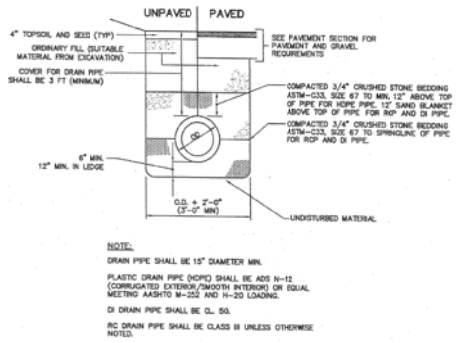
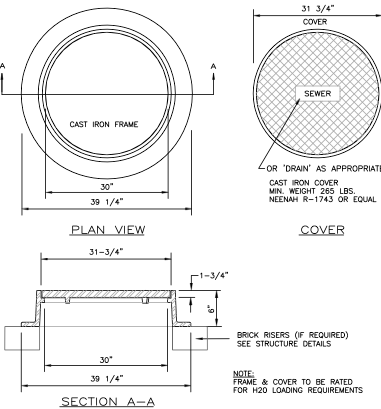
**CATCH BASIN**

NOT TO SCALE

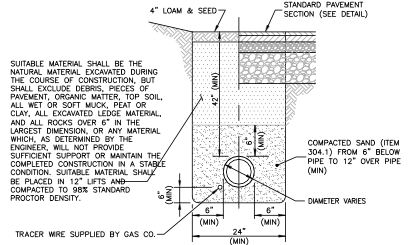
**DRAIN MANHOLE**

ECCENTRIC CONE

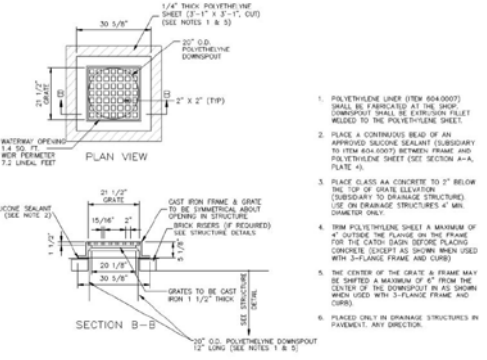
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- NOTE:**
- DRAIN PIPE SHALL BE 15\"/>



SUITABLE MATERIAL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION. SOIL SHALL EXCLUDE DEBRIS, PIECES OF PAWMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEADS MATERIAL, AND ALL ROCKS OVER 6\"/>



**CATCH BASIN FRAME AND GRATE**

NEENAH R-3404 OR EQUIVALENT NOT TO SCALE

1. POLYETHYLENE LINER (ITEM 604.0007) SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION FILLET WELDED TO THE POLYETHYLENE SHEET.
2. PLACE A CONTINUOUS BEAD OF AN APPROVED SILICONE SEALANT (SUBSIDIARY TO DRAINAGE STRUCTURE) USE OR DRAINAGE STRUCTURES 4\"/>

**MANHOLE FRAME & COVER**

HEAVY DUTY NOT TO SCALE

**STORM DRAIN TRENCH**

NOT TO SCALE

**GAS MAIN TRENCH**

NOT TO SCALE

**SITE DEVELOPMENT PLANS**

TAX MAP 14 LOT 39-2  
**DETAILS**  
**SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS**  
**25 NORTH WENTWORTH AVE.**  
**LONDONDERRY, NH 03053**  
 OWNED BY  
**PURPOSEENERGY-LONDONDERRY, LLC**  
**25 PELHAM ROAD SUITE 102, SALEM, NH 03079**

SCALE: NOT TO SCALE SEPTEMBER 8, 2025

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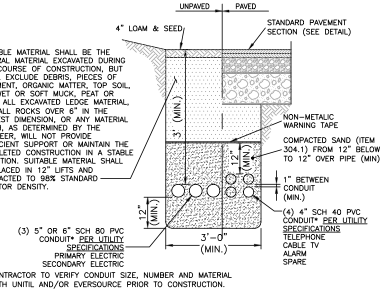
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4	10/24/2025	INF&S APPROVAL	JD	NG
3	11/3/2025	TOWN SEWER COMMENTS	JD	NG
2	9/30/2025	REVISED FOR INF&S & INF&S COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG

**TFM** Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

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 Bedford, NH 03110  
 Phone (603) 472-4488  
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18252-02	DR	FB	-	D-13
	CK	CADFILE	18252-02 COVER & DETAILS	

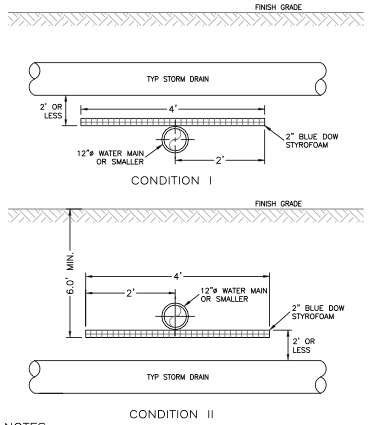
Date: 2/20/2025 - 2:24pm  
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- NOTES**
- ALL CONDUITS SHALL BE 6" GRAY, ELECTRICAL GRADE, SCHEDULE 80 PVC CONDUIT WITH THE EXCEPTION OF THE SWEEPS AT RISER POLE AND THE FIRST HORIZONTAL AND VERTICAL CONDUIT SECTIONS AT EACH RISER POLE WHICH SHALL BE 6" HOT-DIPPED, GALVANIZED ROOD STEEL.
    - THE STEEL TO PVC CONDUIT TRANSITIONS SHALL BE MADE WITH PVC THREADED ADAPTERS.
  - CONDUITS SHALL BE INSTALLED IN STRAIGHT LINES.
    - NO SWEEPS SHALL BE USED IN THE CONDUIT SYSTEM EXCEPT AT RISER POLES AND EQUIPMENT PADS.
    - THE MAXIMUM CHANGE IN CONDUIT DIRECTION BETWEEN TO CONTIGUOUS LENGTH OF CONDUIT SHALL BE LIMITED TO 2.5 DEGREES.
    - ALL HORIZONTAL AND/OR VERTICAL CONDUIT BEND/CHANGES IN DIRECTION, NO MATTER HOW SMALL, SHALL BE REVIEWED AND APPROVED BY UNTIL.
  - ALL CONDUIT RUNS SHALL BE CLEANED BY PULLING A PLUG OR MANDREL (NO SMALLER THAN 1/4" LESS THAN THE CONDUIT) THROUGH EACH CONDUIT.
  - ALL CONDUITS SHALL HAVE A 2,500# FLAT, WOVEN, POLYESTER PULLING LINE INSTALLED.
  - TEMPORARY CAPS SHALL BE INSTALLED ON THE END OF CONDUITS UNTIL CABLES ARE INSTALLED.
  - THE CONDUIT DUCT BANK INSTALLATION SHALL BE INSPECTED AND ACCEPTED BY UNTIL PRIOR TO BACKFILL.

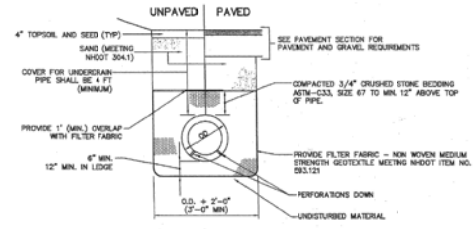
**UTILITY TRENCH**

NOT TO SCALE



- NOTES**
- INSULATION REQUIREMENTS MAY BE MODIFIED BY WATER DEPT. BASED ON FIELD CONDITIONS, ETC.
  - THE LENGTH OR WIDTH OF INSULATION SHALL EXTEND 1 STORM DRAIN PIPE DIAMETER BEYOND THE EDGE OF STORM DRAIN PIPE IN EACH DIRECTION OR A MINIMUM OF 2" BEYOND THE CENTERLINE OF THE STORM DRAIN PIPE, WHICHEVER IS GREATER.
  - ALL BUTT JOINT SEAMS TO BE OVERLAPPED WITH A 1" PIECE OF INSULATION CENTERED OVER SEAM.

**STORM DRAIN / WATER MAIN INTERSECTING RUNS**  
 ELEVATION VIEW NOT TO SCALE



**NOTE:**  
 PLASTIC UNDERDRAIN PIPE (HDPE) SHALL BE 6" DIAMETER (MIN.) 405-H-12 (CORRUGATED EXTERIOR/SMOOTH INTERIOR) OR EQUAL MEETING AASHTO M-252 AND H-20 LOADING.

