

**Shaun Mulholland**  
Town Manager

**Kellie Caron**  
Deputy Town Manager



**Town Council**  
Ron Dunn, Chair  
Shawn Faber, Vice-Chair  
Ted Combes  
Dan Bouchard  
Deb Paul

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**Town of Londonderry • 268B Mammoth Road • Londonderry, NH 03053**

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**Londonderry Town Council Meeting**  
**Monday, January 19, 2026, 7 p.m., Moose Hill Council Chambers**

**A. CALL TO ORDER**

**B. PUBLIC COMMENT**

**C. BOARD APPOINTMENTS & REAPPOINTMENTS**

1. None

**D. PUBLIC HEARINGS**

1. **Receive public input, discuss and act upon the proposed Bond for the Reverend Morrison Meeting House Renovation.**
  - a. Presentation:
  - b. Opening of the Public Hearing
  - c. Questions & Comments by the Public
    - o Residents who are unable to attend the public hearing may submit written comments to the Town Council by email using the link: [SUBMIT PUBLIC COMMENT ONLINE](#)
  - d. Closing of the Public Hearing
  - e. Council Deliberation & Action

[ADDITIONAL DOCUMENTS AVAILABLE ONLINE](#)

Documents:

[2026-01-19 MORRISON HOUSE COVER SHEET.PDF](#)  
[MORRISON HOUSE OPTION 1 - DEMO BUDGET SUMMARY - 12-15-25.PDF](#)  
[MORRISON HOUSE OPTION 2 - REBUILD BUDGET - 12-15-25.PDF](#)  
[MORRISON HOUSE SCHEMATIC SET 12-03-25.PDF](#)  
[2024-09-23 REVEREND WILLIAM MORRISON MEETING HOUSE \(FULL PRESENTATION\).PDF](#)  
[2024-09-23 TC MINUTES FOR REPORT PRESENTATION WITH LINK TO VIEWING.PDF](#)

2. **Final public hearing and adoption of fiscal year 2027 budget and final vote on Warrant (RSA 40:13 II-a (c) requires a public hearing by the 3rd Tuesday in Jan)**

- a. Presentation: *Justin Campo, Finance Director*
- b. Opening of the Public Hearing
- c. Questions & Comments by the Public
  - o Residents who are unable to attend the public hearing may submit written comments to the Town Council by email using the link: [SUBMIT PUBLIC COMMENT ONLINE](#)
- d. Closing of the Public Hearing
- e. Council Deliberation & Action

[ADDITIONAL FY 2027 DOCUMENTS AVAILABLE ONLINE](#)

Documents:

[FY2027 REVISED TOWN BUDGET OVERVIEW PRESENTATION 120425.PDF](#)  
[2025-10-21 SCHOOL DISTRICT ADMINISTRATIVE OFFICE PROJECT UPDATE.PDF](#)  
[FY 2027 WARRANT - DRAFT - UPDATED 01.16.26 - 1906.PDF](#)  
[2026-01-16 ESTIMATED TAX RATE CALCULATION FY 2027.PDF](#)

**3. Receive public input, discuss and act upon a proposed ambulance billing rate adjustment.**

- a. Presentation: *Phil LeBlanc, Deputy Fire Chief*
- b. Opening of the Public Hearing
- c. Questions & Comments by the Public
  - o Residents who are unable to attend the public hearing may submit written comments to the Town Council by email using the link: [SUBMIT PUBLIC COMMENT ONLINE](#)
- d. Closing of the Public Hearing
- e. Council Deliberation & Action

Documents:

[2026-01-19 AMBULANCE BILLING RATE ADJUSTMENT COVER SHEET.PDF](#)  
[2026-01-19 T6CH15 AMBULANCE FEE SCHEDULE REVISED 2026.PDF](#)  
[2026-01-19 T6CH15 AMBULANCE FEE SCHEDULE CURRENT.PDF](#)  
[2026-01-19 AMBULANCE BILLING RATE FAQ FROM NH DOI.PDF](#)  
[ORDINANCE 2026-08 AMENDING TITLE IV CHAPTER XXV AMBULANCE FEE SCHEDULE.PDF](#)

**4. Receive public input, discuss and act upon a Zoning Ordinance Amendment – Rezoning Map 16, Lot 009.**

- a. Presentation: *Kellie Caron, Deputy Town Manager, Director of Economic Development*
- b. Opening of the Public Hearing
- c. Questions & Comments by the Public
  - o Residents who are unable to attend the public hearing may submit written comments to the Town Council by email using the link: [SUBMIT PUBLIC COMMENT ONLINE](#)
- d. Closing of the Public Hearing
- e. Council Deliberation & Action

Documents:

[2026-01-19 AGENDA ITEM COVER SHEET\\_REZONINGM16L009.PDF](#)  
[REZONING23WILSON\\_STAFF MEMO\\_011226\\_TC.PDF](#)  
[NOD 11.5.2025 23 WILSON ROAD REZONING.PDF](#)  
[ORDINANCE 2026-02 - M16L009 REZONING.PDF](#)

**5. Receive public input, discuss and act upon a proposed amendment to the Purchasing Policy.**

- a. Presentation: *Vice Chair Shawn Faber*
- b. Opening of the Public Hearing
- c. Questions & Comments by the Public
  - o Residents who are unable to attend the public hearing may submit written comments to the Town Council by email using the link: [SUBMIT PUBLIC COMMENT ONLINE](#)
- d. Closing of the Public Hearing
- e. Council Deliberation & Action

Documents:

[202-01-05 AGENDA ITEM COVER SHEET.PDF](#)  
[PURCHASING POLICY REVISED.PDF](#)

**E. NEW BUSINESS**

**1. Receive quarterly budget status update.**

*(Justin Campo, Finance Director)*

Documents:

[2026-01.19 - MEMO FISCAL YEAR 2026 QUARTER 2 UPDATE.PDF](#)

**F. OLD BUSINESS**

**1. None**

**G. APPROVAL OF CONSENT ITEMS**

**1. Town Council meeting minutes from January 5, 2026**

Documents:

[TC-MINUTES-2026-01-05.PDF](#)

**2. Town Council meeting minutes from January 12,2025**

Documents:

[TC-MINUTES-2026-01-12.PDF](#)

**3. Proposal for Sewer Flow Monitoring**

Documents:

[2026 01-09 FLOW SEWER SYSTEM FLOW MONITORING.PDF](#)

**4. Supplemental Warrant**

Documents:

[2026-01-12 SUPPLEMENTAL WARRANT.PDF](#)

**H. OTHER BUSINESS**

1. Liaison Reports
2. Town Manager Report
3. Deputy Town Manager Report

**I. PUBLIC COMMENT**

**J. ADJOURNMENT**

**K. MEETING SCHEDULE**

**1. Proposed Future Agenda Items: Dates may be tentative, and this list is not considered all-inclusive**

**a. February 2, 2026; Moose Hill Council Chambers; 7 p.m.**

- Discuss and act upon the Londonderry Historical Society's request of Potter House wood and Lions Club beams.
- Discuss alternate funding mechanisms for infrastructure
- Discuss and determine next steps regarding the selection of Legal Counsel for the Town

**b. February 7, 2026; Londonderry High School Cafeteria; 9 a.m. – Deliberative Session**

**c. February 17, 2026; Moose Hill Council Chambers; 7 p.m.**

- Discuss and schedule a public hearing for March 2, 2026 regarding an amendment to the Municipal Code rescinding Title IV, Chapter X Emergency Management Plan

Please be advised that the Town Council agenda for this meeting has been amended as follows:

**D. PUBLIC HEARINGS**

2. Final public hearing and adoption of fiscal year 2027 budget and final vote on Warrant - *Included updated draft Warrant and Estimated Tax Rate Calculation*

**G. APPROVAL OF CONSENT ITEMS**

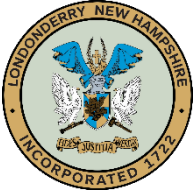
1. Added the January 5 Town Council meeting minutes
2. Added the January 12 Town Council meeting minutes

*In addition to the items listed on the agenda the Town Council may consider other matters not on the posted agenda and may enter a*



*non-public session or convene in a non-meeting in accordance with RSA 91-A if the need arises.*

*View the most recent  
Town Council agenda online.*



**Town of Londonderry, New Hampshire**  
**268B Mammoth Road • Londonderry, NH 03053**  
**(603) 432-1100 • londonderrynh.gov**

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**Town Council Meeting – Agenda Item Coversheet**

**Meeting Date:** 1/19/2026  
**Submitted By:** TM Shaun Mulholland  
**Department:** Town Manager

**Contact Information:** Email or Telephone  
**Estimated Discussion Time:** 20 Minutes  
**Agenda Item Number:** TC OFFICE USE

**Agenda Item Title:** Presentation and receive public input for the renovation of the Reverend Morrison Meeting House commonly referred to as the Lions Hall.

**Background and Purpose:** On September 15, 2025 at the request of members of the Lions Club the Town Council directed the Town Manager to develop cost estimates for the renovation of the building located at 256 Mammoth Rd. commonly referred to as the Lions Hall. The goal was to bring a warrant article before the voters for the renovation of the building.

The Reverend Morrison Meeting House was constructed in the 1700's. The building was moved to this location from another location in Town sometime in the mid-1800's. Repairs and upgrades were made to the building in 1910 and 1929. The building served as the Town Hall for many years. The Town moved the Town Hall out of the building in 1968. The building remained empty until the 1970's at which time it was leased to the Lions Club. According to the documents in the file the building has undergone renovations since the Lions Club leased the building. The lease to the Lions Club for the building has been amended several times including 1988, 1993, 2014 and 2019. The lease expired on 4/1/2024. The building has been unoccupied for several years now due to its condition.

Several studies have been commissioned recently regarding the building. Weston & Sampson engineering developed an existing conditions report with redevelopment options in October of 2022. Weston & Sampson provided the Town Council with a presentation in October of 2023 with several redevelopment opportunities for the building and site. ARCOVE Architects produced a Historic Building Conditions Assessment on May 31, 2025. The ARCOVE report also included a structural analysis from Structures North Consulting Engineers. APS Environmental Group conducted mold testing in the building in August of 2025 which showed the presence of different types of mold likely caused from water infiltration from the roof leaks. The building is presently posted by the Health Officer due to the health risks of mold. In December of 2025 an assessment of the septic system was conducted. The septic tank was pumped out, and a high-level assessment of the leach field was conducted indicating that the system was functioning. It was discovered that no septic design was provided to NH DES nor was there a permit issued by the Town for the septic system and leach field.

The Town Council created the Reverend Morrison Meetinghouse Study Committee in July of 2024. The committee charge directed the committee to provide the Town Council with a report and recommendations by October 1, 2024. The last set of minutes for this committee that I was able to locate was for the November 21, 2024 meeting. I was able to locate a power point presentation that was presented to the Town Council on September 23, 2024 presumably from the committee.


ReArch Construction provided cost estimates for the renovation of the building on December 15, 2025 at the request of the Town Manager. The estimated cost of the renovations if work began in June of 2026 is \$3,380,551. The renovation would result in the building being compliant with the building and energy codes. The work would also result in the building being ADA compliant on the first floor only and a fire suppression system to meet life safety code requirements. The second floor would not be ADA accessible and not completely renovated.

ReArch Construction also provided an estimated cost for the demolition of the building at \$584,359.

**Action:** Receive presentation and receive public input during the public hearing. A warrant article for a 20-year bond in the amount of \$3,381,000 has been prepared for its consideration. Action by the Town Council to move this warrant article to the ballot if it so chooses. And, to make a recommendation to the voters to approve this warrant article.

**Proposed Motion:** *MOVED, that the Londonderry Town Council hereby moves Article 4 regarding the Reverend Morrison Meeting House bond in the amount of \$3,381,000 to the ballot of the 2026 Annual Town Meeting for consideration by the voters.*

**Attachments:** [Lions Hall | Londonderry, NH](#)

12/15/2025	Reverend Morrison Meeting House, Londonderry NH			
Estimate Name	Schematic Budget - Option 1 - Abate and Demolish the Entire Structure			
	Main Floor Area - 4,177 sf	4,177	sf	
	Second Floor Area - Non ADA Accessible - 1,224 sf	1,224	sf	
	Total SF Area =		5,401	sf


Div/Trd #	Description	Quantity	Unit	Div. Total
Div-01a	PRECONSTRUCTION SERVICES:	5.28	/sf	\$ 28,520
Div-01a	DESIGN AND ENGINEERING SERVICES:	3.24	/sf	\$ 17,500
Div-01b	GENERAL CONDITIONS:	24.66	/sf	\$ 133,202
Div-01c	GENERAL REQUIREMENTS:	4.93	/sf	\$ 26,652
Div-02	DEMOLITION / ABATEMENT:	38.40	/sf	\$ 207,424
Div-03	CONCRETE WORK:	0.00	/sf	N/A - No Scope
Div-04	MASONRY WORK:	0.00	/sf	N/A - No Scope
Div-05	STRUCTURAL & MISCELLANEOUS STEEL:	0.00	/sf	N/A - No Scope
Div-06a	ROUGH CARPENTRY & FRAMING:	0.00	/sf	N/A - No Scope
Div-06b	FINISH CARPENTRY:	0.00	/sf	N/A - No Scope
Div -07a	WATERPROOFING & DAMPPROOFING:	0.00	/sf	N/A - No Scope
Div -07b	INSULATION & VAPOR BARRIERS:	0.00	/sf	N/A - No Scope
Div -07c	ROOFING & SIDING SYSTEMS:	0.00	/sf	N/A - No Scope
Div -07d	CAULKING & SEALANTS:	0.00	/sf	N/A - No Scope
Div-08a	FRAMES, DOORS & HARDWARE:	0.00	/sf	N/A - No Scope
Div-08d	WINDOWS:	0.00	/sf	N/A - No Scope
Div-09a	GYPSUM WALLBOARD ASSEMBLIES:	0.00	/sf	N/A - No Scope
Div-09b	CEILINGS:	0.00	/sf	N/A - No Scope
Div-09c	HARD TILE & RESILIENT FLOORING:	0.00	/sf	N/A - No Scope
Div-09d	PAINTING & FINISHING:	0.00	/sf	N/A - No Scope
Div-10	SPECIALTIES:	0.00	/sf	N/A - No Scope
Div-13	SPECIAL CONSTRUCTION:	0.00	/sf	N/A - No Scope
Div-14	CONVEYING SYSTEMS:	0.00	/sf	N/A - No Scope
Div-21	FIRE SUPPRESSION SYSTEMS:	0.00	/sf	N/A - No Scope
Div-22	PLUMBING SYSTEMS:	0.37	/sf	\$ 2,000
Div-23	HVAC SYSTEMS:	0.37	/sf	\$ 2,000
Div-26/27/28	ELECTRICAL:	2.14	/sf	\$ 11,551
Div-31/32/33	EARTHWORK:	11.08	/sf	\$ 59,821
Div-32	EXTERIOR IMPROVEMENTS:	1.16	/sf	\$ 6,266
	<b>Sub Total</b>			<b>\$ 494,935</b>
	<b>General Liability</b>	<b>0.6%</b>		<b>\$ 2,970</b>
	<b>CM Fee</b>	<b>5.5%</b>		<b>\$ 27,385</b>
	<b>Bond</b>	<b>0.96%</b>		<b>\$ 5,043</b>
	<b>CM Contingency</b>	<b>7.5%</b>		<b>\$ 39,775</b>
	<b>Total Construction Cost Budget based on December 2025 dollars</b>			<b>\$ 570,107</b>
	Constrcution Escalation - 6 Months Escalation for June 2026 Start	2.5%		\$ 14,253
	<b>Total Construction Cost Estimate based upon Starting June 2026</b>			<b>\$ 584,359</b>