**UNDERDRAIN TRENCH**

NOT TO SCALE

**SITE DEVELOPMENT PLANS**  
 TAX MAP 14 LOT 39-2  
**DETAILS**  
 SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS  
 25 NORTH WENTWORTH AVE.  
 LONDONDERRY, NH 03053  
 OWNED BY  
 PREPARED FOR  
 PURPOSEENERGY-LONDONDERRY, LLC  
 25 PELHAM ROAD SUITE 102, SALEM, NH 03079

**SCALE: NOT TO SCALE** **SEPTEMBER 8, 2025**

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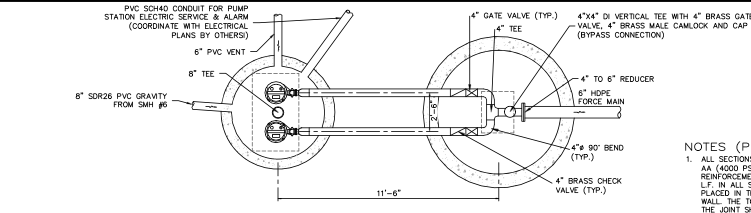


NO.	DATE	DESCRIPTION	BY	CHK
5	12/18/2025	ADT & STAFF COMMENTS	JD	NG
4	10/24/2025	NH&S APPROVAL	JD	NG
3	11/3/2025	TOWN SEWER COMMENTS	JD	NG
2	9/30/2025	REVISED FOR NH&S & NISES COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG
REV	DATE	DESCRIPTION	BY	CHK

<b>TFM</b>	Civil Engineers	48 Constitution Drive
	Structural Engineers	Bedford, NH 03110
	Traffic Engineers	Phone (603) 472-4488
	Land Surveyors	Fax (603) 472-9747
	Landscape Architects	www.tfmoran.com
	Scientists	

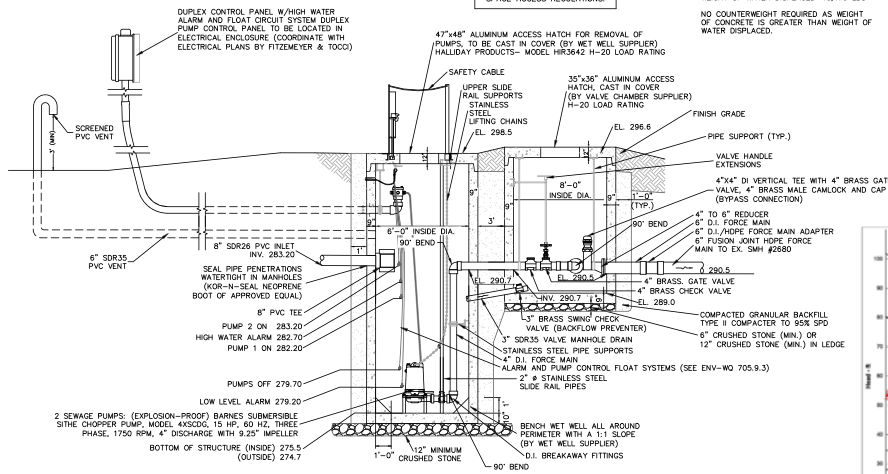
18252-02	DR	FB	-	D-14
	CK	CADP/E	18252-02 COVER & DETAILS	





**CAUTION**  
THIS IS A CONFINED SPACE. DO NOT ENTER WITHOUT FOLLOWING OSHA CONFINED SPACE ACCESS REGULATIONS.

- NOTES (PUMP STATION MANHOLE):**
1. ALL SECTIONS SHALL BE CONCRETE CLASS AA (4000 PSI). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER L.F. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER L.F.
  2. PUMP CHAMBER SHALL CONFORM TO NH CODE OF ADMINISTRATIVE RULES Env-Wg 705.02.
  3. BUOYANCY CALCULATIONS: WEIGHT OF CONCRETE=56,019 LBS. WEIGHT OF WATER DISPLACED=44,476 LBS. NO COUNTERWEIGHT REQUIRED AS WEIGHT OF CONCRETE IS GREATER THAN WEIGHT OF WATER DISPLACED.



**WASTEWATER FLOW INFORMATION**  
AVERAGE DAILY FLOW: 120,440 GPD (84 GPM)  
PEAK DAILY FLOW: 650,376 GPD (452 GPM)

**PUMP INFORMATION (AT PEAK DAILY FLOW RATE)**  
STATIC HEAD: 28'  
FRICTION HEAD: 24'  
TOTAL DYNAMIC HEAD: 52'

**WET WELL STORAGE**  
VOLUME OF WET WELL: 211 GAL/VERTICAL FT  
AVAIL. VERT STORAGE: 3.5 FT  
(INV. TO PUMP OFF)  
VOLUME AVAILABLE: 740 GALLONS

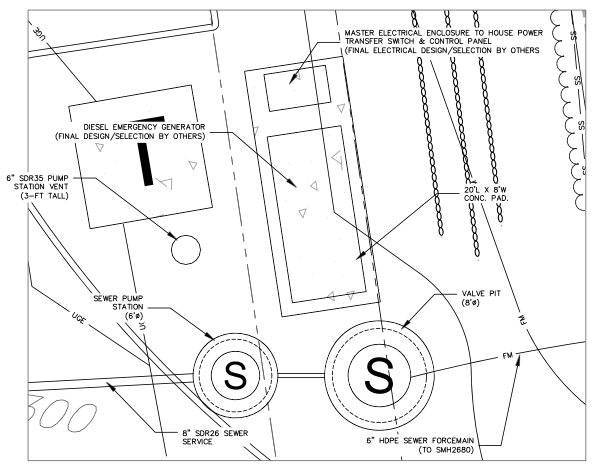
**PUMP STATION NOTES:**  
ALL PIPE AND FITTINGS TO BE PRODUCED BY A SINGLE MANUFACTURER AND TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND LOCAL CODE REQUIREMENTS. BURIED PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM F 1568. SOLVENT CEMENTS SHALL CONFORM TO ASTM D 2564. PRIMER SHALL CONFORM TO ASTM F 656.

- NOTES:**
1. STRUCTURES AND HATCHES TO BE H-20 LOADING, SUBMERSIBLE PUMPS AND ALL ELECTRICAL COMPONENTS SHALL BE SUITABLE FOR USE IN CLASS 1 HAZARDOUS LOCATIONS.
  2. DUPLEX AUTOMATIC CONTROL PANEL AND ALARM PANEL TO BE PLACED IN ENCLOSURE. SYSTEM SHALL INCLUDE BOTH AUDIBLE AND VISUAL ALARMS. COORDINATE LOCATION WITH ARCHITECT.
  3. USE 2 DUPLEX (EXPLOSION-PROOF) BARNES SUBMERSIBLE SITH CHOPPER PUMP, MODEL 4X52DD, 15 HP, 60 HZ, THREE PHASE, 1750 RPM, 4" DISCHARGE WITH 9.25" IMPELLER.
  4. OUTSIDE OF PUMP BASIN SHALL BE SEALED WITH A BITUMINOUS COATING TO ENSURE WATER TIGHTNESS.
  5. ALL JOINTS SHALL BE SEALED WITH A DOUBLE ROW OF AN ELASTOMERIC OR MASTIC-LIKE SEALANT.
  6. CONTROL PANEL TO BE WIRED TO ALTERNATE OPERATION OF PUMPS. PUMPS CONTROL SHALL PROVIDE AUTOSTART OF LAG PUMP SHOULD LEAD PUMP FAIL TO START.
  7. SEPARATE ELECTRICAL CIRCUITS SHALL BE PROVIDED FOR THE PUMPS AND ALARM SYSTEMS.
  8. AN ADDITIONAL RECEPTACLE SHALL BE PROVIDED FOR CONNECTION OF GENERATOR IN THE EVENT OF POWER OUTAGE.
  9. ALL PIPE AND FITTINGS TO BE PRODUCED BY A SINGLE MANUFACTURER AND TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND LOCAL CODE REQUIREMENTS. BURIED PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM F 1568. SOLVENT CEMENTS SHALL CONFORM TO ASTM D 2564. PRIMER SHALL CONFORM TO ASTM F 656.
  10. PUMP STATIONS SHALL BE EQUIPPED WITH AUDIBLE ALARM, FLASHING WARNING LIGHT AND DISCONNECT TO BE MOUNTED ADJACENT TO EACH PUMP STATION.
  11. PUMP STATION SHALL RECORD PUMP RUN TIMES AND HAVE CONTINUOUS FLOW RECORDING.
  12. AN OPERATION AND MAINTENANCE MANUAL IS REQUIRED AND SHALL BE PROVIDED TO THE OWNER/OPERATOR PURSUANT TO ENV-WG 705.10(c).
  13. VALVE PIT SHALL BE EQUIPPED WITH A BYPASS CONNECTION TO ALLOW FOR CONNECTION OF A PUMP AROUND WET WELL FOR MAINTENANCE, REPAIRS AND CONSTRUCTION PURSUANT TO ENV-WG 705.02(a)(2).

**PUMP STATION / VALVE MANHOLE DETAIL**

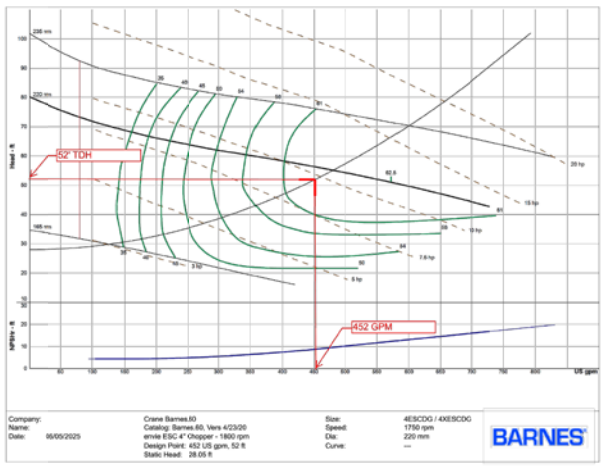
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**SEWER PUMP STATION PLAN VIEW**

SCALE: 1"=5'



**PUMP CURVE DATA**  
BARNES SUBMERSIBLE CHOPPER PUMP

NOT TO SCALE

**SITE DEVELOPMENT PLANS**  
TAX MAP 14 LOT 39-2  
**DETAILS**  
**SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS**  
**25 NORTH WENTWORTH AVE.**  
**LONDONDERRY, NH 03053**  
OWNED BY  
**PURPOSEENERGY-LONDONDERRY, LLC**  
**25 PELHAM ROAD SUITE 102, SALEM, NH 03079**  
SCALE: NOT TO SCALE      SEPTEMBER 8, 2025

**TFM** Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

48 Constitution Drive  
Bedford, NH 03110  
Phone (603) 472-4488  
Fax (603) 472-9747  
www.tfmoran.com

18252-02 DR FB  
CK CAPLLE 18252-02 COVER & DETAILS D-16



REV	DATE	DESCRIPTION	DR	CHK
5	12/18/2025	AOT & STAFF COMMENTS	JD	NG
4	10/24/2025	NHF&G APPROVAL	JD	NG
3	11/3/2025	TOWN SEWER COMMENTS	JD	NG
2	9/30/2025	REVISED FOR INF&G & WISES COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG

Date: 2/20/2025 - 2:25pm  
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NEW HAMPSHIRE  
STATE ENDANGERED

## BLANDING'S TURTLE



**Report Sightings:** Contact Wildlife Biologist Josh Megyesi at (603) 271-1125 or the Wildlife Division at (603) 271-2461. Observation reports can be sent to RAA.RP@wildlife.nh.gov. Photographs and exact locations are strongly encouraged.



- Specific Information:**
- Adults are 7-9 inches long.
  - Shell is highly domed with light speckles.
  - Distinct yellow throat and chin.
  - Uses variety of wetlands and moves extensively over land.
  - Turtles are frequently concealed by leaves and undergrowth and may not be easily visible.
  - Turtles are most active from April 15 - October 15.
  - During nesting season (May 15 - July 15) turtles are attracted to disturbed ground.



This species is protected under RSA 212-A and Fis 1000. Thank you for reporting any observations.

**PLEASE DO NOT DISTURB OR HANDLE WILDLIFE**



## REPORT OBSERVATIONS Smooth Green Snake (Species of Special Concern)



Report sightings to NHFG Wildlife Division at [NHFGReview@wildlife.nh.gov](mailto:NHFGReview@wildlife.nh.gov)

Reference NHB# and project name if applicable.  
Please report promptly, noting specific location and date.  
Photographs strongly encouraged.



- Thin, bright green snake
- 10-20 inches long
- White or pale yellow underside
- Found in open or lightly forested habitats such as grassy fields, meadows, blueberry barrens, and forest openings
- Dead individuals turn blue



## EASTERN HOGNOSE SNAKE

(New Hampshire state endangered species)

Egg laying occurs June 1 - July 15th.  
Young emerge in August - September.



- Identifying traits**
- Black, gray or patterned appearance
  - Uprturned snout
  - Adults are 2-3 ft. long
  - May spread neck out or hiss
  - May play dead if they feel threatened.
  - Rarely bite - display is a defense strategy



- Habitat Use**
- Can be found in a variety of habitats throughout the season.



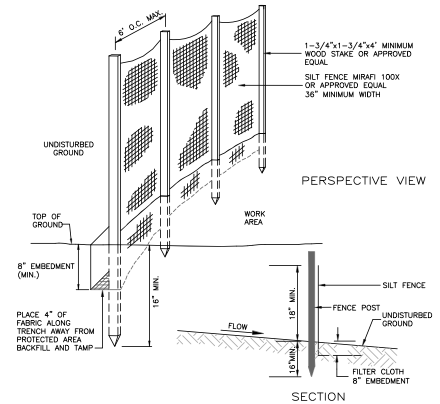
Immediately report sightings to NH Fish & Game

Melissa Winters (603-479-1129) or  
Brendan Clifford (603-944-0885)

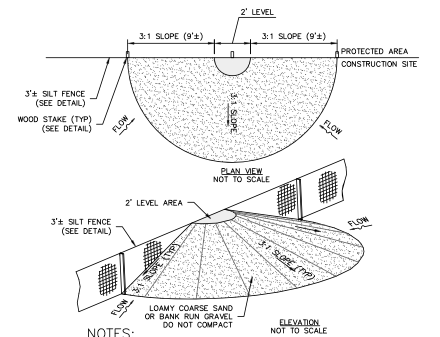
Please report promptly, noting specific location and date.  
Photographs strongly encouraged.

State Laws Pertaining to this Species

RSA 212-A:7, FIS 804.05, FIS 1401.03 (a)



**SILT FENCE**  
NOT TO SCALE



- NOTES:**
1. RAMP TO BE ON SIDE OF FENCE WHERE CONSTRUCTION ACTIVITIES OCCUR
  2. REFER TO SILT FENCE DETAIL FOR FENCE INSTALLATION.
  3. SPACE AT 75'

### SILTATION FENCE WILDLIFE RAMP

NOT TO SCALE

## SITE DEVELOPMENT PLANS

TAX MAP 14 LOT 39-2

### DETAILS

SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS  
25 NORTH WENTWORTH AVE.  
LONDONDERRY, NH 03053

OWNED BY  
PREPARED FOR  
PURPOSEENERGY-LONDONDERRY, LLC  
25 PELHAM ROAD SUITE 102, SALEM, NH 03079

SCALE: NOT TO SCALE

SEPTEMBER 8, 2025



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

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18252-02	DR	FB	-	D-17
	CK	CADFILE	18252-02 COVER & DETAILS	

## New England Cottontail

(*Sylvilagus transitionalis*)

(New Hampshire State-Endangered)



- Adults are 15-17" in length
- Brown and gray coat that does NOT change color with the seasons.
- Black spot between the ears is sometimes visible but not always present.
- Can be mistaken for non-native Eastern cottontails.

Please report sightings to NH Fish and Game at [RAARP@wildlife.nh.gov](mailto:RAARP@wildlife.nh.gov) or at 603-271-2461. Photo documentation, location, and date/time of observation is helpful.

## Northern Black Racer

(New Hampshire state threatened species)



- Solid black with a white throat and chin
- Slender with glossy scales, 3-6 ft. long
- Hatchlings are very small and patterned



Immediately report sightings to NH Fish and Game

Melissa Winters (603-479-1129) or  
Brendan Clifford (603-944-0885)

Please report promptly, noting specific location and date  
Photographs strongly encouraged



## WILDLIFE EXCLUSIONARY BARRIER GATE

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**WILDLIFE RAMP**  
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# LANDSCAPE NOTES

## SITE AND SOIL PREPARATION

- WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR LEDGE, NOTIFY LANDSCAPE ARCHITECT/ENGINEER BEFORE PLANTING.
- ALL DISTURBED AREAS & PLANTING AREAS, INCLUDING AREAS TO BE SOODED, SHALL RECEIVE THE FOLLOWING SOIL PREPARATION PRIOR TO PLANTING: A MINIMUM OF 6 INCHES OF LIGHTLY COMPACTED TOPSOIL SHALL BE INSTALLED OVER THE SUBSOIL IF TOPSOIL HAS BEEN REMOVED OR IS NOT PRESENT.
- LOAM SHALL CONSIST OF LOOSE FRABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TENDING TO RESTRICT GROWTH. LOAM SHALL BE FREE FROM STONES, LUMPS, STUMPS, OR SIMILAR OBJECTS LARGER THAN TWO INCHES (2") IN GREATEST DIAMETER, SUBSOIL ROOTS, AND WEEDS. THE MINIMUM AND MAXIMUM PH VALUE SHALL BE FROM 5.5 TO 7.0. LOAM SHALL CONTAIN A MINIMUM OF TWO PERCENT (2%) AND A MAXIMUM OF FIVE PERCENT (5%) ORGANIC MATTER AS DETERMINED BY LOSS BY IGNITION. SOIL TEXTURE SHALL BE SANDY CLAY LOAM OR SANDY LOAM WITH CLAY CONTENT BETWEEN 15 AND 25%, AND A COMBINED CLAY/SILT CONTENT OF NO MORE THAN 45%. NOT MORE THAN 20% FINE PARTICLES (NO. 200 SIEVE) AS DETERMINED BY THE WASH TEST IN ACCORDANCE WITH ASTM D1140. IN NO INSTANCE SHALL MORE THAN 20% OF THAT MATERIAL PASSING THE #4 SIEVE CONSIST OF CLAY SIZE PARTICLES.
- NATURAL TOPSOIL NOT CONFORMING TO THE PARAGRAPH ABOVE OR CONTAINING EXCESSIVE AMOUNTS OF CLAY OR SAND SHALL BE TREATED BY THE CONTRACTOR TO MEET THOSE REQUIREMENTS.
- SUBMIT TEST RESULTS OBTAINED FROM SOURCE TO ENGINEER/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL, PRIOR TO SPREADING OPERATIONS.
- APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT TO USE THE TOPSOIL WILL DEPEND UPON THE RESULTS OF THE SOIL TESTS.
- THE BURDEN OF PROOF OF SOIL AMENDMENT INSTALLATION RESTS WITH THE CONTRACTOR. SOIL TESTS MAY BE REQUIRED AT THE CONTRACTOR'S EXPENSE IN ORDER TO CONFIRM AMENDMENT INSTALLATION.