**Schematic Budget - Option 1 - Abate and Demolish the Entire Structure**

#	Included Allowances	Total Allowance
1	Asbestos, Lead Paint and PCB's Abatement - Scope is currently unknown & includes 2 weeks for TBD removal	\$ 35,107
2	Allowance for the landscape seeding of disturbed areas	\$ 6,266

**Schematic Budget - Option 1 - Abate and Demolish the Entire Structure**

#	Qualifications / Assumptions	
1	Estimate is based upon a (3) Month Continuous Construction duration.	
2	Schedule include (2) weeks for "Currently" unknown abatement removal scope. We reevaluate after inspection.	
3	Excludes Permit Fees. Assumes by Owner	
4	Assumes existing asphalt remains as is and no repair scope has been included.	
5	Excludes the modification and or repairs to the existing separate structure within the site.	
6	Assumes leaving the existing septic system / leaching field in place	
7	Assumes leaving the existing well in place. Does not include removal.	
8	This includes minor fill to level the building site after structural removal. Will loam seed for stabilization.	

12/15/2025	Reverend Morrison Meeting House, Londonderry NH			
Estimate Name	Schematic Budget - Option 2 - Abate and ReBuild			
	Main Floor Area - 4,177 sf	4,177	sf	
	Second Floor Area - Non ADA Accessible - 1,224 sf	1,224	sf	
	Total SF Area =		5,401	sf

Div/Trd #	Description	Quantity	Unit	Div. Total
Div-01a	PRECONSTRUCTION SERVICES:	7.89	/sf	\$ 42,601
Div-01a	DESIGN AND ENGINEERING SERVICES:	18.05	/sf	\$ 97,500
Div-01b	GENERAL CONDITIONS:	73.99	/sf	\$ 399,606
Div-01c	GENERAL REQUIREMENTS:	15.92	/sf	\$ 85,995
Div-02	DEMOLITION / ABATEMENT:	30.51	/sf	\$ 164,782
Div-03	CONCRETE WORK:	18.85	/sf	\$ 101,789
Div-04	MASONRY WORK:	13.65	/sf	\$ 73,740
Div-05	STRUCTURAL & MISCELLANEOUS STEEL:	3.15	/sf	\$ 17,000
Div-06a	ROUGH CARPENTRY & FRAMING:	44.79	/sf	\$ 241,900
Div-06b	FINISH CARPENTRY:	13.34	/sf	\$ 72,048
Div -07a	WATERPROOFING & DAMPPROOFING:	0.00	/sf	N/A - No Scope
Div -07b	INSULATION & VAPOR BARRIERS:	15.79	/sf	\$ 85,307
Div -07c	ROOFING & SIDING SYSTEMS:	9.94	/sf	\$ 53,700
Div -07d	CAULKING & SEALANTS:	0.70	/sf	\$ 3,781
Div-08a	FRAMES, DOORS & HARDWARE:	7.01	/sf	\$ 37,845
Div-08d	WINDOWS:	0.89	/sf	\$ 4,800
Div-08g	GLAZING:	0.22	/sf	\$ 1,170
Div-08h	LOUVERS & VENTS:	1.10	/sf	\$ 5,941
Div-09a	GYPSUM WALLBOARD ASSEMBLIES:	17.06	/sf	\$ 92,144
Div-09b	ACT CEILINGS:	8.14	/sf	\$ 43,938
Div-09c	HARD TILE & RESILIENT FLOORING:	8.16	/sf	\$ 44,086
Div-09d	PAINTING & FINISHING:	4.83	/sf	\$ 26,104
Div-10	SPECIALTIES:	4.00	/sf	\$ 21,580
Div-11	EQUIPMENT:	1.18	/sf	\$ 6,360
Div-12	FURNISHINGS:	0.00	/sf	N/A - No Scope
Div-14	CONVEYING SYSTEMS:	0.00	/sf	N/A - No Scope
Div-21	FIRE SUPPRESSION SYSTEMS:	8.38	/sf	\$ 45,256
Div-22	PLUMBING SYSTEMS:	36.33	/sf	\$ 196,233
Div-23	HVAC SYSTEMS:	67.70	/sf	\$ 365,664
Div-26/27/28	ELECTRICAL:	50.72	/sf	\$ 273,946
Div-31/32/33	EARTHWORK:	11.77	/sf	\$ 63,544
Div-31b	REMOVAL OF UNSUITABLE or CONTAMINATED SOILS:	0.00	/sf	N/A - No Scope
Div-32	EXTERIOR IMPROVEMENTS:	2.64	/sf	\$ 14,266
Div-33	UTILITIES: WATER, SEPTIC, GAS	33.44	/sf	\$ 180,600
	<b>Sub Total</b>			\$ <b>2,863,224</b>
	General Liability	0.6%		\$ 17,179
	CM Fee	5.5%		\$ 158,422
	Bond	1.0%		\$ 29,173
	CM Contingency	7.5%		\$ 230,100
	<b>Total Construction Cost Budget based on December 2025 dollars</b>			\$ <b>3,298,099</b>
	Construction Escalation - 6 Months Escalation for June 2026 Start	2.5%		\$ 82,452
	<b>Total Construction Cost Estimate based upon Starting June 2026</b>			\$ <b>3,380,551</b>

Schematic Budget - Option 2 - Abate and ReBuild

#	Included Allowances	Total Allowance
1	Asbestos, Lead Paint and PCB's Abatement - Scope is currently unknown & includes 2 weeks for TBD removal	\$ 35,107
2	Allowance for the "TBD" foundation repairs	\$ 5,000
3	Allowance for the "TBD" siding, trim and soffit repairs	\$ 15,000
4	Allowance for the "TBD" roofing, roof flashings, gutter repairs	\$ 15,000
5	Allowance for the flooring types (various sf / sy allowances included)	\$ 44,086
6	Allowance for the furnishing and installation of the Kitchen Appliances	\$ 6,500
7	Allowance for the landscape plantings and seeding	\$ 14,266
8	Allowance for the "TBD" existing septic system repairs and or replacement	\$ 120,000

Schematic Budget - Option 2 - Abate and ReBuild

	Qualifications / Assumptions	
1	Estimate is based upon a (8) Month Continuous Construction duration.	
2	Schedule include (2) weeks for "Currently" unknown abatement removal scope. We reevaluate after inspection.	
3	Excludes Permit Fees. Assumes by Owner	
4	Assumes existing asphalt remains as is and no repair scope has been included.	
5	Excludes the modification and or repairs to the existing separate structure within the site.	
6	Excludes water pumps or filters. Assumes adequate pressure is in the street. No flow test data has been issued.	
7	Includes the installation of an Architect requested "Tin Like" ceiling system. Excludes restoration of hidden ceiling. The existing ceiling condition is unknown at this time.	
8	The existing MOLD treatment cannot be fully known and verified until full exposure is done and inspected. This unknown may have ultimately schedule and associated costs impacts.	



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**REARCH CONSTRUCTION**  
325 CORPORATE DRIVE  
PORTSMOUTH, NH 03801  
802.863.8727

# Morrison Meeting House

256 MAMMOTH RD  
LONDONDERRY, NH, 03053

PRICING SET - NOT FOR CONSTRUCTION

**DECEMBER 03, 2025**  
DESIGN DEVELOPMENT  
PROJECT NO: 1041

GENERAL ABBREVIATIONS	
#	POUND OR NUMBER
&	AND
<	ANGLE
@	AT
CL	CENTERLINE
ACAS	ACCESSIBLE AISLE
ACOUS	ACOUSTICAL
ACSP	ACCESSIBLE SPACE
ACT	ACOUSTICAL CEILING TILE
ADJ	ADJUSTABLE
ADJC	ADJACENT
AFF	ABOVE FINISH FLOOR
AGGR	AGGREGATE
ALUM	ALUMINUM
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
ASPH	ASPHALT
AUD	AUDITORIUM
BD	BOARD
BITUM	BITUMINOUS
BLD	BOLLARD
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BM	BEAM
BOD	BOTTOM OF ROOF DECK
BOT	BOTTOM
CAB	CABINET
CB	CATCH BASIN
CEM	CEMENT
CER	CERAMIC
CI	CAST IRON
CJ	CONTROL JOINT
CLAD	CLADDING
CLG	CEILING
CLO	CLOSET
CLR	CLEAR
CO	CASED OPENING
COL	COLUMN
COMP	COMPRESSIBLE
CONC	CONCRETE
CONN	CONNECTION
CONSTR	CONSTRUCTION
CONT	CONTINUOUS
CORR	CORRIDOR
CPT	CARPET
CT	CERAMIC TILE
CTR	CENTER
CTSK	COUNTERSUNK
DBL	DOUBLE
DEPT	DEPARTMENT
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIM	DIMENSION
DISP	DISPENSER
DN	DOWN
DO	DOOR OPENING
DR	DOOR
DS	DOWNSPOUT
DSP	DRY STANDPIPE
DWG	DRAWING
DWR	DRAWER
E	EAST
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EMER	EMERGENCY
ENCL	ENCLOSURE
EP	ELECTRICAL PANELBOARD
EQ	EQUAL
EQPM	EQUIPMENT
ESB	EXTERIOR SOFFIT BOARD
EW	ELECTRIC WATER COOLER
EXP	EXPANSION
EXPO	EXPOSED
EXST	EXISTING
EXT	EXTERIOR
FA	FIRE ALARM
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FDN	FOUNDATION

GENERAL ABBREVIATIONS	
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISH FLOOR
FHC	FIRE HOSE CABINET
FIN	FINISH
FL	FLOOR
FLSH	FLASHING
FLUOR	FLUORESCENT
FM	FLOOR MAT
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOS	FACE OF STUD
FR	FIRE RATED
FRP	FIBERGLASS REINFORCED
FRPF	FIREPROOF
FRT	FIRE RETARDANT TREATED
FS	FULL SIZE
FT	FOOT OR FEET
FTG	FOOTING
FUR	FURRING
FUT	FUTURE
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GL	GLASS
GL BLK	GLASS BLOCK
GND	GROUND
GR	GRADE
GRT	GRATE
GWB	GYP SUM WALL BOARD
GYP	GYP SUM
HB	HOSE BIB
HC	HOLLOW CORE
HDCP	HANDICAPPED
HDWD	HARDWOOD
HDWE	HARDWARE
HGT	HEIGHT
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
ID	INSIDE DIAMETER
INSUL	INSULATION
INT	INTERIOR
JAN	JANITOR CLOSET
JT	JOINT
LBE	LOAD BEARING ELEMENT
LCC	LEAD COATED COPPER
LH	LEFT HAND
LKR	LOCKER
LP	LOW POINT
LT	LIGHT
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MEMB	MEMBRANE
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MR	MOISTURE RESISTANT
MTD	MOUNTED
MTL	METAL
MUL	MULLION
N	NORTH
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OFF	OFFICE
OFOI	OWNER FURNISHED OWNER INSTALLED
OH	OPPOSITE HAND
OPNG	OPENING
OPP	OPPOSITE
OVHD	OVERHEAD
PART	PARTITION
PC	PRECAST
PEP	PORCELAIN ENAMEL PANEL

GENERAL ABBREVIATIONS	
PERF	PERFORATED
PL	PLATE
PLAS	PLASTER
PLYWD	PLYWOOD
POL	POLISHED
POLY	POLYETHYLENE
PR	PAIR
PT	PRESSURE TREATED
PTD	PAINTED
QT	QUARRY TILE
R	RISER
RAD	RADIUS
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REF	REFERENCE
REFIN	REINFORCED
REM	REMOVE
REQD	REQUIRED
RESIL	RESILIENT
REV	REVISION
RH	RIGHT HAND
RMI	ROOM
RO	ROUGH OPENING
ROW	RIGHT OF WAY
RTU	ROOF TOP UNIT
S	SOUTH
SAFB	SOUND ATTENUATION FIRE BLANKET
SCHED	SCHEDULE
SECT	SECTION
SG	SOUND GASKET
SH	SHELF
SHT	SHEET
SIM	SIMILAR
SOH	SIMILAR OPPOSITE HAND
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SYM	SYMMETRICAL
SYS	SYSTEM
TEL	TELEPHONE
TER	TERRAZZO
THK	THICK
TOC	TOP OF CONCRETE
TOS	TOP OF STEEL
TOW	TOP OF WALL
TYP	TYPICAL
UNF	UNFINISHED
UNO	UNLESS OTHERWISE NOTED
VB	VAPOR BARRIER
VCT	VINYL COMPOSITION TILE
VEN	VENEER
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VWC	VINYL WALL COVERING
W	WEST
W	WITH
WO	WITHOUT
WD	WOOD
WH	WALL HUNG
WD	WIDTH
WP	WATERPROOF
WT	WEIGHT

DRAFTING SYMBOLS	
Room name 150 SF	AREA TAG
Room name 101	ROOM TAG
101	DOOR TAG
AA	WINDOW TAG
SA	WALL TAG
0.0	GRID LINES AND BUBBLES
1 A101 SIM	BUILDING SECTION
1 A101 SIM	WALL SECTION
1 A101 SIM	DETAIL
1 A101 SIM	CALLOUT
A201 1	EXTERIOR ELEVATION
1 4 A5.012 3	INTERIOR ELEVATION
LEVEL 1 0'-0"	DATUM/SPOT ELEVATION
A1 View Name	TITLE MARK
N	NORTH ARROW
26'-0"	