## SEEDING

- ROUGH GRADING SHALL BE COMPLETED PRIOR TO THE START OF PLANTING IN ANY GIVEN AREA OF THE PROJECT SITE.
- SEEDING SHALL BE DONE BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 15, EXCEPT FOR RESEEDING OF BARE SPOTS AND MAINTENANCE. ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVING OR AREAS THAT HAVE NOT BEEN OTHERWISE DEVELOPED SHALL BE SEEDING OR SOODED. AREAS GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. AFTER OCTOBER 15 DISTURBED SOILS SHALL BE PROTECTED IN ACCORDANCE WITH THE WINTER CONSTRUCTION NOTES.

ACCEPTABLE SEED MIXES ARE AS FOLLOWS:

**BARK SEED MIX (SHOOT TYPE 44) MIN. 135 LBS/ACRE**

33% CREEPING RED FESCUE (MIN. 45 LBS/ACRE)

42% PERENNIAL RYEGRASS (MIN. 55 LBS/ACRE)

21% KENTUCKY BLUEGRASS (MIN. 30 LBS/ACRE)

4% REDTOP (MIN. 5 LBS/ACRE)

**MODIFIED NEW ENGLAND CONSERVATION WILDLIFE MIX (MIN. 25 LBS/ACRE)\***

CONTAINS: VIRGINIA WILD RYE (ELIMUS VIRGINICUS), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), BLUE WHEATGRASS (ANDROPOGON GERARDI), PANICLELEAF RICK TRIFOLIUM (DESMODIUM PANICULATUM), BLUE VERVAIN (VERBENA HASTATA), BLACK EYED SUSAN (RUDBECKIA HIRTAE), HEATH ASTER (ASTERPOLYLOGUS/COMPTONSTRICHUM PLOSUM), EARLY GOLDENROD (SOLIDAGO JUNCEAE), UPLAND BENTGRASS (AGROSTIS PENNANSIS).

\*SEED MIX SHALL NOT CONTAIN INDIAN GRASS (SORGHASTRUM NUTANS), RED FESCUE (FESTUCA RUBRA), SWITCH GRASS (Panicum VIRGATUM), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), OR COMMON SNEEZEWEED (HELIUM AUTUNNALE).

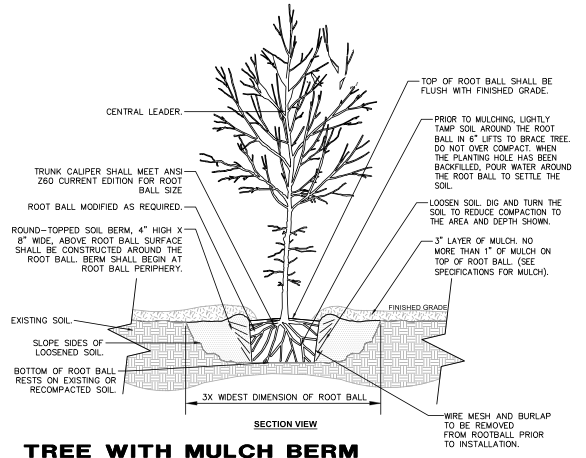
**TEMPORARY LAWN MIX (MIN. 47 LBS/ACRE)**

100% ANNUAL RYE

\*SEED MIX SHALL NOT CONTAIN INDIAN GRASS (SORGHASTRUM NUTANS), RED FESCUE (FESTUCA RUBRA), SWITCH GRASS (Panicum VIRGATUM), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), OR COMMON SNEEZEWEED (HELIUM AUTUNNALE).

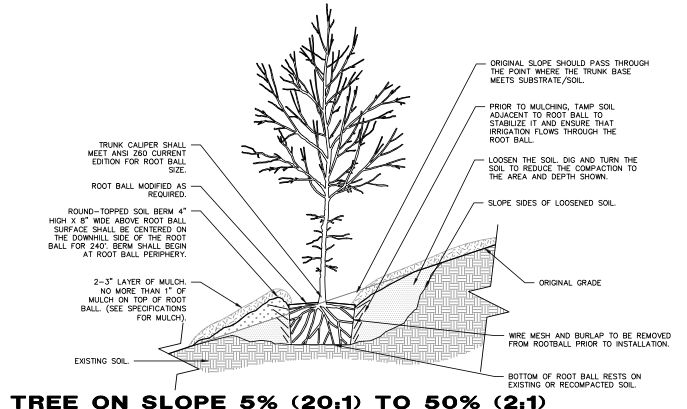
## PLANTING

- EXCAVATE PITS, PLANTERS, BEDS AND TRENCHES WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SMOOTHLY RASSED AT CENTER TO PROVIDE PROPER DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION.
- ANY LEDGE OR RUBBLE MATERIAL SHALL BE FRACTURED TO A DEPTH OF 3 FEET AND EXCAVATED TO A DEPTH OF 30 INCHES FOR TREE PROCKETS AND 18 INCHES FOR SHRUB BEDS. THIS PROCEDURE SHALL BE HANDLED BY THE SITE CONTRACTOR. SITE TOPSOIL SHALL BE DEPOSITED IN ALL EXCAVATED PROCKETS.
- DISPOSE OF SUBSOIL REMOVED FROM PLANTING EXCAVATIONS. DO NOT MIX WITH PLANTING SOIL OR USE AS BACKFILL.
- FILL EXCAVATIONS FOR TREES AND SHRUBS WITH WATER AND ALLOW TO PERCOLATE OUT BEFORE PLANTING.
- DIAM TOP OF BACKFILL TO ALLOW FOR MULCH - PLANT SAUCERS SHALL BE AS SHOWN ON DETAIL SHEETS; 6" DIAMETER FOR ALL DECIDUOUS TREES, AND FOR EVERGREEN TREES A RADIUS 2" BEYOND THE OUTER MOST BRANCHES.
- MULCH TREES, SHRUBS, PLANTERS AND BEDS. PROVIDE NOT LESS THAN 3" THICKNESS OF BARK MULCH, 3/4"-2" OF WIDTH, AND WORK INTO TOP OF BACKFILL. FINISH LEVEL WITH ADJACENT FINISH GRADES AS DIRECTED IN THE FIELD.
- TREGATOR WATERING SYSTEM OR APPROVED EQUAL SHALL BE INSTALLED FOR ALL DECIDUOUS TREES AT TIME OF PLANTING AND REMOVED BEFORE FROST. WATERING RATE TO BE APPLIED PER MANUFACTURER'S SPECIFICATIONS.
- ALL PLANT MATERIALS SHALL HAVE DEAD OR DAMAGED BRANCHES REMOVED AT TIME OF PLANTING. ALL TAGS AND IDENTIFIERS SHALL BE REMOVED AT THIS TIME.
- THE CONTRACTOR SHALL REQUEST A FINAL OBSERVATION BY THE OWNER'S REPRESENTATIVE UPON COMPLETION OF INSTALLATION.
- AVOID OR MINIMIZE THE USE OF FERTILIZERS IN UPLAND AREAS OR TRANSITION ZONES. IF FERTILIZERS ARE NECESSARY, USE ORGANIC VERSUS SYNTHETIC FERTILIZERS. SYNTHETIC OPTIONS SHOULD BE AVOIDED, HOWEVER, IF CHOSEN, THEY SHOULD BE CONTROLLED-RELEASE/SLOW-RELEASE AND AT LOW STRENGTHS.



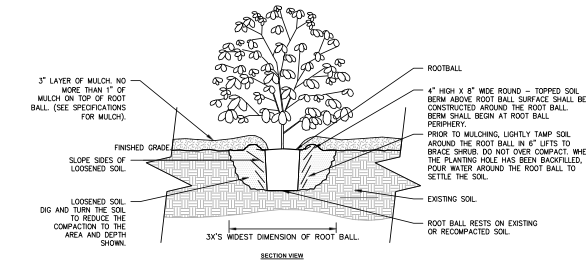
**TREE WITH MULCH BERM**

NOT TO SCALE



**TREE ON SLOPE 5% (20:1) TO 50% (2:1)**

NOT TO SCALE



**SHRUB PLANTING**

NOT TO SCALE

**SITE DEVELOPMENT PLANS**  
TAX MAP 14 LOT 39-2  
**DETAILS**  
**SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS**  
**25 NORTH WENTWORTH AVE.**  
**LONDONDERRY, NH 03053**  
OWNED BY  
**PURPOSEENERGY-LONDONDERRY, LLC**  
**25 PELHAM ROAD SUITE 102, SALEM, NH 03079**  
**SCALE: NOT TO SCALE**      **SEPTEMBER 8, 2025**

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NO.	DATE	DESCRIPTION	BY	CHK
5	12/18/2025	ADT & STAFF COMMENTS	JD	ND
4	10/24/2025	NHAG APPROVAL	JD	ND
3	11/3/2025	TOWN SEWER COMMENTS	JD	ND
2	9/23/2025	REVISED FOR INVOICES & INSET COMMENTS	JD	ND
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	ND
REV	DATE	DESCRIPTION	BY	CHK

**TFM** Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

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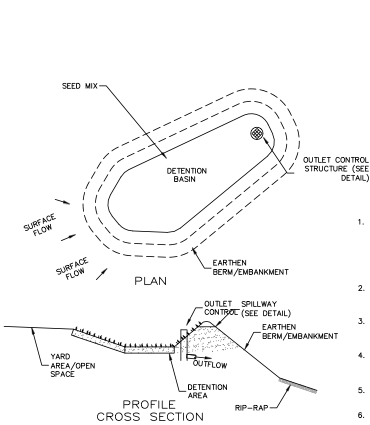
18252-02 DR FB  
CK CADPFB 18252-02 COVER & DETAILS D-18

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User: Nicholas Golon





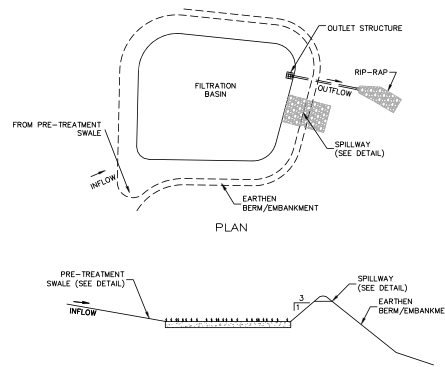
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- THE INSTALLER SHALL NOT ALLOW ANY VEHICULAR OR CONSTRUCTION EQUIPMENT TRAVEL TO OCCUR ACROSS THE PROPOSED BASIN AREA AT ANY TIME EXCEPT DURING EXCAVATION OF TOPSOIL, SUBSOIL, AND OTHER MATERIALS NOT SUITABLE FOR BED BOTTOM CONDITIONS.
- CAUTION SHOULD BE EXERCISED DURING SITE PREPARATION TO AVOID COMPACTION OF THE INFILTRATIVE SURFACE.
- SEED MIX**  
NEW ENGLAND ROADSIDE MATRIX WET MEADOW SEED MIX (MIN. 35 LBS/ACRE)
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE BASIN.
- VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.
- DO NOT PLACE SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

**DETENTION BASIN**

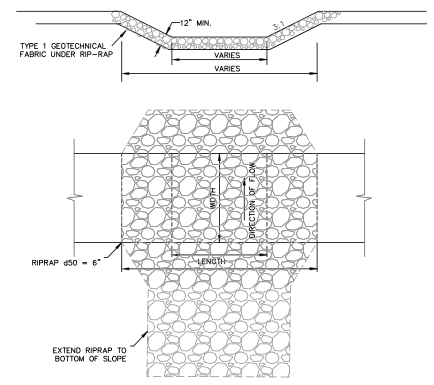
NOT TO SCALE



- FILTRATION BASIN NOTES**
- THE INSTALLER SHALL NOT ALLOW ANY VEHICULAR OR CONSTRUCTION EQUIPMENT TRAVEL TO OCCUR ACROSS THE PROPOSED BASIN AREA AT ANY TIME EXCEPT DURING EXCAVATION OF TOPSOIL, SUBSOIL AND OTHER MATERIALS NOT SUITABLE FOR BED BOTTOM CONDITIONS.
  - CAUTION SHOULD BE EXERCISED DURING SITE PREPARATION TO AVOID COMPACTION OF THE INFILTRATIVE SURFACE.
  - SEED MIX**  
NEW ENGLAND ROADSIDE MATRIX WET MEADOW SEED MIX (MIN. 35 LBS/ACRE)
  - FILTER MEDIA SOIL SAMPLE TO BE PROVIDED TO THE ENGINEER PRIOR TO PLACEMENT. ON SITE MIXING OF MANUFACTURED SOIL MAY BE ACCEPTABLE PENDING ENGINEER APPROVAL.
  - DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE BASIN.
  - AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
  - VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.
  - DO NOT PLACE FILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
  - FILTRATION MEDIA SHALL BE INSTALLED ALONG INTERIOR SIDE SLOPES TO ELEVATION EQUAL TO OUTLET STRUCTURE RIM OR WEIR ELEVATION, WHICHEVER IS LOWER.
  - FILL TO BRING EMBANKMENT AREAS TO GRADE SHALL BE EXISTING SOE MATERIALS OR IMPORTED MATERIAL CONSISTENT WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS FOR COMMON FILL (SEE NOTE 21 AND 22 ON SHEET C-02).

**FILTRATION BASIN**

NOT TO SCALE



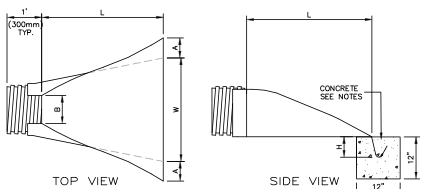
WEIR	TOP OF BASIN BERM EL.	WEIR INV.	LENGTH	WIDTH
SEDIMENT FOREBAY #1	278.0	276.40	10.4'	15.6'
SEDIMENT FOREBAY #2	280.0	278.90	21.0'	9.0'

**BROAD CRESTED WEIR**

FROM FOREBAYS NOT TO SCALE

**CONSTRUCTION SPECIFICATIONS**

- PREPARE BEDDING:**  
BACKFILL MATERIAL AROUND THE END SECTION MAY BE THE SAME AS THE MATERIAL AROUND THE PIPE. PLACE A FEW INCHES OF BACKFILL MATERIAL IN THE TRENCH OR DITCH WHERE THE END SECTION WILL BE PLACED. COMPACT AND CONTOUR THIS BEDDING MATERIAL TO GENERALLY MATCH THE END SECTION. EXCAVATE AN AREA IN THE BEDDING WHERE THE TROUGH WILL BE PLACED SO THAT THE END SECTION WILL BE LEVEL WITH THE BOTTOM OF THE TRENCH OR DITCH IN THE FINISHED INSTALLATION.
- PLACE END SECTION OF PIPE:**  
OPEN THE END SECTION COLLAR AND SEAT IT OVER THE TWO PIPE CONNECTIONS. ONCE THE END SECTION IS POSITIONED, CHECK TO MAKE SURE THAT THE INVERT OF THE END SECTION MATCHES THE INVERT OF THE PIPE AND THAT THE END SECTION IS LEVEL WITH THE TRENCH OR DITCH BOTTOM.
- SECURE THE END SECTION:**  
SLIP THE STAINLESS STEEL ROD THROUGH THE PRE-DRILLED HOLES AT THE TOP OF THE COLLAR. THE ROD SHOULD BE BETWEEN THE CROWNS OF THE TWO PIPE CONNECTIONS. PLACE A WASHER ON EITHER END OF THE ROD. PLACE A NUT ON EITHER END OF THE ROD AND TIGHTEN WITH A WRENCH.
- SECURE THE TOE TROUGH:**  
TO PREVENT WASHOUTS FROM HIGH VELOCITY FLOW, IT IS RECOMMENDED THAT THE TROUGH BE SECURED WITH CONCRETE. POOR CONCRETE IN THE TROUGH UP TO THE LEVEL OF THE TRENCH OR DITCH BOTTOM AND ALONG THE ENTIRE LENGTH OF THE TROUGH.
- FINISH BACKFILL:**  
SHOVEL BACKFILL AROUND THE END SECTION IN 6 TO 9 INCH LAYERS EQUALLY ON BOTH SIDES, KNIFING IT TO ELIMINATE VOIDS. TAMP WITH A SMALL-FACED COMPACTOR OR OTHER EQUIPMENT SUITABLE FOR SMALL AREAS. CONTINUE PLACING, KNIFING, AND COMPACTING BACKFILL LAYERS TO THE TOP OF THE END SECTION TO SEAT IT WELL INTO THE BACKFILL.



PIPE DIAMETER	PART NO.	DIMENSIONS, INCHES (mm)							
		A, #1 (25)	B MAX	H, #1 (25)	L, #1/2 (13)	W, #2 (50)			
12", 15" (300,375)	1210 NP	6.5 (165)	10 (254)	6.5 (165)	25 (635)	29 (736)			
18" (450)	1810 NP	7.5 (190)	15 (380)	6.5 (166)	32 (812)	35 (890)			
24" (600)	2410 NP	7.5 (190)	18 (450)	6.5 (165)	36 (900)	45 (1140)			
30" (750)	3010 NP	10.5 (266)	NA	7.0 (178)	53 (1346)	66 (1725)			
36" (900)	3610 NP	10.5 (266)	NA	7.0 (178)	53 (1346)	68 (1725)			

**FLARED END SECTION**

HIGH DENSITY POLYETHYLENE (HDPE)

NOT TO SCALE

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3	11/3/2023	TOWN SEWER COMMENTS	JD	NG
2	9/30/2023	REVISED FOR INF&G & INCHES COMMENTS	JD	NG
1	9/12/2023	UPDATE FOR SUBMITTAL	JD	NG

**SITE DEVELOPMENT PLANS**  
 TAX MAP 14 LOT 39-2  
**DETAILS**  
**SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS**  
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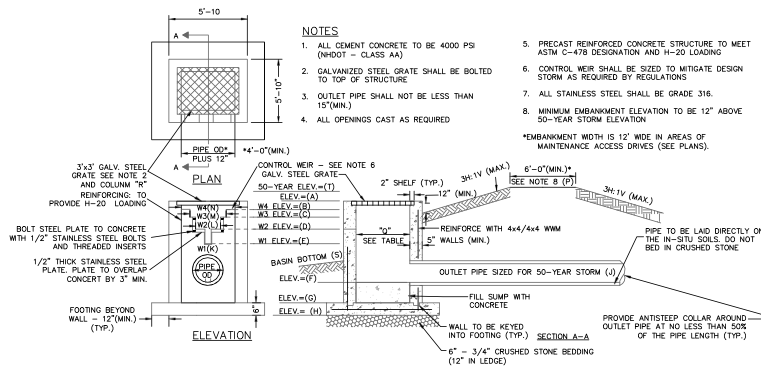
**TFM** Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