SHEET LIST - SCHEMATIC DESIGN		
SHEET NO.	NAME	Schematic Design
T.01	COVER SHEET	•
T.02	DRAWING INDEX, NOTES AND STANDARDS	•
T.03	ACCESSIBILITY STANDARDS	•
LS.00	CODE ANALYSIS & LIFE SAFETY	•
AD.01	DEMOLITION PLANS	•
A1.11	FLOOR PLANS	•
A1.21	REFLECTED CEILING PLANS	•
PS.01	STRUCTURAL PLANS	•
PS.02	STRUCTURAL PLANS	•
PS.03	STRUCTURAL PLANS	•



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## Morrison Meeting House

256 MAMMOTH RD  
LONDONDERRY, NH, 03053

PROJECT NO: 1041

### REARCH CONSTRUCTION

325 CORPORATE DRIVE  
PORTSMOUTH, NH 03801  
802.863.8727

### STRUCTURES NORTH

60 WASHINGTON ST # 401  
SALEM, MA 01970  
978.745.6817

STAMP

## DESIGN DEVELOPMENT

### REVISIONS

NO.	DATE	DESCRIPTION

## DRAWING INDEX, NOTES AND STANDARDS

SCALE: 1/8" = 1'-0"  
DATE: 12/03/2025  
DRAWN: Author  
CHECKED: Checker

# T.02

### Morrison Meeting House

256 MAMMOTH RD  
LONDONDERRY, NH, 03053

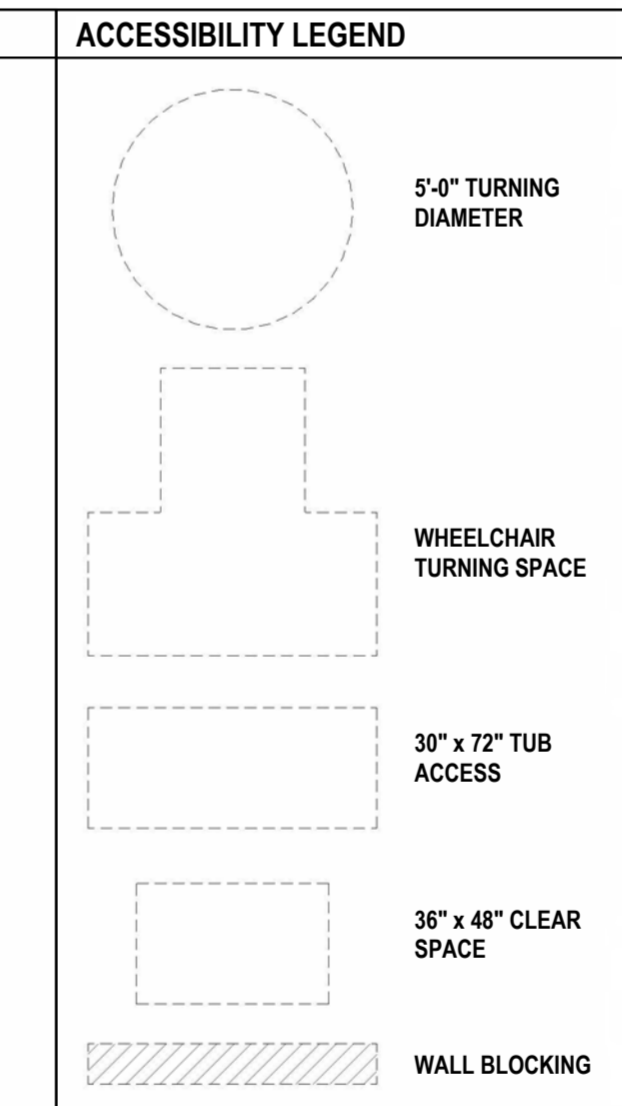
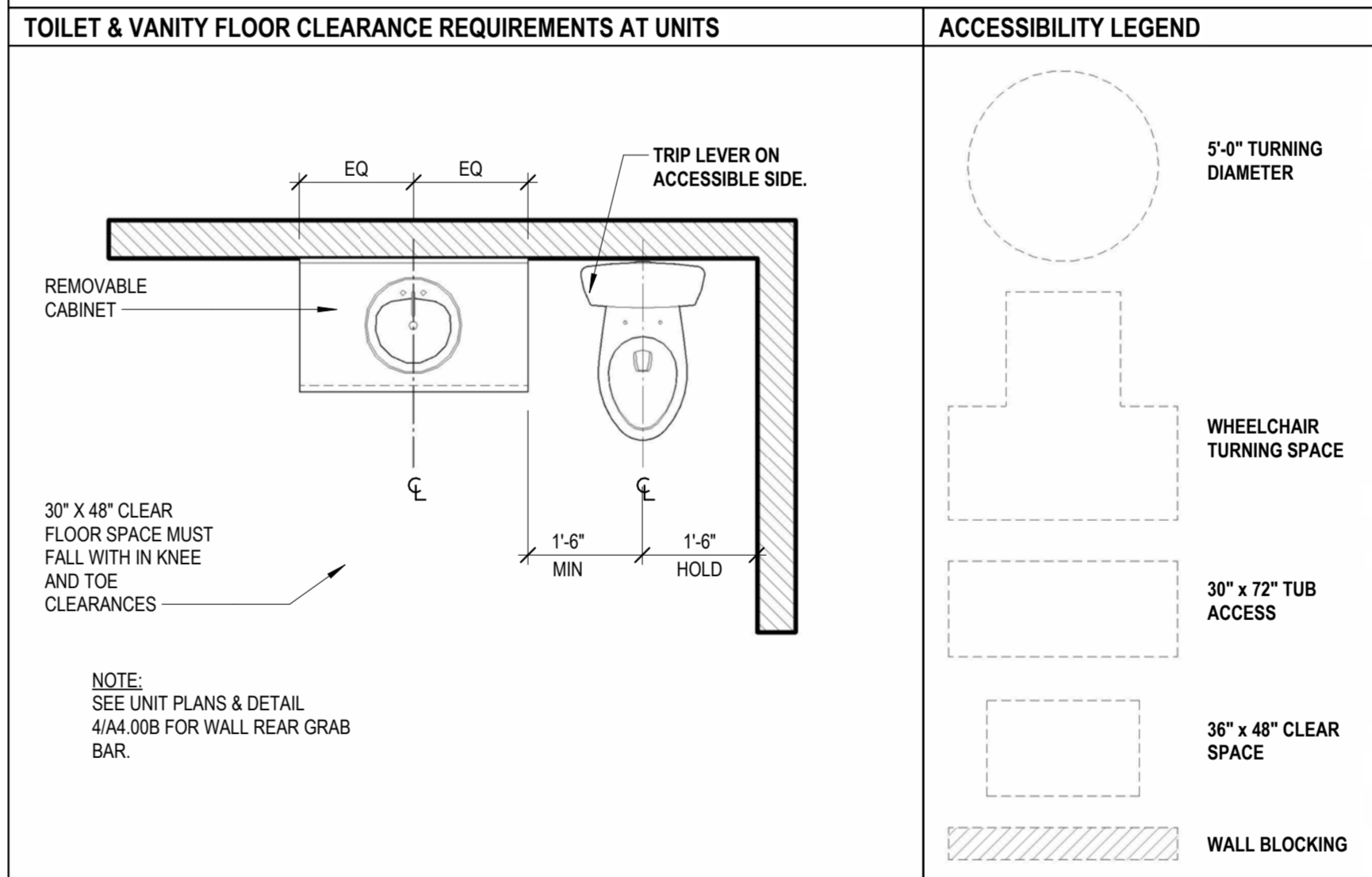
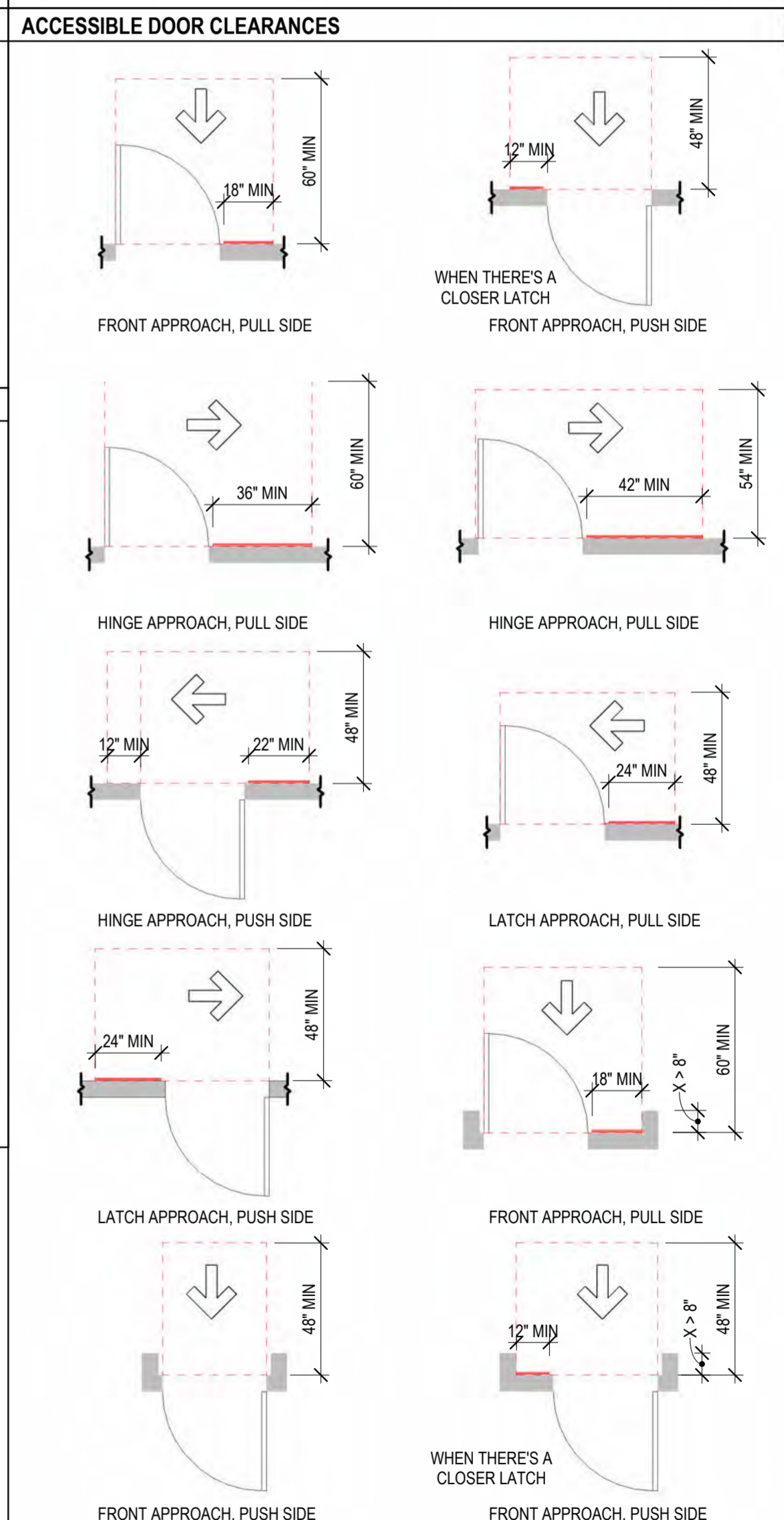
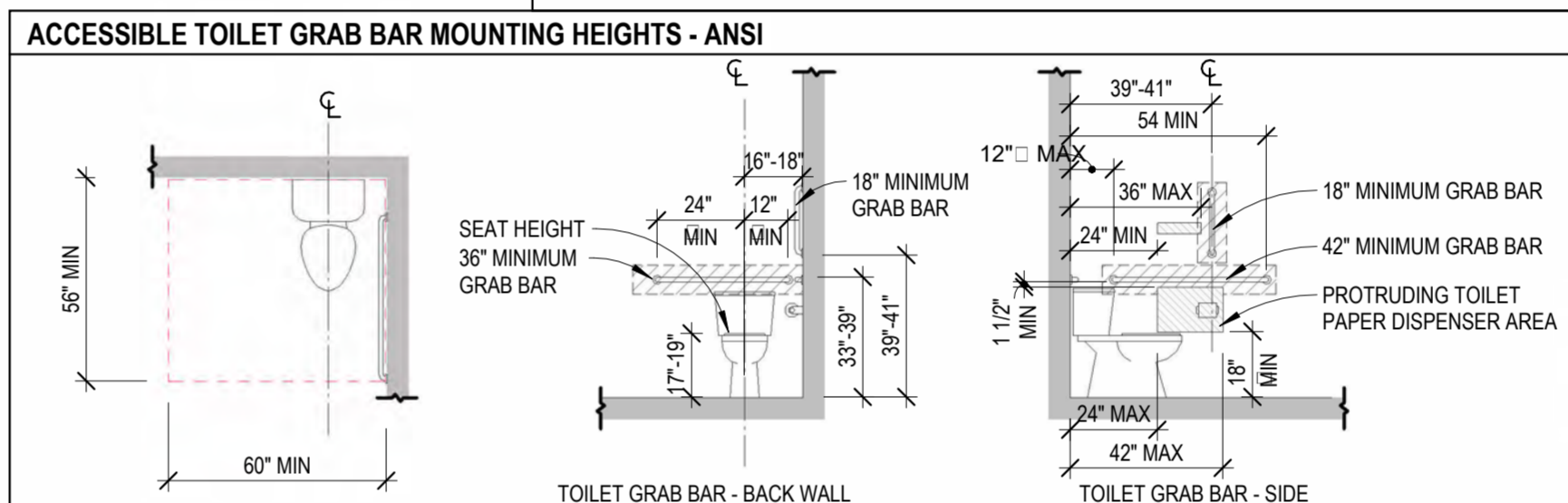
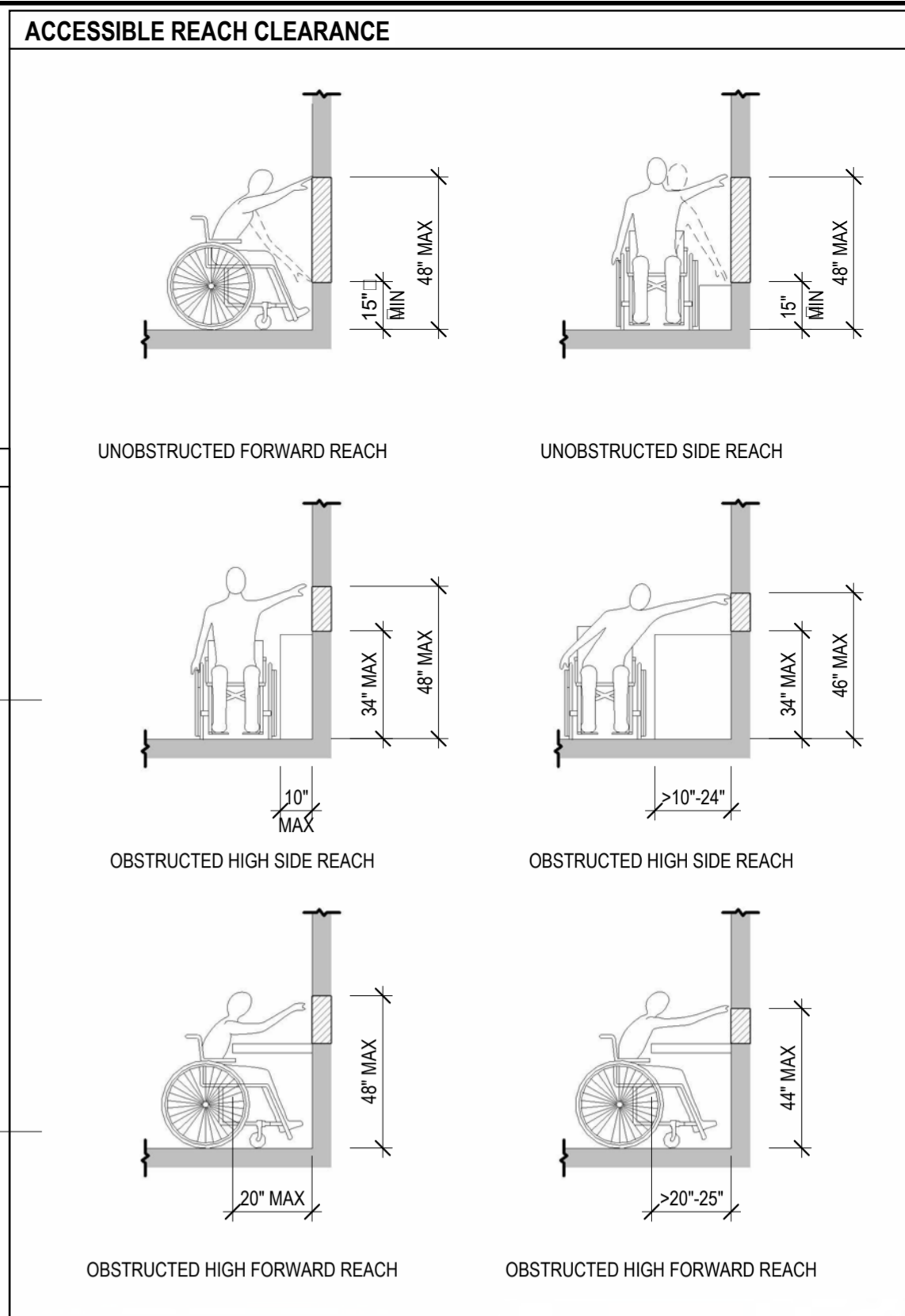
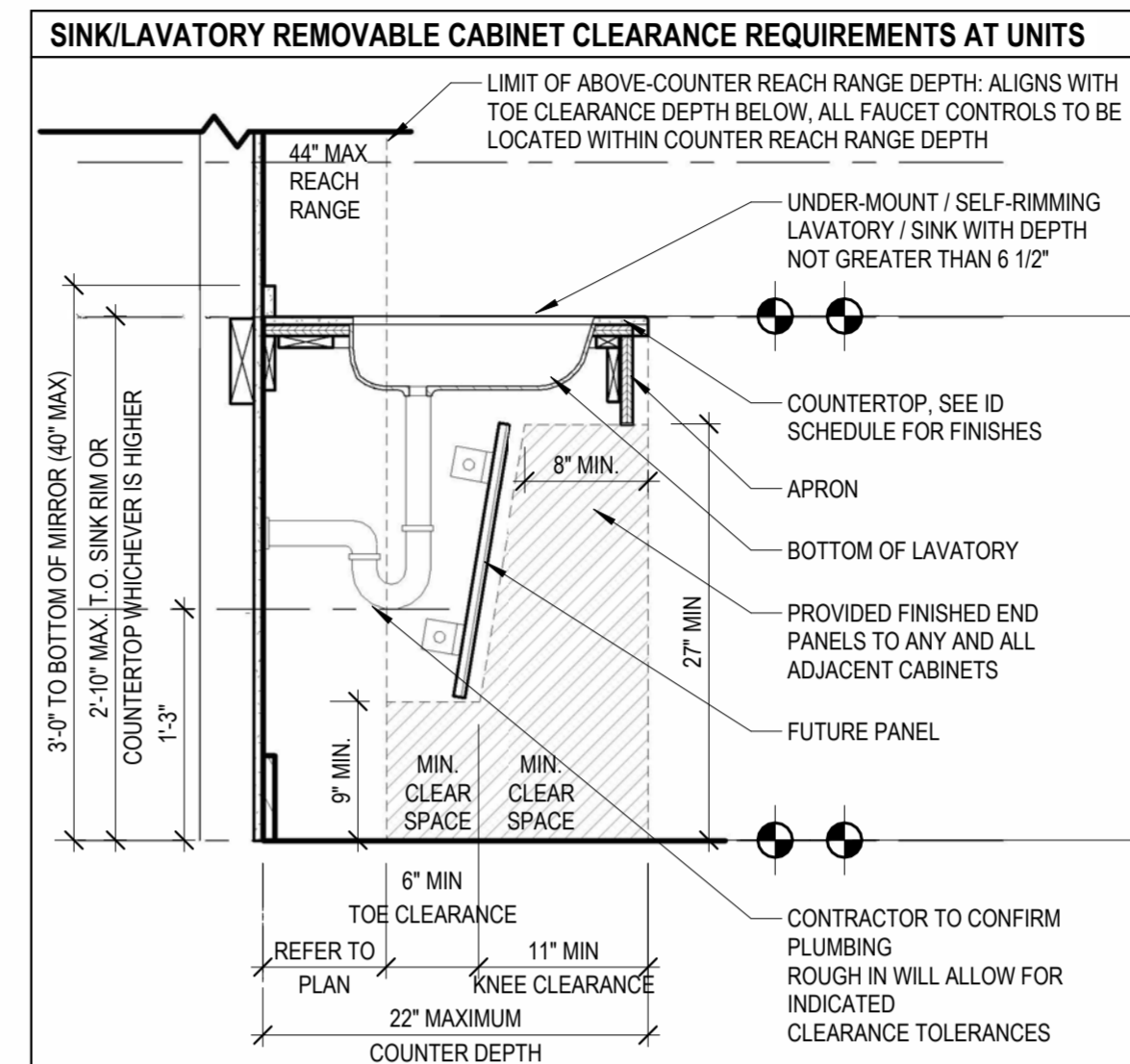
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REVISIONS		
NO.	DATE	DESCRIPTION