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**RIP-RAP GRADATION**

STONE SIZE	% FINER BY WEIGHT				
	D <sub>50</sub> = 6"	D <sub>50</sub> = 9"	D <sub>50</sub> = 12"	D <sub>50</sub> = 18"	D <sub>50</sub> = 24"
2"	0-15%	0%	-	-	-
4"	20-35%	10-20%	0-10%	-	-
6"	35-50%	25-35%	10-25%	0-10%	-
8"	50-65%	30-50%	20-30%	10-20%	0-10%
10"	60-80%	40-60%	30-40%	15-30%	5-15%
12"	75-100%	-	-	-	-
15"	-	70-100%	45-60%	25-40%	20-30%
20"	-	-	70-100%	40-60%	30-45%
30"	-	-	-	70-100%	50-70%
40"	-	-	-	-	70-100%

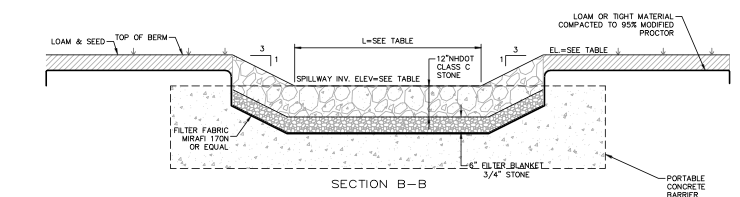
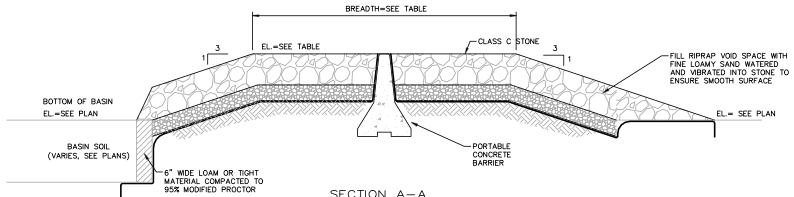
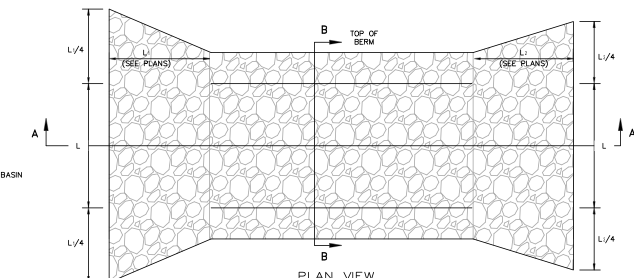


**ELEVATIONS/DIMENSIONS**

	A	B	C	D	E	F	G	H	J	K	L	M	N	P	Q	R	S	T	FREEBOARD (A-T)	
OUTLET STRUCTURE																				
FILTRATION BASIN #1	277.30	286.65	285.95	274.55	273.95	268.00	265.50	265.00	15'	1.2'	2.4'	6.0'	14.4'	276.00	4.00+4.00'	4.50+4.50'	273.00	277.00	1.00'	
FILTRATION BASIN #2	278.00	-	278.65	278.35	277.75	272.00	271.40	271.00	15'	1.2'	6.0'	30.0'	-	280.00	4.00+4.00'	4.50+4.50'	277.00	278.97	1.03'	
RETENTION BASIN #1	294.50	-	-	294.00	290.00	289.50	289.00	18'	9.0'	-	-	-	-	296.00	5.00+5.00'	5.50+5.50'	294.00	294.50	1.50'	

**OUTLET STRUCTURE AT STORMWATER BASINS**

NOT TO SCALE

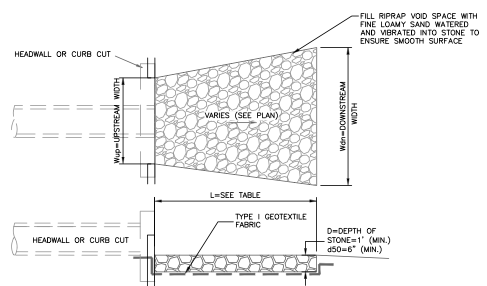


SYSTEM	TOP OF BASIN BERM EL.	SPILLWAY INV.	LENGTH (L)	BREADTH
FILTRATION BASIN #1	278.0	277.5	6'	9'
FILTRATION BASIN #2	280.0	279.5	6'	9'
DETENTION BASIN #1	296.0	295.5	3'	5'

**SPILLWAY**  
FROM BASINS

NOT TO SCALE

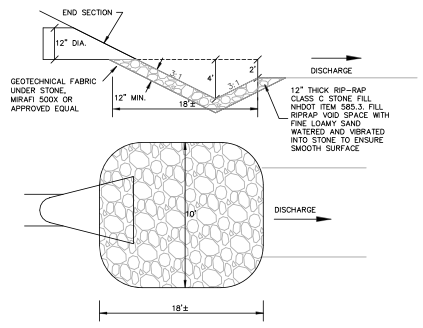
OUTLET	Do (ft.)	Q25 (cfs)	Tw (ft.)	La (ft.)	Wup (ft.)	Wdn (ft.)	d50 (in.)
Headwall1 (DMH11)	2.00	10.3	1.8	24.9	6.0	16.0	6.0
Headwall2 (CB15)	1.25	0.1	0.1	8.9	3.8	12.6	6.0
Headwall3 (OS1)	1.25	2.3	0.1	11.7	3.8	15.5	6.0
Headwall4 (OS2)	1.25	0.3	0.1	9.1	3.8	12.9	6.0
Headwall5 (DMH5)	2.50	16.9	2.0	30.3	7.5	19.6	6.0



- CONSTRUCTION SPECIFICATIONS:**
1. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP-RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
  2. THE ROCK USED FOR RIP-RAP SHALL CONFORM TO THE SPECIFIED GRADATION (050=6" (MIN)).
  3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP-RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
  4. STONE FOR THE RIP-RAP MAY BE PLACED BY A MANNEER AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

**OUTLET APRON**

NOT TO SCALE



**RIP RAP PLUNGE POOL**

NOT TO SCALE

**SITE DEVELOPMENT PLANS**  
TAX MAP 14 LOT 39-2  
**DETAILS**  
**SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS**  
**25 NORTH WENTWORTH AVE.**  
**LONDONDERRY, NH 03053**  
PREPARED FOR  
**PURPOSEENERGY-LONDONDERRY, LLC**  
**25 PELHAM ROAD SUITE 102, SALEM, NH 03079**

**SCALE: NOT TO SCALE**      **SEPTEMBER 8, 2025**

<b>TFM</b>	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists		48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfm.com	
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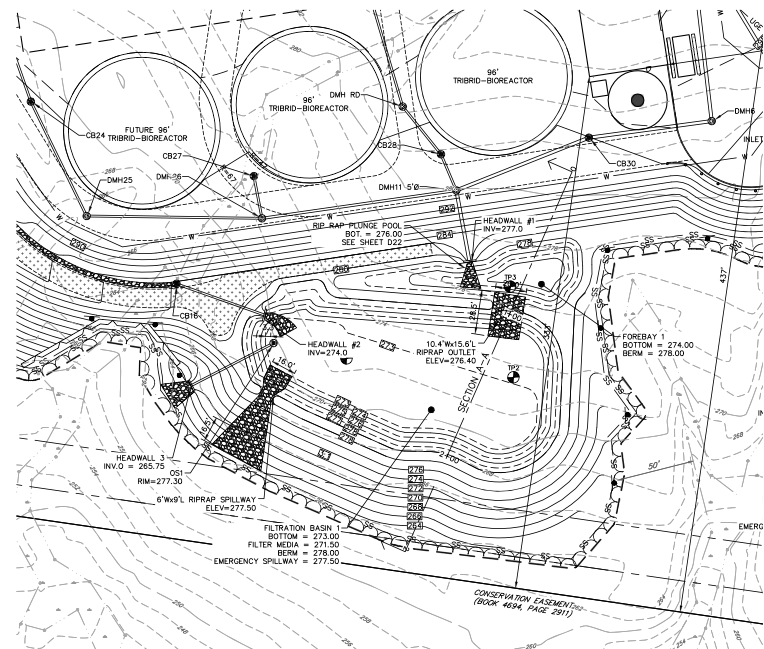
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REV	DAE	DESCRIPTION	DR	CK

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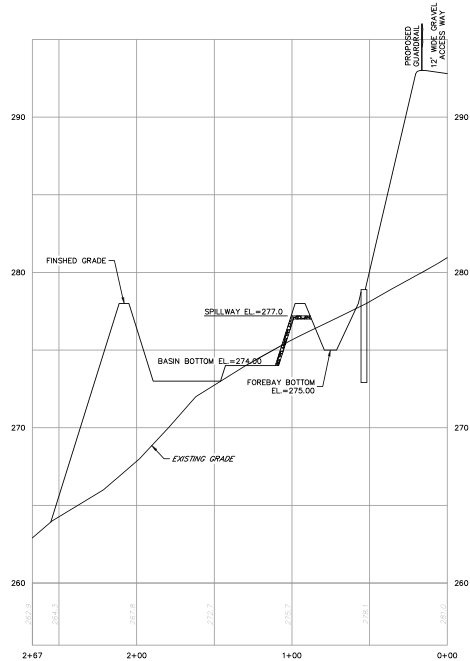
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**FILTRATION BASIN #1 PLAN VIEW**  
 SCALE: 1"=40'



**FILTRATION BASIN #1 SECTION A-A**  
 SCALE: 1"=40' H<sub>1</sub>T<sub>1</sub>"=4' V

**GRADING & DRAINAGE NOTES**

- THE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WO 1500 AS APPLICABLE.
- THE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN #NOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
- THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEER'S RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE, INCLUDING AND NOT LIMITED TO: DETERMINING METHODS, PERIMETER DRAINS AND THE INTO STORMWATER MANAGEMENT SYSTEM, ETC.
- COORDINATE WITH GEOTECHNICAL REPORT FOR SITE PREPARATION AND OTHER PERTINENT INFORMATION.
- COORDINATE WITH ELECTRICAL DESIGN PLANS FOR DETAILED DRAINING AT ELECTRICAL STRUCTURES, AND SIZE AND LOCATION OF ALL ELECTRICAL SERVICES.
- LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, RAMP, ROADS, AND ALIGNMENTS.
- THE CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND FORDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS, AND LOADING AREAS.
- THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/4" FOR A PERIOD OF MORE THAN 15 MINUTES AFTER FLOODING.
- ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
- THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/4".
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
- STORMWATER DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS. SECTION 603 CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER, AND MULCH.
- DENSITY REQUIREMENTS:
 

MINIMUM DENSITY	LOCATION
95%	BELOW PAVED OR CONCRETE AREAS
95%	TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL
90%	BELOW LOAM AND SEED AREA
90%	EMBANKMENTS/PERIMETER SLOPES ASSOCIATED WITH STORMWATER MANAGEMENT AREAS
70%	STORMWATER MANAGEMENT AREAS BASIN BOTTOMS, INCLUDING SUBGRADE
- \*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557. METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6936.
- COMMON FILL GRADATION REQUIREMENTS PER GEOTECHNICAL REPORT SPECIFICATIONS
 

SEWE SIZE	PERCENT FINER BY WEIGHT
8 INCH	100
NO. 4	25 - 70
NO.200	0 - 12 (TOTAL)
- SMALES ARE TO BE VEGETATED OR STONE LINED PRIOR TO DIRECTING RUNOFF TO THEM.

**SITE DEVELOPMENT PLANS**

TAX MAP 14 LOT 39-2  
**DETAILS**  
 SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS  
 25 NORTH WENTWORTH AVE.  
 LONDONDERRY, NH 03053  
 OWNED BY  
 PREPARED FOR  
 PURPOSEENERGY-LONDONDERRY, LLC  
 25 PELHAM ROAD SUITE 102, SALEM, NH 03079

SCALE: NOT TO SCALE SEPTEMBER 8, 2025



Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists  
 48 Constitution Drive  
 Bedford, NH 03110  
 Phone (603) 472-4488  
 Fax (603) 472-9747  
 www.tfmoran.com

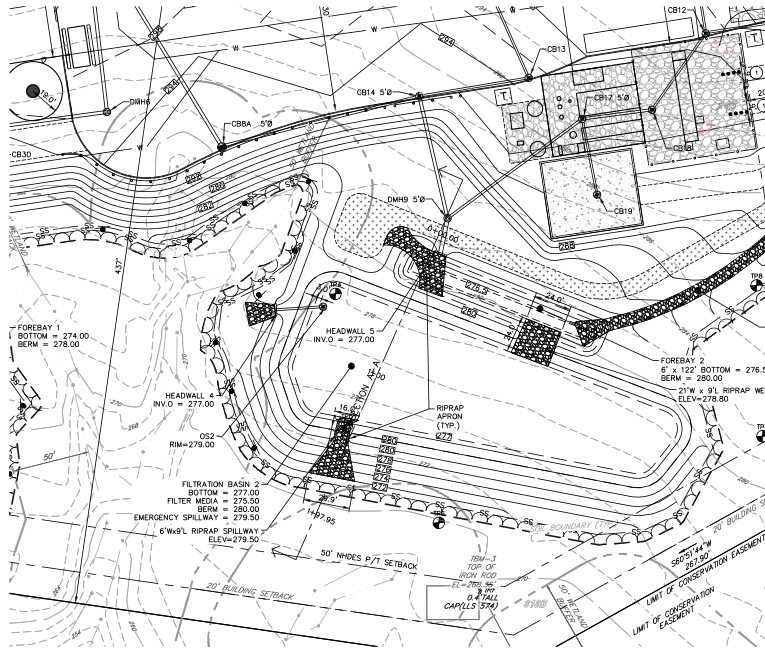


REV	DATE	DESCRIPTION	BY	CHK
5	12/18/2023	AOT & STAFF COMMENTS	JD	NG
4	10/24/2023	NHF&G APPROVAL	JD	NG
3	11/3/2023	TOWN SEWER COMMENTS	JD	NG
2	9/30/2023	REVISED FOR NHF&G & NHDES COMMENTS	JD	NG
1	9/12/2023	UPDATE FOR SUBMITTAL	JD	NG

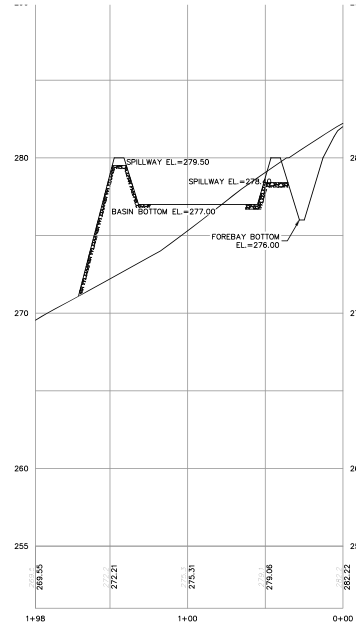
18252-02	DR	FB	-	D-23
	CK	CADPPL	18252-02 COVER & DETAILS	

**GRADING & DRAINAGE NOTES**

1. SEE NOTES ON SHEET D-23.



**FILTRATION BASIN #2 PLAN VIEW**  
SCALE: 1"=40'



**FILTRATION BASIN #2 SECTION A-A**  
SCALE: 1"=40' H/1"=4' V

**SITE DEVELOPMENT PLANS**  
 TAX MAP 14 LOT 39-2  
**DETAILS**  
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 25 PELHAM ROAD SUITE 102, SALEM, NH 03079  
**SCALE: NOT TO SCALE**      **SEPTEMBER 8, 2025**

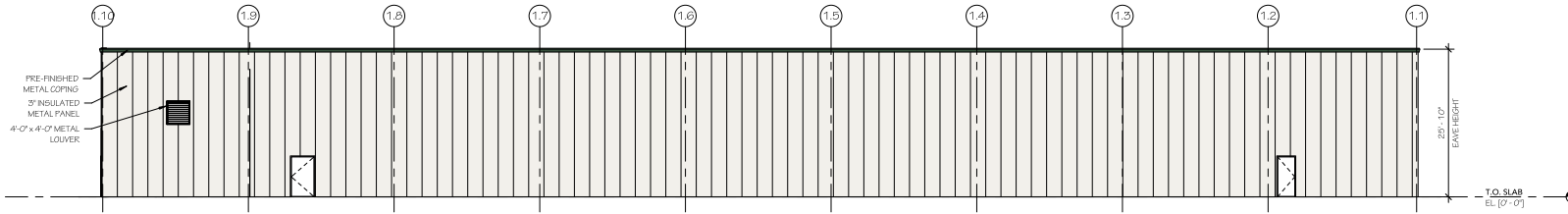
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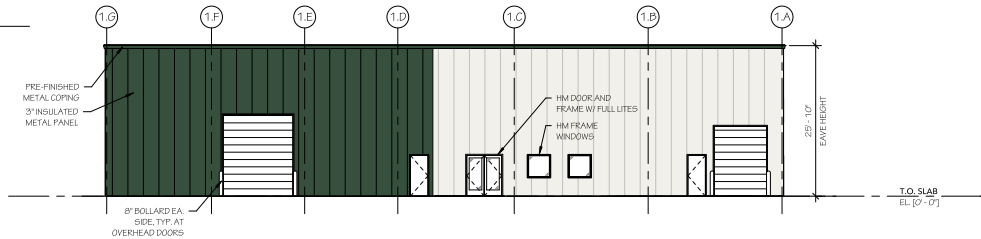
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5	12/18/2025	ADT & STAFF COMMENTS	JD	NG
4	10/24/2025	NH&G APPROVAL	JD	NG
3	11/3/2025	TOWN SEWER COMMENTS	JD	NG
2	9/30/2025	REVISED FOR NH&G & TOWN COMMENTS	JD	NG
1	9/12/2025	UPDATE FOR SUBMITTAL	JD	NG

	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists www.tfmoran.com	48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747
	18252-02	FB CADFILE 18252-02 COVER & DETAILS