### ACCESSIBILITY STANDARDS

SCALE: As indicated  
DATE: 12/03/2025  
DRAWN: KK  
CHECKED: TK

LIFE SAFETY, ACCESSIBILITY & BUILDING CODE ANALYSIS

**Summary:** Applicable codes and regulations allow "grandfathered" non-compliant existing conditions to remain as they are only if there is no change of use, no change of ownership, and no change of interior layout, subject to review and approval of local building officials. The following summary lists existing conditions which are non-compliant, and minimum action required to bring building into compliance. Where compliance modifications are deemed damaging to historic character defining features, a report compiled by a registered design professional may be submitted to the local building official, demonstrating alternative methods for achieving comparable level of safety; this report is subject to the review and approval of the local building officials.

- Applicable Codes & Regulations**  
International Building Code (IBC), 2021 Edition with NH Amendments  
International Energy Conservation Code, 2021 Edition with NH Amendments  
International Existing Building Code (IEBC) 2021 Edition with NH Amendments, Chapter 12 Historic Building  
NH State Fire Code Saf-C 6000, NFPA-1, 2021 Edition  
NFPA 101, Life Safety Code - 2021 Edition: Chapters 13 Existing Assembly; Chapter 43 Building Rehabilitation  
NFPA 914, Code for Fire Protection of Historic Structures - 2010 Edition  
NH Code for Barrier Free Design  
Americans with Disabilities Act Standards for Accessible Design 2010  
American National Standard for Accessible and Usable Buildings and Facilities - ICC/ANSI A117.1 (2017)  
Town of Londonderry, Zoning Ordinance

1 General - Applicable Scope

IEBC Chapter 12 Historic Buildings

1201.2 For Alterations or Change of Use - Evaluation and written report prepared by registered design professions is required for review and approval by code official. Report shall identify required safety features of Chapter 12 that are in compliance; and demonstrate equivalent methods of safety where compliance with other chapters would damage character defining features.

2 Occupancy- Non-separated

IBC (303.1) & NFPA (Chapters 13 & 43)	<b>A2 - Existing Assembly, community hall</b>
---------------------------------------	---

3 Minimum Occupancy Separations  
Table IBC 508.4 Required Separation of Occupancies in hours

OCCUPANCY	incidental accessory use (storage, utility)
A3 - Assembly, community hall	<b>non-separated; all spaces shall conform to A3</b>

IBC Table 508.2.5 Incidental Use Areas

Furnace Room > 400k BTU/hour	automatic fire
Boiler Room > 15psi & 10 hp	automatic fire
Refrigerant machinery room	automatic sprinkler
Laundry Rooms over 100 sf	automatic fire
waste & linen collection rooms over 100 sf	automatic fire

4 Construction Type 5B - Allowed Tabular Height and Area Limitations

Construction Type	Occupancy	Height/Stories not sprinklered	Height/Stories sprinklered	Allowed Area (sf) not sprinklered	Allowed Area (sf) Sprinklered
5B	A3	4/11	6/2	6,000	18,000

As Designed	
Stories above grade	2
Height (Feet)	35 +/-
Footprint Area	3,906
Gross Floor Area (sf)	5,065

non-compliant as existing

Level	Occupancy	Zoning & IBC - Building Area Footprint to outside face of exterior walls	IBC - Occupancy Floor Area to inside face of exterior walls (est)
2nd floor	A3	1,179	1,061
1st floor	A3	3,906	3,515
<b>gross area above grade</b>		<b>5,085</b>	<b>4,577</b>

6 Fire-resistance Ratings of Building Elements - IBC Table 601

Construction Type	IBC	supporting construction of 1-HR rated floors
Building Element	5B	
Primary Structural Frame		
Columns	0	1 / HT
supporting more than one floor, columns, other bearing walls		
supporting one floor only		
supporting roofs only		
Beams, Girders, Trusses	0	1 / HT
supporting more than one floor, columns, other bearing walls		
supporting one floor only		
supporting roofs only		
Bearing Walls - Exterior	0	
Bearing Walls - Interior	0	
Nonbearing Walls - Interior &	0	
Floor Construction &	0	1 / HT
Roof Construction &	0	

7 Fire-resistance Ratings for Exterior Walls - Fire rating (hours)

Occupancy	A3
Construction Type	5B
Fire Separation Distance	
<5'	1
≥5' <10'	1
≥10' <30'	1
>30'	0

8 Fire Resistance Rated Construction

Component	reference IBC / NFPA	IBC rating	NFPA rating	table 8.3.4.2
Shaft and Vertical Exits *(connecting <3 stories)	708.4, 715 / 8.6.5 (2)	1 hour (fire barrier)	1	.75 doors only
*exit stair can be open between 2 floors max if occ load <10, and not more than 1 story from grade				
Exit Passageway	1023.3, 715 / 7.1.3.1	0 (1 hr if not sprinklered)	0 (1 hr if not sprinklered)	3/4
Corridor Walls, A3 assembly		0 (1 hr if not sprinklered)	0 (1 hr if not sprinklered)	

9 Separated Incidental Accessory Occupancies IBC Table 508.2.5 / NFPA 101

fire separation rating (hours) x	IBC
furnace room >400k Btu/Hr	1 hour or sprinkler system
Boiler room > 15psi & 10hp	1 hour or sprinkler system
waste rooms > 100sf	1 hour
room is not also used for storage	
Laundry rooms >100 sf	1 hour or sprinkler system
linen collection	1 hour or sprinkler system
storage rooms >100sf	1 HOUR

10 Maximum Length of Exit Access Travel

IBC / NFPA	not sprinklered	system per Section
IBC / NFPA	A3	A3
Common Path Limit 1006.2.1	75	75
Dead End Limit 1020.4	20	20
Travel Distance Limit 1017.2 / 13.2.6.2	200	250

11 Occupant Load

Level / total area per level	Occupancy	Net Occupied Floor Area (sf)	s/occupant	#occupants
2 - meeting rooms	A3, tables & chairs	1,000	15	66.67
1 - stage	A3	184	15	12.27
1 - auditorium	A3 - tables, or movable seating (not standing*)	1,784	7	254.86
1 - storage & utility	accessory	1,070	300	3.57
1 - kitchen	accessory	228	50	4.56
<b>TOTAL maximum occupancy</b>		<b>3,266</b>		<b>341.92</b>

\*Note: Per NFPA-101, 13.3.51., if "festival seating" or "standing room" (audience standing only, no chairs) is used at auditorium, or if occupancy exceeds 100 when area of work exceeds 50%, then a fire sprinkler suppression system is required.

12 Minimum Number of Exits per story (IBC 1021.1 / NFPA 7.4.1)

Max Occupants Per Floor	Exits required per level
500	2

Note: Per IEBC 1203.3 - Where specifically approved by local building official, egress door at main entrance need not swing in direction of travel, and non-conforming egress stair dimensions may be approved by local building official if in their opinion the width and height are sufficient for occupants to

Minimum Required Width of Egress	Min. Width (n/occ)	Min. Width Prescriptive	Min. Width Provided
	20.00	44.00	36.00
Stairways	27.53	A:44 & B:36	44"
Passageways, Aisles and Corri			

15 Energy Code: IECC 305.4 & 305.6

Change of use or alterations affecting an area of primary function requires accessibility compliance to the "maximum extent technically feasible". EXCEPTIONS: 1) unless it would threaten or destroy historic significance; and 2) unless the cost of compliance exceeds 20% of cost of the alterations.

Accessibility requirements do not pertain to alterations that are solely MEP and windows.