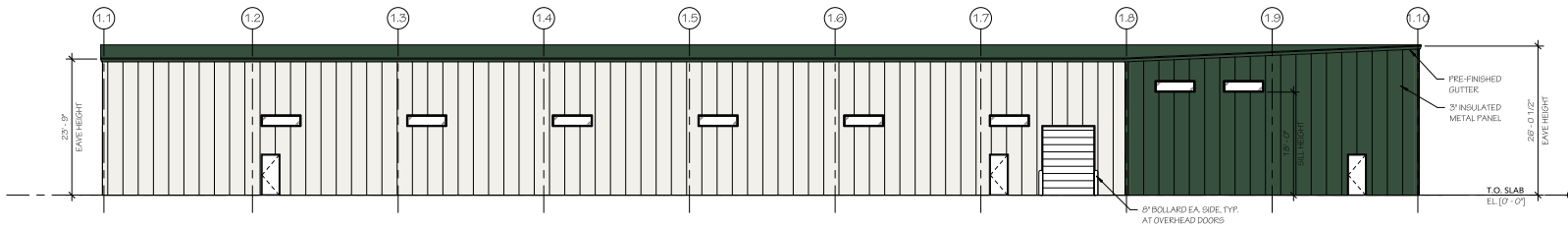




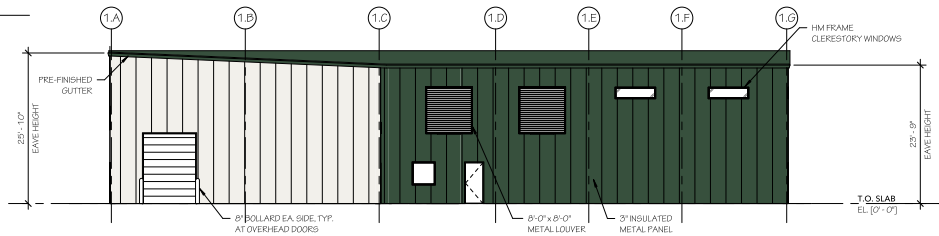
**4 NORTH ELEVATION**  
3/32" = 1'-0" PROCESS BUILDING



**3 EAST ELEVATION**  
3/32" = 1'-0" PROCESS BUILDING



**2 SOUTH ELEVATION**  
3/32" = 1'-0" DEPACK BUILDING



**1 WEST ELEVATION**  
3/32" = 1'-0" PROCESS BUILDING

REV	DATE	DESCRIPTION	DR	CK
1	12/09/25	REVISION #1	JG	MJ

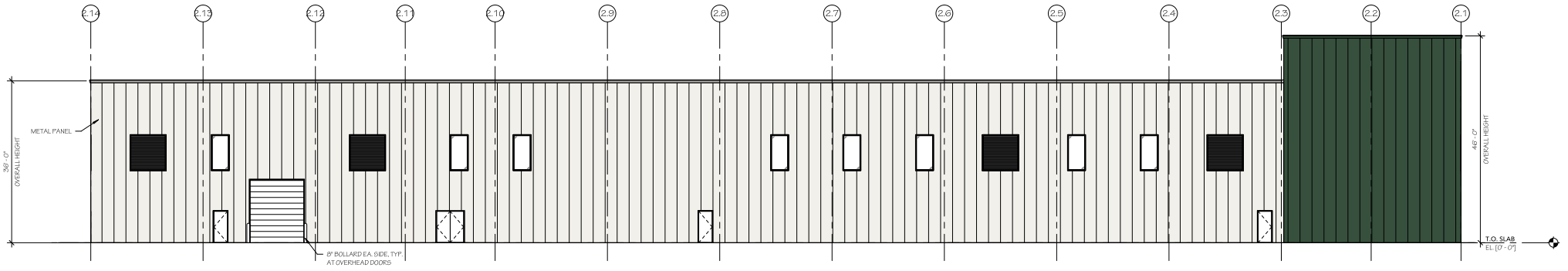
**SITE DEVELOPMENT PLANS**  
TAX MAP 14 LOT 39-1  
BUILDING ELEVATIONS  
**SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS**  
25 NORTH WENTWORTH AVE.  
LONDONDERRY, NH 03053  
OWNED BY  
PREPARED FOR  
**PURPOSE ENERGY-LONDONDERRY, LLC**  
25 PELHAM ROAD SUITE 102, SALEM, NH 03079  
3/32" = 1'-0" SEPTEMBER 8, 2025

 285 SOUTH OHIO STREET  
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MINSTER, OHIO 45865  
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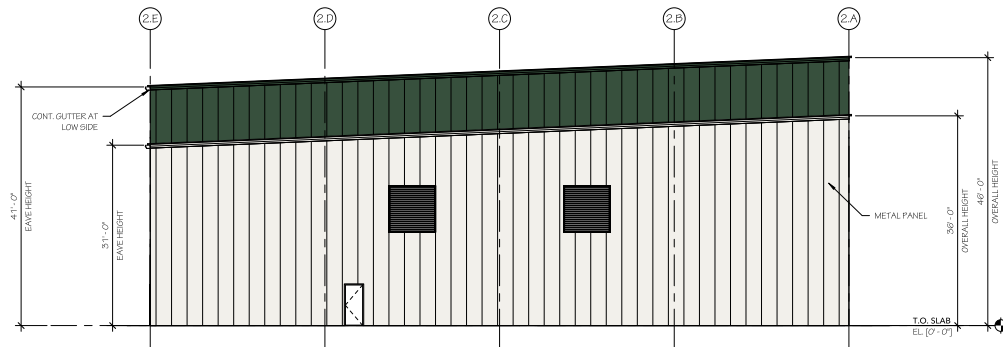
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CK	MJ	DATE	12/08/2025

**A-1**

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**2 NORTH ELEVATION**  
 3/32" = 1'-0" DEPACK BUILDING



**1 EAST ELEVATION**  
 3/32" = 1'-0" DEPACK BUILDING

**SITE DEVELOPMENT PLANS**

TAXMAP 14 LOT 39-1  
 BUILDING ELEVATIONS

**SOUTHERN NEW HAMPSHIRE GREEN ENERGY CAMPUS**  
 25 NORTH WENTWORTH AVE.  
 LONDONDERRY, NH 03053

OWNED BY:  
 PREPARED FOR:  
**PURPOSEENERGY-LONDONDERRY, LLC**  
 25 PELHAM ROAD SUITE 102, SALEM, NH 03079

3/32" = 1'-0" SEPTEMBER 8, 2025

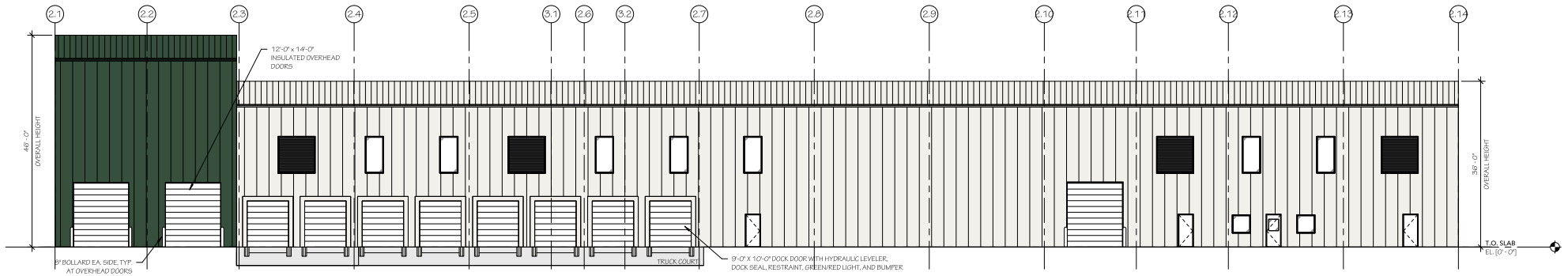
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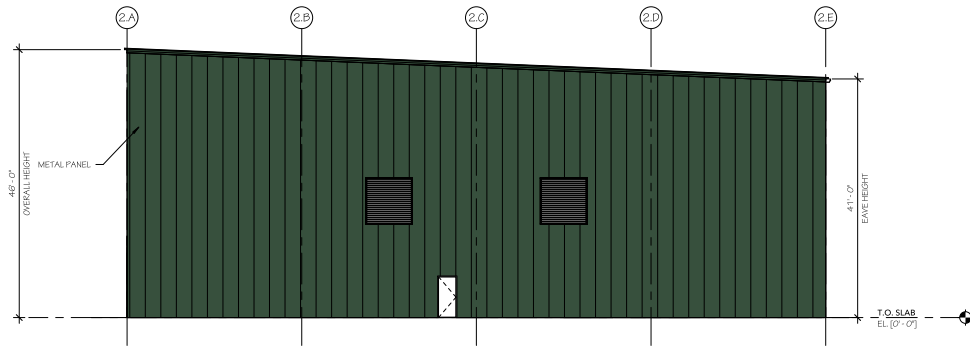
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	CK	MJ	DATE	12/08/2025					

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**4 SOUTH ELEVATION**  
3/32" = 1'-0" DEPACK BUILDING



**3 WEST ELEVATION**  
3/32" = 1'-0" DEPACK BUILDING

**SITE DEVELOPMENT PLANS**  
TAXMAP 14 LOT 39-1  
BUILDING ELEVATIONS  
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DR	JG	SCALE	3/32" = 1'-0"	<b>A-3</b>
CK	MA	DATE	12/08/2025	

REV	DATE	DESCRIPTION	DR	CK
1	12/09/25	REVISION #1	JG	MA

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