305.8.11	bathrooms are added,
305.8.14	threshold height = 3/4"
305.8.5	1.8-1:10 for max rise

16 Accessibility: Historic Building

IEBC B101.4  
IEBC 305.7.1  
IEBC 305.9  
IEBC 305.9  
IEBC 305.9  
IEBC 305.9

With designation as "qualified historic building", accessibility improvements that would destroy historic elements are not required.  
Costs of accessibility not required to exceed 20% of costs of alterations  
One accessible route is required to a building entrance  
One accessible main entrance is required  
Minimum one accessible user-assisted (family/unisex) bathroom  
Elevator or platform lift is required for change of use or alterations to the second floor.  
required in both fire rated stairwells, unless elevator/lift is on  
Tactile (braille) exits signs are required at each exit and stairway door.

17 Fire Alarm System

NFPA/IBCI/ADA  
ANSI/ADA  
NFPA 13.3.4.1.1  
current Assembly

18 Kitchen cooking equipment

NFPA 13.3.2.2  
Non-fire protected cooking equipment is limited to food-warming devices, not connected to exhaust flues.

19 Minimum Number of Plumbing Facilities

	No. occupants	Water Closets (M/F 50-50)		Lavatories (M/F 50-50)		Tubs/Showers required	Drinking Fountains (410.1 IPC) * not required for occ<15 ** not required for		Service Sink
		no. required per use	total required	no. required per use	total required		required	total required	
A3 - auditorium & stage	275.3	1:125 Male & 1:65 Female	3.22	1 per 200	1.38	None	1 per 500	0.6	1
A3, meeting rooms	66.7	1 per 25(@=51)	1.00	1 per 40(@=81)	1.00	None	1 per 100	0.7	1
<b>Total Required</b>			<b>5.0</b>		<b>3.0</b>	<b>0</b>		<b>2.0</b>	<b>1</b>
<b>Total Existing</b>			<b>5.0</b>		<b>3.0</b>	<b>4</b>		<b>0.0</b>	

20 Energy Requirements - IECC Energy Conservation Cod Climate Zone 5

IEBC Alterations 908.1: Alterations to existing buildings are permitted without requiring the entire building to comply with the energy requirements of the IECC. Alterations shall conform to energy requirements of IECC as they relate to new construction only.

C501.6: Historic Buildings: **Compliance is not mandatory** with report signed by registered design professional, to building officials demonstrating that compliance would threaten or destroy historic form fabric or function of building.  
C503.1 Alterations to any building or structure **shall comply** with the requirements of the code for new construction.  
C505.1 Spaces undergoing a change in occupancy that would result in an increase in demand for either fossil fuel or electrical energy **shall comply** with this code.

Building Envelope Requirements	Prescriptive Table C402.1.3	Performance Table C402.1.4	SHGC - sew	SHGC - n
	ci = continuous insulation			
Roof insulation entirely above roof	R-30 ci	u-0.032		
Roof insulation - attic	R-38	u-0.037		
wood framed walls	R-13 + 3.8 ci; or R-20	u-0.064		
windows - operable		u-0.45		
windows - pf<2			0.4	0.53
windows - 2<=pf<5			0.48	0.58
windows - pf>=5			0.64	0.64
glazed entrance doors		u-0.077		
Swinging solid opaque Doors	u-0.37	u-0.37		



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STRUCTURES NORTH

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DESIGN DEVELOPMENT

REVISIONS

NO.	DATE	DESCRIPTION

CODE ANALYSIS & LIFE SAFETY



SCALE:

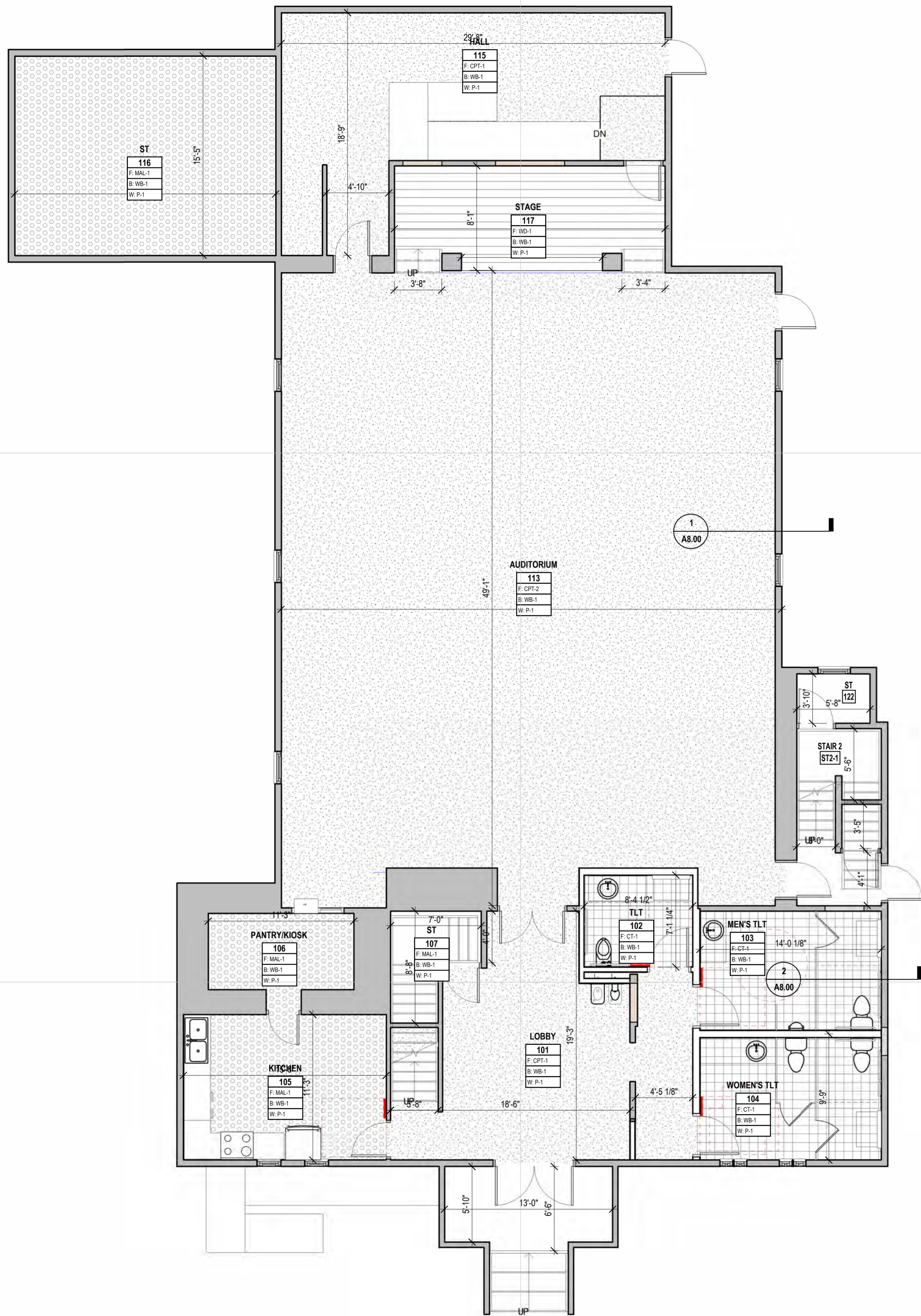
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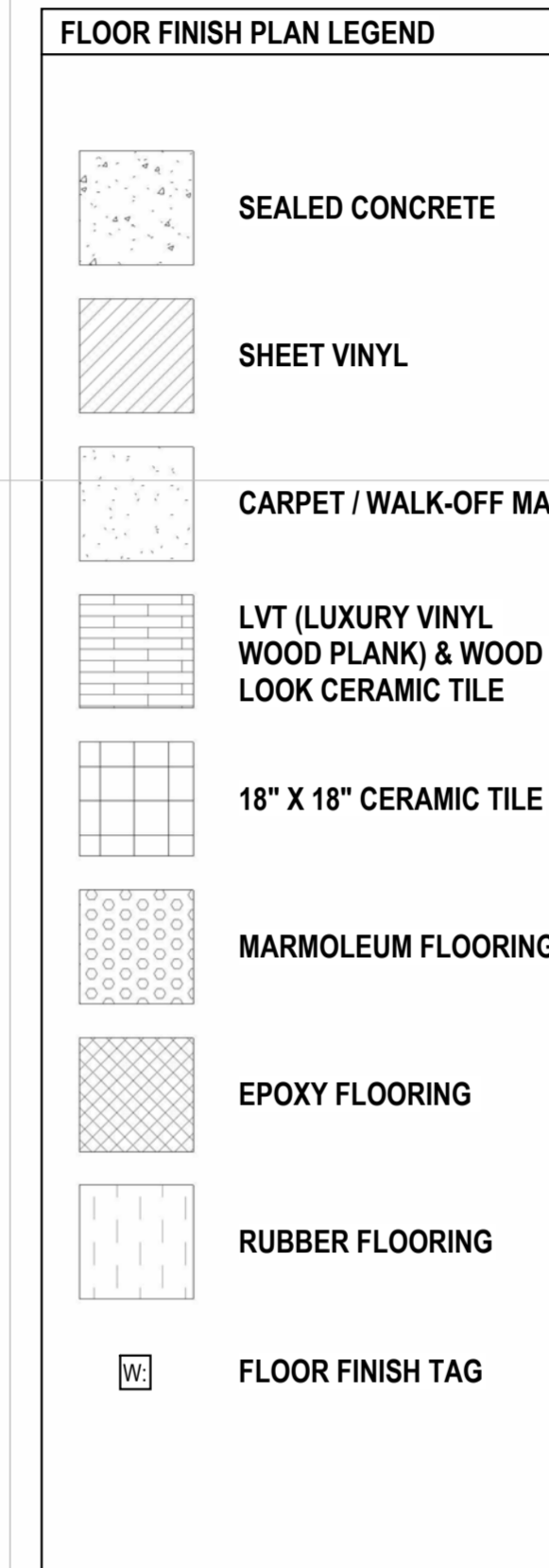
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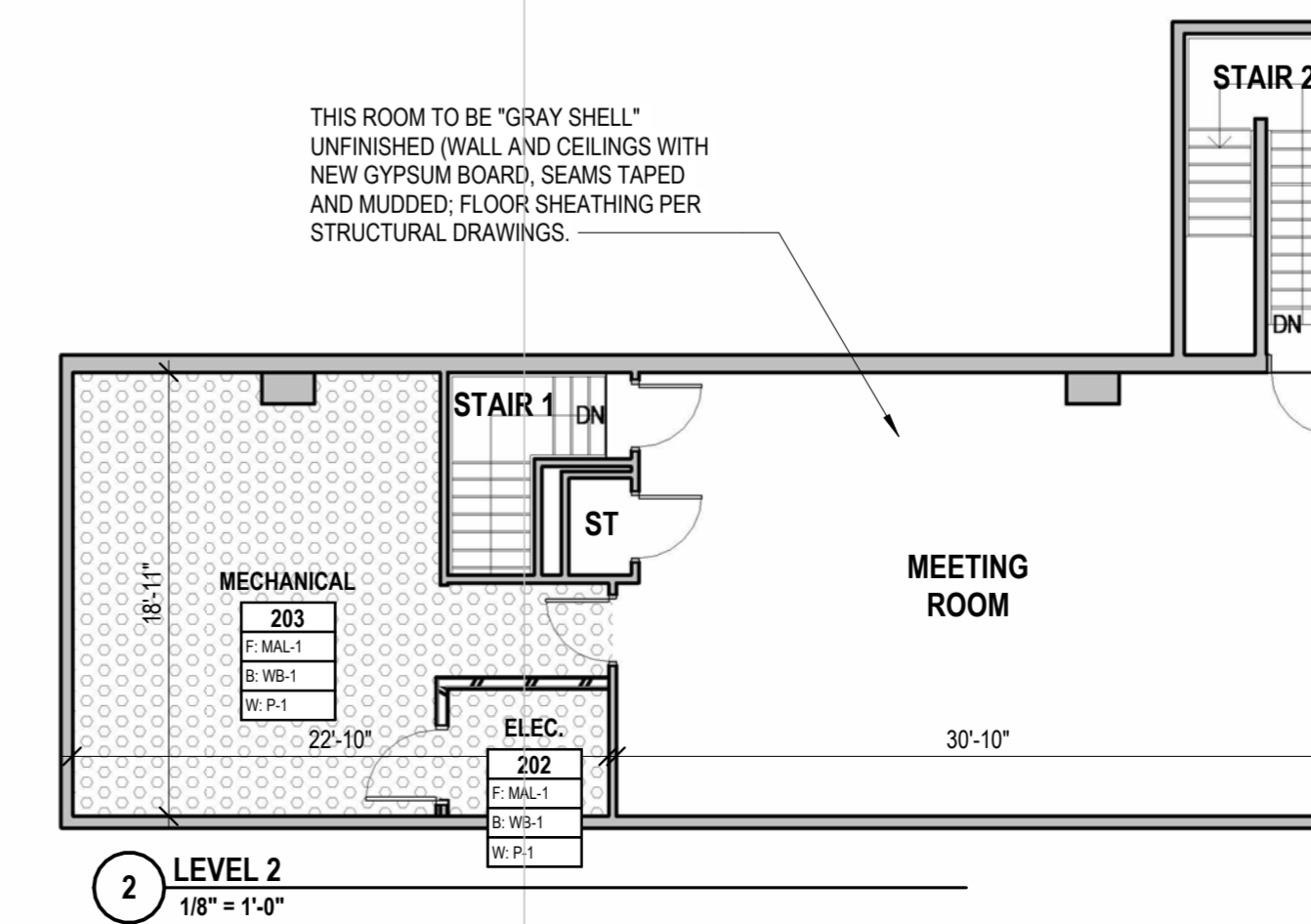


3 LEVEL 1 - OPTION 2  
3/16" = 1'-0"

FINISH SCHEDULE						
Level	Name	Number	Area	Floor Finish	Base Finish	Wall Finish
LEVEL 1	LOBBY	101	350.94 SF	CPT-1	WB-1	P-1
LEVEL 1	TLT	102	59.50 SF	CT-1	WB-1	P-1
LEVEL 1	MEN'S TLT	103	129.16 SF	CT-1	WB-1	P-1
LEVEL 1	WOMEN'S TLT	104	132.66 SF	CT-1	WB-1	P-1
LEVEL 1	KITCHEN	105	176.25 SF	MAL-1	WB-1	P-1
LEVEL 1	PANTRY/KIOSK	106	70.84 SF	MAL-1	WB-1	P-1
LEVEL 1	ST	107	45.10 SF	MAL-1	WB-1	P-1
LEVEL 1	AUDITORIUM	113	1,816.62 SF	CPT-2	WB-1	P-1
LEVEL 1	HALL	115	397.48 SF	CPT-1	WB-1	P-1
LEVEL 1	ST	116	310.90 SF	MAL-1	WB-1	P-1
LEVEL 1	STAGE	117	168.06 SF	WD-1	WB-1	P-1
LEVEL 1	ST	122	21.72 SF			
LEVEL 1	STAIR 2	ST2-1	73.98 SF			
LEVEL 2	MEETING ROOM	201	571.94 SF			
LEVEL 2	ELEC.	202	37.01 SF	MAL-1	WB-1	P-1
LEVEL 2	MECHANICAL	203	321.94 SF	MAL-1	WB-1	P-1
LEVEL 2	ST	204	10.91 SF			
LEVEL 2	STAIR 1	ST1-2	46.99 SF			
LEVEL 2	STAIR 2	ST2-2	84.35 SF			



Legend FINISH  
1/8" = 1'-0"



2 LEVEL 2  
1/8" = 1'-0"

GENERAL PLAN NOTES

- GENERAL CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT IF FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE DRAWINGS.
- REFERENCE LIFE SAFETY DRAWINGS LS.00-LS.03 FOR ADDITIONAL INFORMATION.
- REFERENCE DRAWING A8.00 FOR EXTERIOR WALL AND PARTITION TYPES.
- EXTERIOR DIMENSION ARE GIVEN FROM FACE OF STUD TO FACE OF STUD, TYP.
- INTERIOR DIMENSIONS ARE GIVEN FROM FACE OF STUD TO FACE OF STUD U.N.O.
- ALL DOORS SHALL BE INSTALLED WITH HINGED SIDE OF FINISHED OPENING 6" FROM ADJACENT WALL, OR CENTERED WITHIN WALL, UNLESS NOTED OTHERWISE.
- ALL DOORS INTENDED FOR PASSAGE MUST MEET ACCESSIBILITY MANEUVERING CLEARANCES.
- EXTERIOR OPENINGS ARE DIMENSIONED TO CENTER LINE OF OPENING UNLESS NOTED OTHERWISE.
- REFER TO A9.00 FOR DOOR AND FRAME TYPES.
- REFER TO A9.00 FOR WINDOW AND LOUVER TYPES.
- REFER TO A4 SERIES SHEETS FOR UNIT PLANS & ENLARGED PLANS.
- TYPICAL INTERIOR WALL PARTITION TO BE TYPE WD.4 UNLESS NOTED OTHERWISE.



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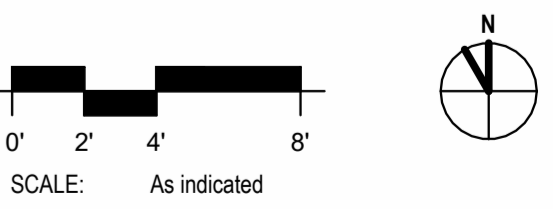
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DESIGN DEVELOPMENT

REVISIONS

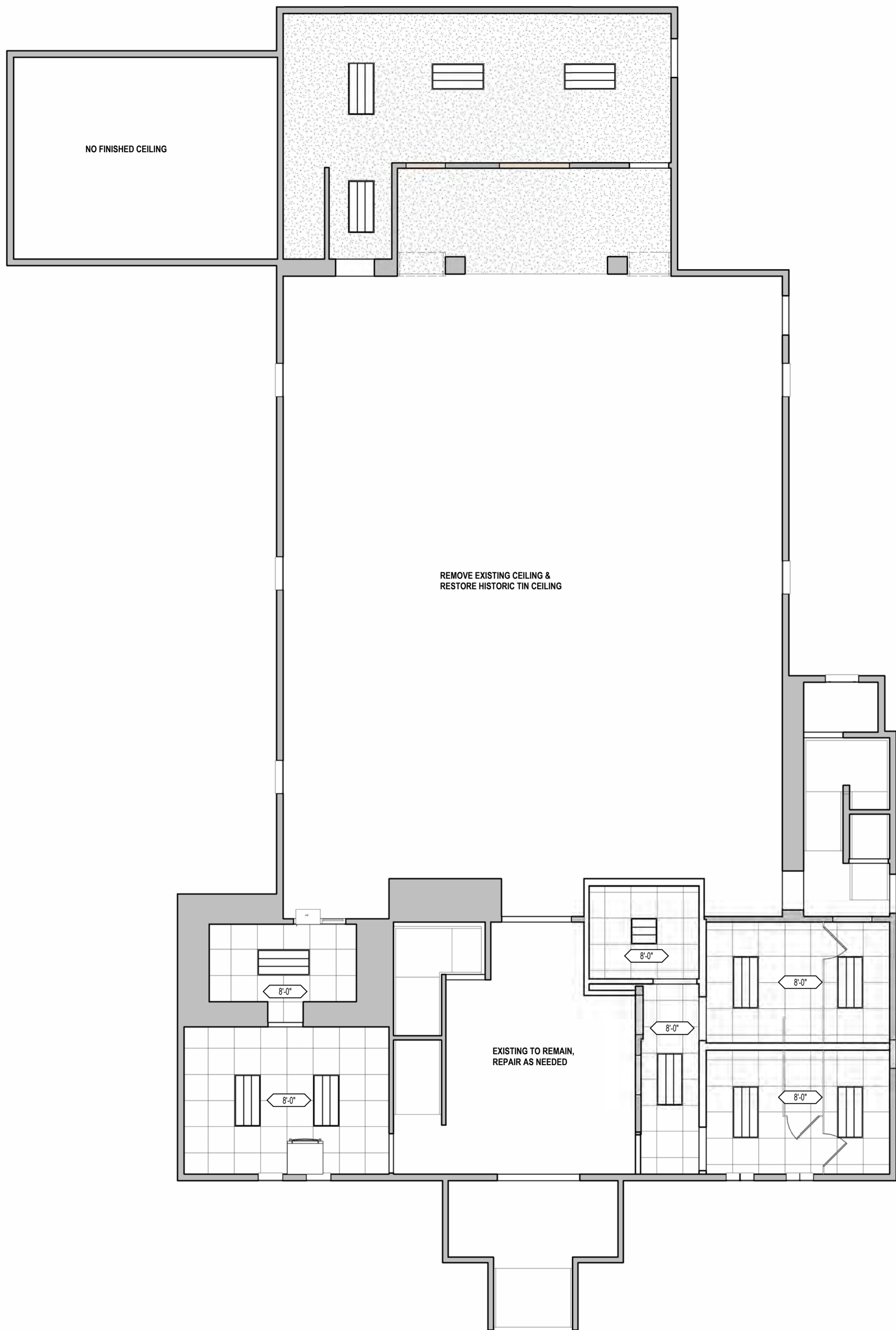
NO.	DATE	DESCRIPTION

FLOOR PLANS



DATE: 12/03/2025  
DRAWN: Author  
CHECKED: Checker

A1.11



1 FIRST FLOOR REFLECTED CEILING PLAN  
3/16" = 1'-0"

**GENERAL RCP NOTES**

1. CENTER ALL SINGLE LIGHT FIXTURES WITHIN THE ROOM.
2. CENTER ALL VANITY FIXTURES OVER THE MIRROR.
3. MECHANICAL AND ELECTRICAL EQUIPMENT SHOWN ON RCP'S ARE FOR LOCATION AND COORDINATION ONLY.
4. PLACEMENT AND LOCATION OF EQUIPMENT AS FOLLOWS: LIGHT FIXTURES CENTERED IN ACT PANELS, CENTER REGISTERS, DIFFUSERS, EXIT LIGHTS, AND SMOKE DETECTORS IN TILE PANEL.
5. SEE A4 SERIES SHEETS FOR UNIT REFLECTED CEILING PLANS.
6. REFER TO ELECTRICAL DRAWINGS FOR EXIT SIGN LOCATIONS.
7. REFER TO SHEET A8.00 FOR TYPICAL CEILING DETAILS.
8. SPRINKLER HEADS ARE NOT SHOWN, SEE FIRE PROTECTION DWG. AND COORDINATE HEADS IN THE FIELD WITH OTHER TRADES.
9. ALL LIGHT FIXTURES THAT PENETRATE FIRE RATED FLOOR/CEILING ASSEMBLY MUST BE PROTECTED WITH FIRE RATED ASSEMBLY.

**REFLECTED CEILING PLAN LEGEND**

	2x2' ACOUSTICAL CEILING TILE
	2x4' ACOUSTICAL CEILING TILE
	PTD GWB CEILING
	METAL CEILING PANEL
	2x2 DIRECT/INDIRECT BASKET FLUORESCENT
	2x4 DIRECT/INDIRECT BASKET FLUORESCENT
	2x4 LAY-IN FLUORESCENT
	RECESSED FLUORESCENT DOWNLIGHT
	VANITY FIXTURE. STYLE/SIZES VARY PER ROOM.
	WALL SCONCE. STYLE/SIZES VARY PER ROOM.
	UNDER CABINET LIGHTING
	1X4 SURFACE MOUNTED FLUORESCENT
	TRACK LIGHTING
	CEILING HEIGHT TAG



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**REFLECTED CEILING PLANS**

SCALE: As indicated  
DATE: 12/03/2025  
DRAWN: Author  
CHECKED: Checker

**A1.21**

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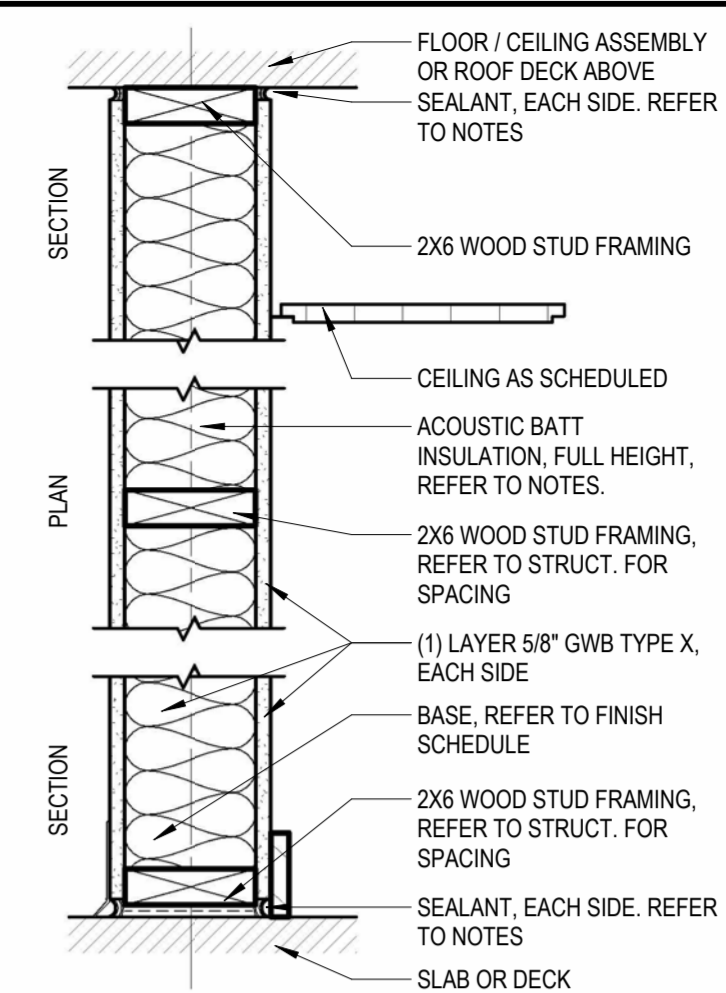
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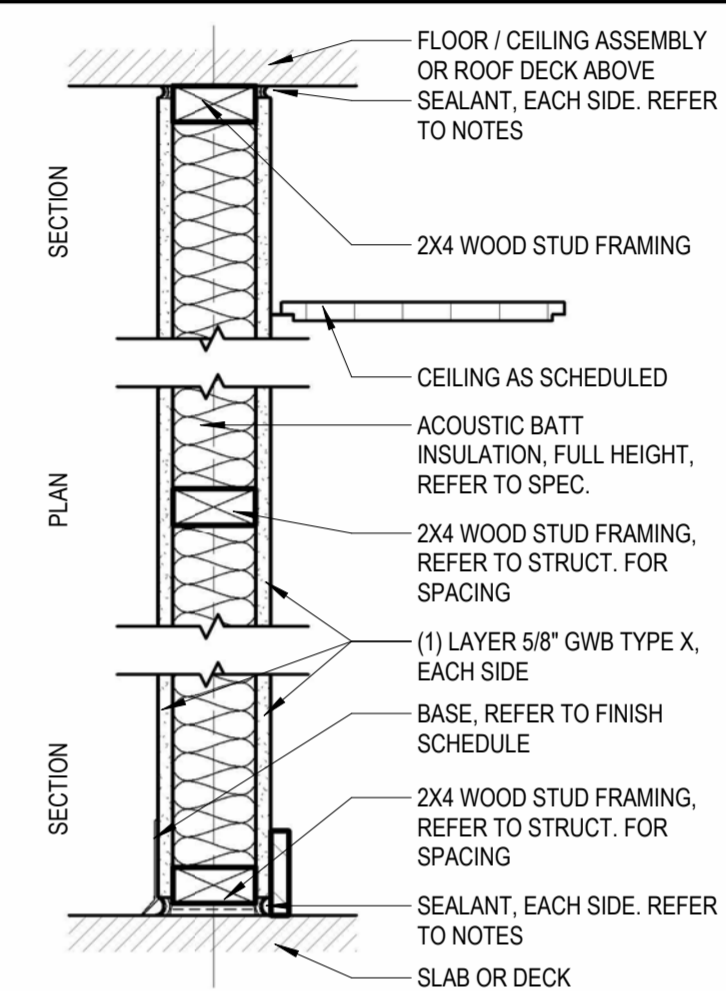
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CORE TYPE	WOOD STUD
UL DESIGN NO.	N/A
FIRE RATING	N/A
STC / NRC RATING	N/A

**INTERIOR PARTITION TYPE  
NON-RATED 2X6 WOOD STUD PARTITION**

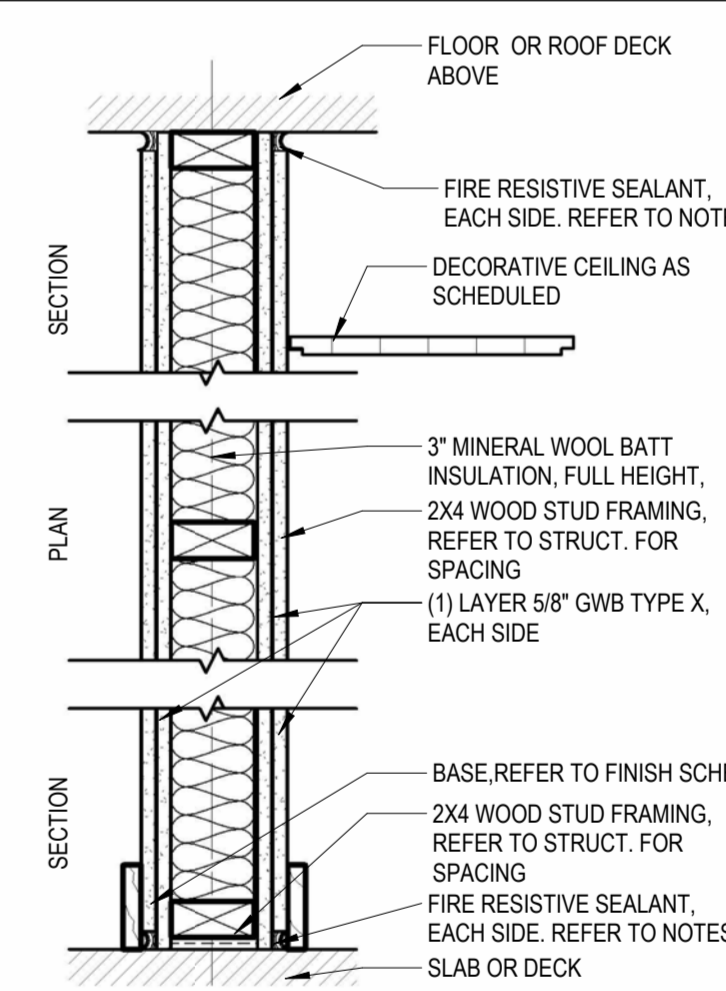
W6 W6.A



CORE TYPE	WOOD STUD
UL DESIGN NO.	N/A
FIRE RATING	N/A
STC / NRC RATING	N/A

**INTERIOR PARTITION TYPE  
NON-RATED 2X4 WOOD STUD PARTITION**

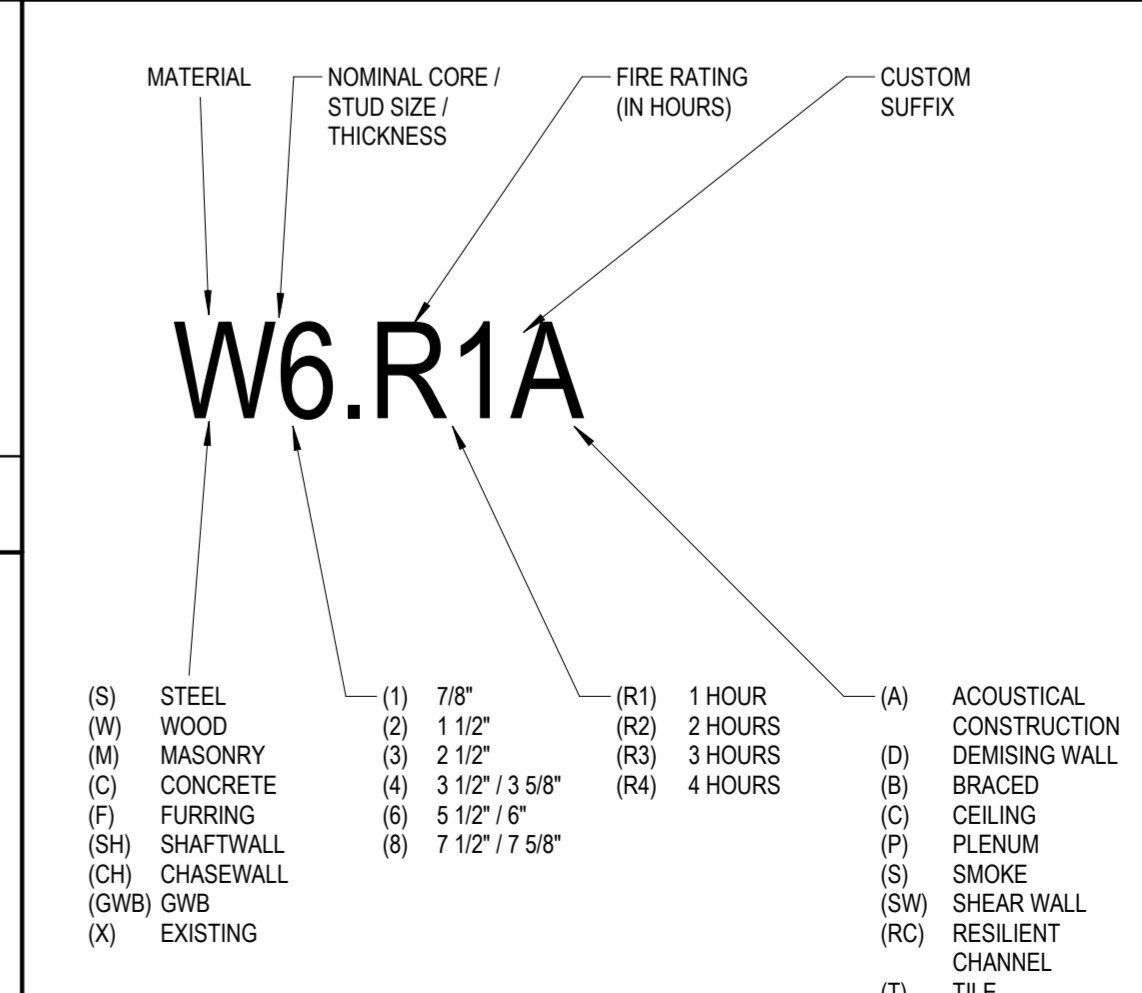
W4 W4.A



CORE TYPE	WOOD STUD
UL DESIGN NO.	U301
FIRE RATING	2 HOUR
STC / NRC RATING (FOR ACOUSTICAL)	N/A

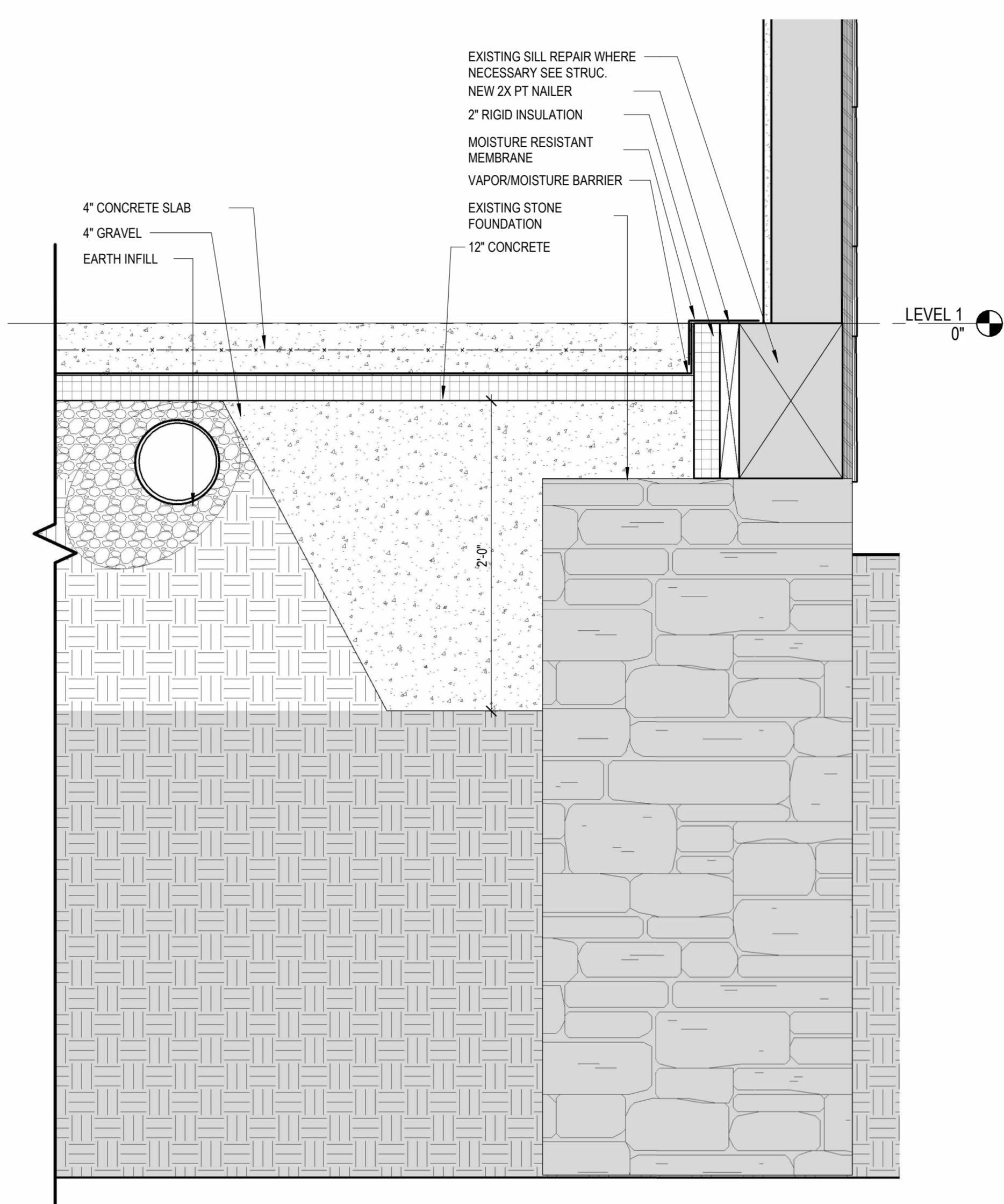
**INTERIOR PARTITION TYPE  
2 HOUR RATED 2X4 WOOD STUD**

W4.R2

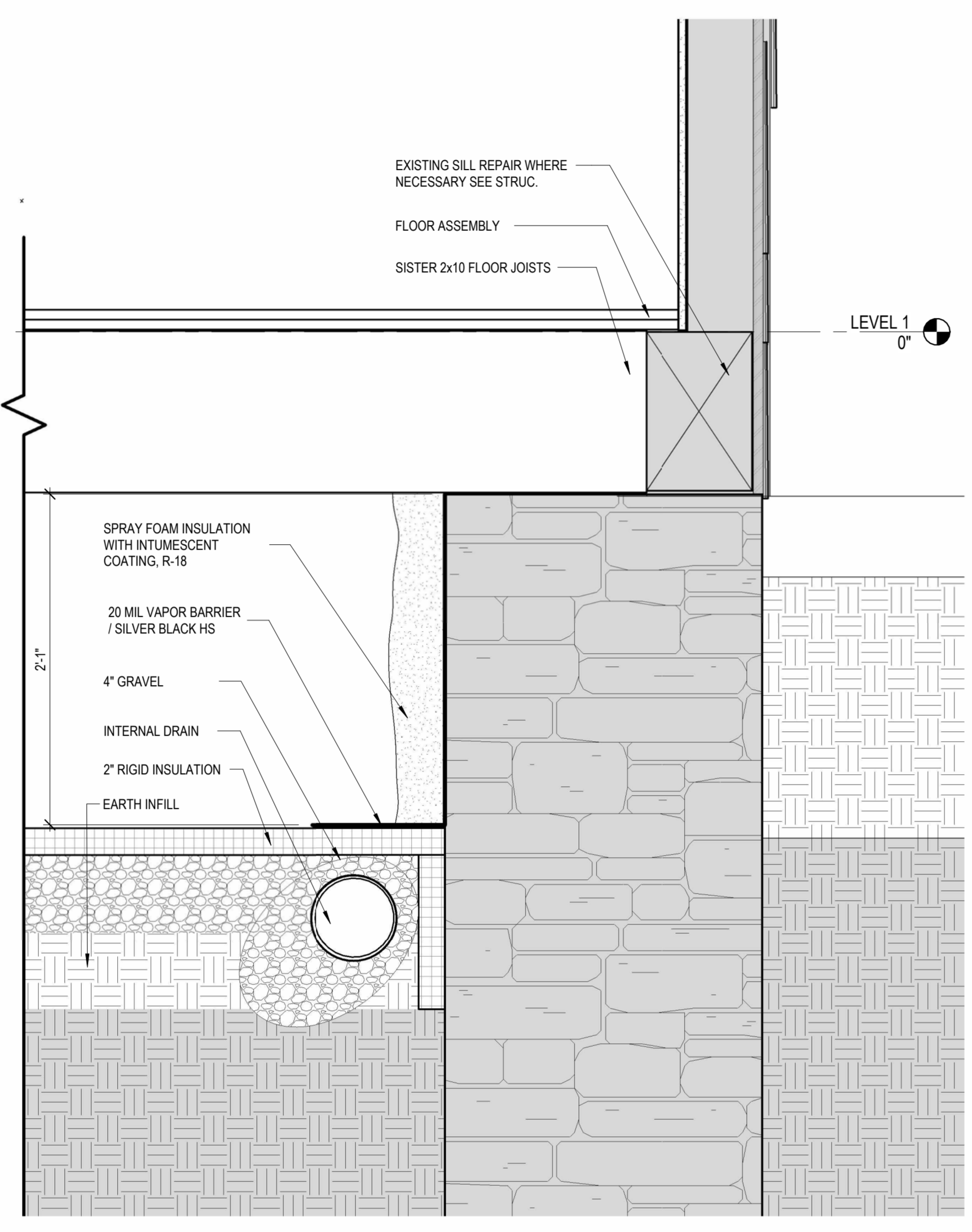


**INTERIOR PARTITION TYPE - NOMENCLATURE**

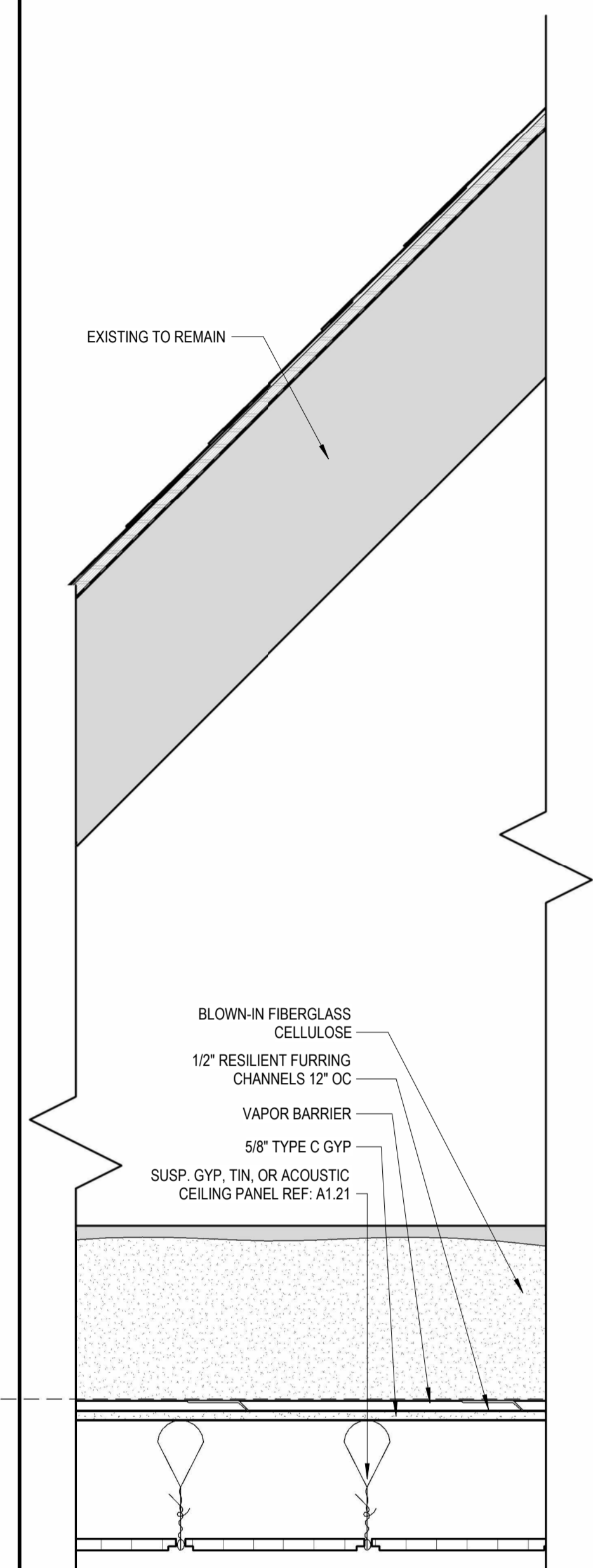
XX



**1 SECTION @ AUDITORIUM**  
1 1/2" = 1'-0"



**2 Section @ MEN'S TLT**  
1 1/2" = 1'-0"



**3 ROOF & CEILING ASSEMBLY**  
1 1/2" = 1'-0"

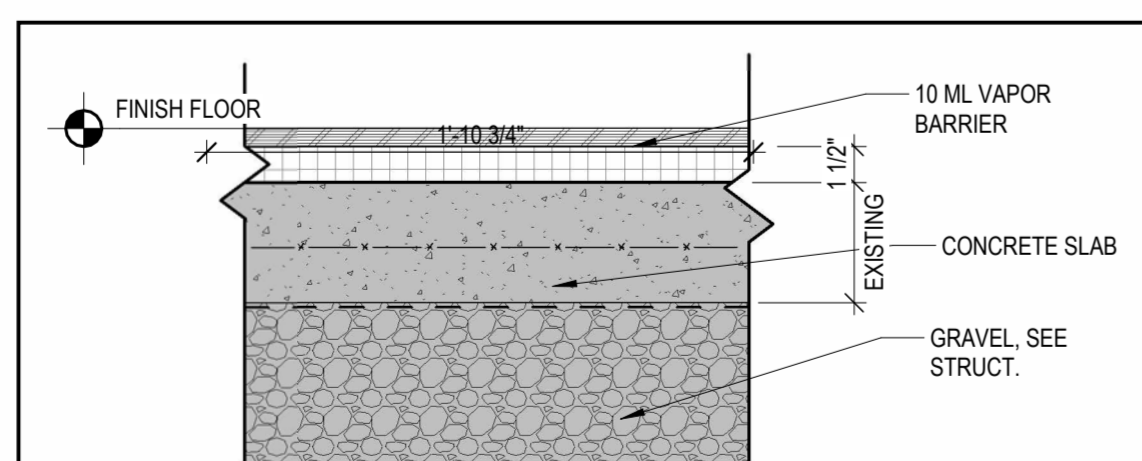
**TYPICAL PARTITION NOTES**

- NON-LOAD BEARING PARTITION SHOWN. REFER TO STRUCTURAL DRAWINGS FOR LOAD BEARING STUD INFO.
- PARTITIONS WITH AN "A" DESIGNATION CONTAIN BATT INSULATION IN THE STUD CAVITY. REFER TO SPECIFICATION SECTION 09 2950 FOR ACOUSTIC CONSTRUCTION REQUIREMENTS.
- REFER TO SPECIFICATION SECTION 07 8413 FOR FIRE STOPPING INFORMATION.
- REFER TO LIFE SAFETY DRAWINGS FOR RATINGS.

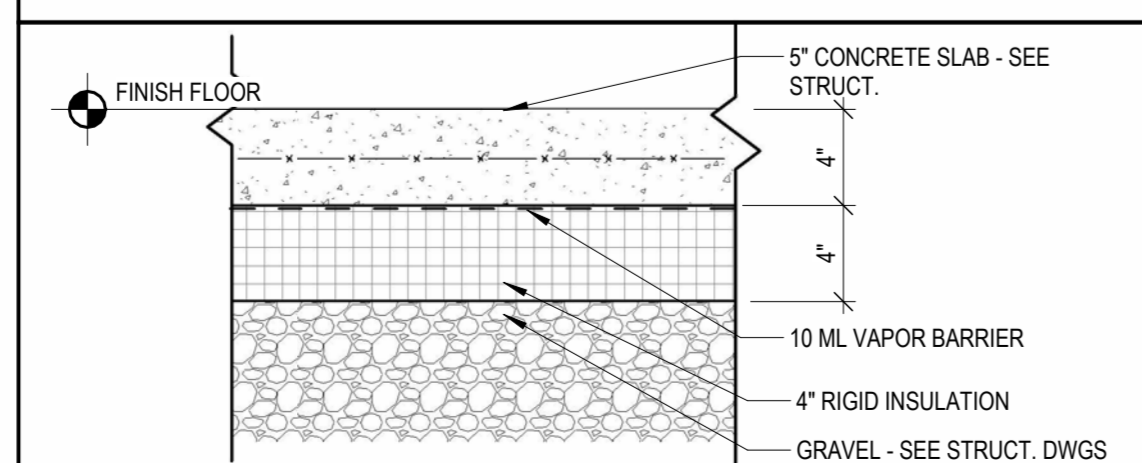
- PER IBC 2009 SECTION 703.6**
- PROVIDE ONE STENCIL ON EACH SIDE OF EVERY FIRE RATED WALL, MAXIMUM SPACING 20'-0" CENTER TO CENTER.
  - PROVIDE ONE STENCIL ON EACH SEGMENT OF RATED WALL SHORTER THAN 20'-0".
  - WHERE FIRE RATED WALLS CHANGE DIRECTION - ON THE BLIND SIDE OF THE WALL PLACE A VERTICAL STRIPE AND THE WORD "END" TO SIGNIFY THE WALL IS CHANGING DIRECTION.
  - THE FIRST LINE OF ALL STENCILS SHALL BE 4" HIGH, THE SECOND LINE SHALL BE 1" HIGH - ALL STENCILS SHALL BE BOLD RED COLOR.

- STENCILS SHALL READ:**
- |                      |                           |                      |
|----------------------|---------------------------|----------------------|
| 2 HOUR FIRE BARRIER  | 1 HOUR FIRE SMOKE BARRIER | 1 HOUR FIRE BARRIER  |
| PROTECT ALL OPENINGS | PROTECT ALL OPENINGS      | PROTECT ALL OPENINGS |

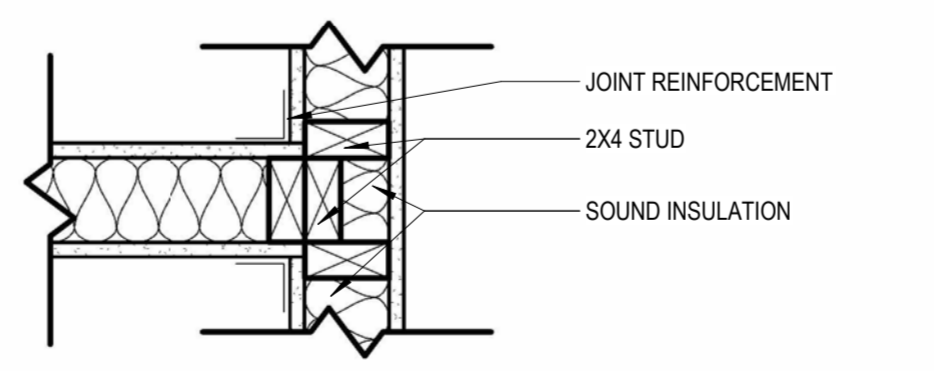
**SMOKE-TIGHT & FIRE RATED PARTITION STENCIL REQUIREMENTS**



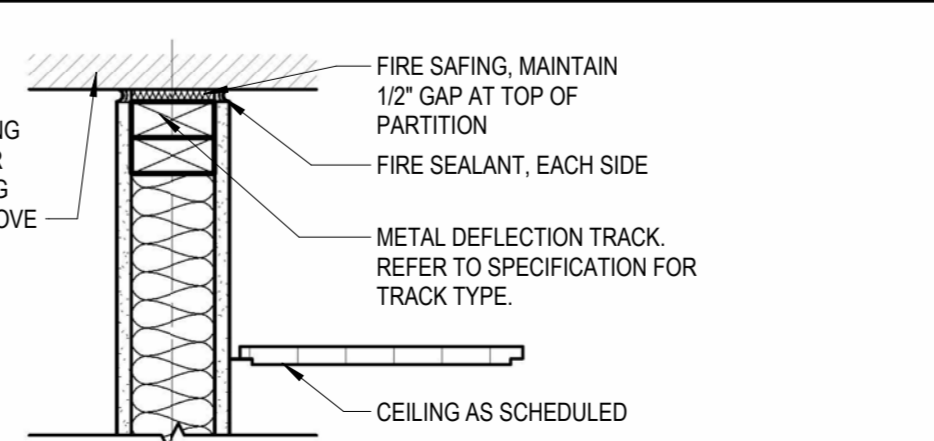
**F-1 EXISTING CONCRETE SLAB ON GRADE - BACKSTAGE**



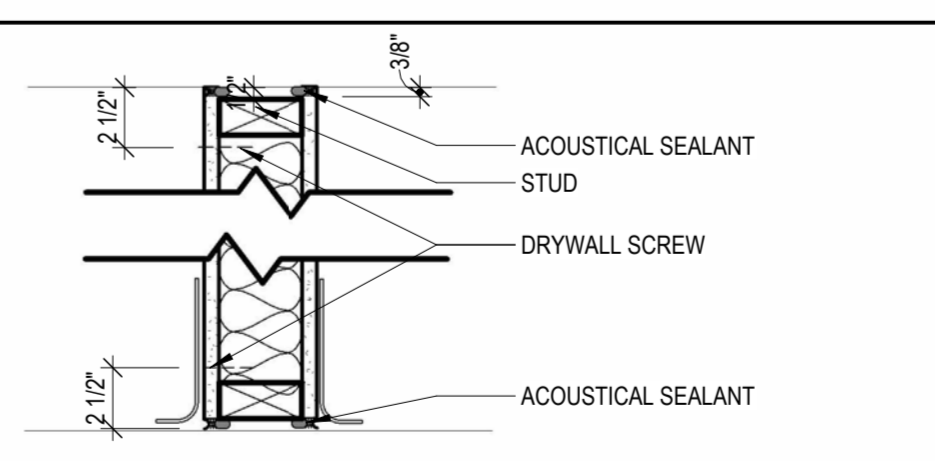
**F-2 CONCRETE SLAB ON GRADE, INSULATED - CRAWLSPACE & AUDITORIUM**



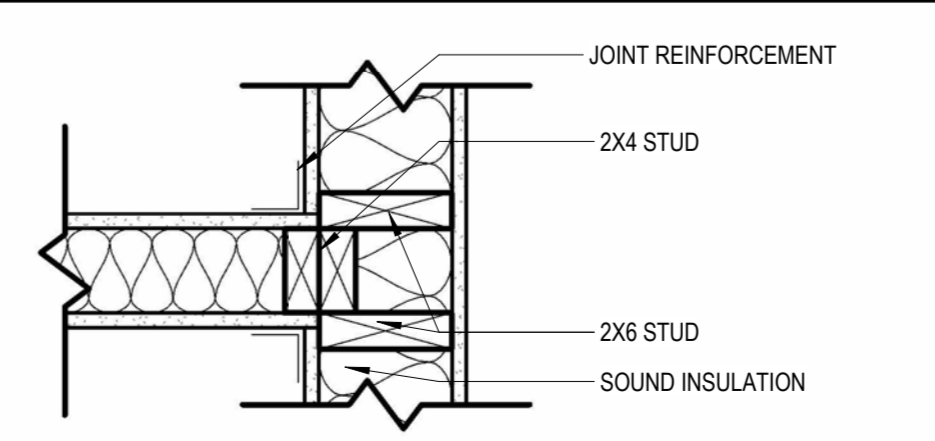
**TYPICAL WALL INTERSECTION OF 2X4 PARTITIONS**  
UL NO. U333 1 HOUR RATED



**TYPICAL TOP OF WALL AT FIRE PARTITIONS AND DEMISING WALL**



**INTERIOR PARTITION DETAIL**  
TYPICAL TOP AND BOTTOM OF AN STC RATED WALL



**TYPICAL WALL INTERSECTION OF 2X6 & 2X4 PARTITION**  
UL NO. U379 1 HOUR RATED

**STAMP**

**DESIGN DEVELOPMENT**

**REVISIONS**

NO.	DATE	DESCRIPTION

**ASSEMBLY TYPES & SCHEDULES**

SCALE: 1 1/2" = 1'-0"  
DATE: 12/03/2025  
DRAWN: Author  
CHECKED: Checker

**A8.00**

### Morrison Meeting House

256 MAMMOTH RD  
LONDONDERRY, NH, 03053

PROJECT NO: 1041

#### REARCH CONSTRUCTION

325 CORPORATE DRIVE  
PORTSMOUTH, NH 03801  
802.863.8727

#### STRUCTURES NORTH

60 WASHINGTON ST # 401  
SALEM, MA 01970  
978.745.6817

STAMP

### DESIGN DEVELOPMENT

#### REVISIONS

NO.	DATE	DESCRIPTION

### STRUCTURAL PLANS

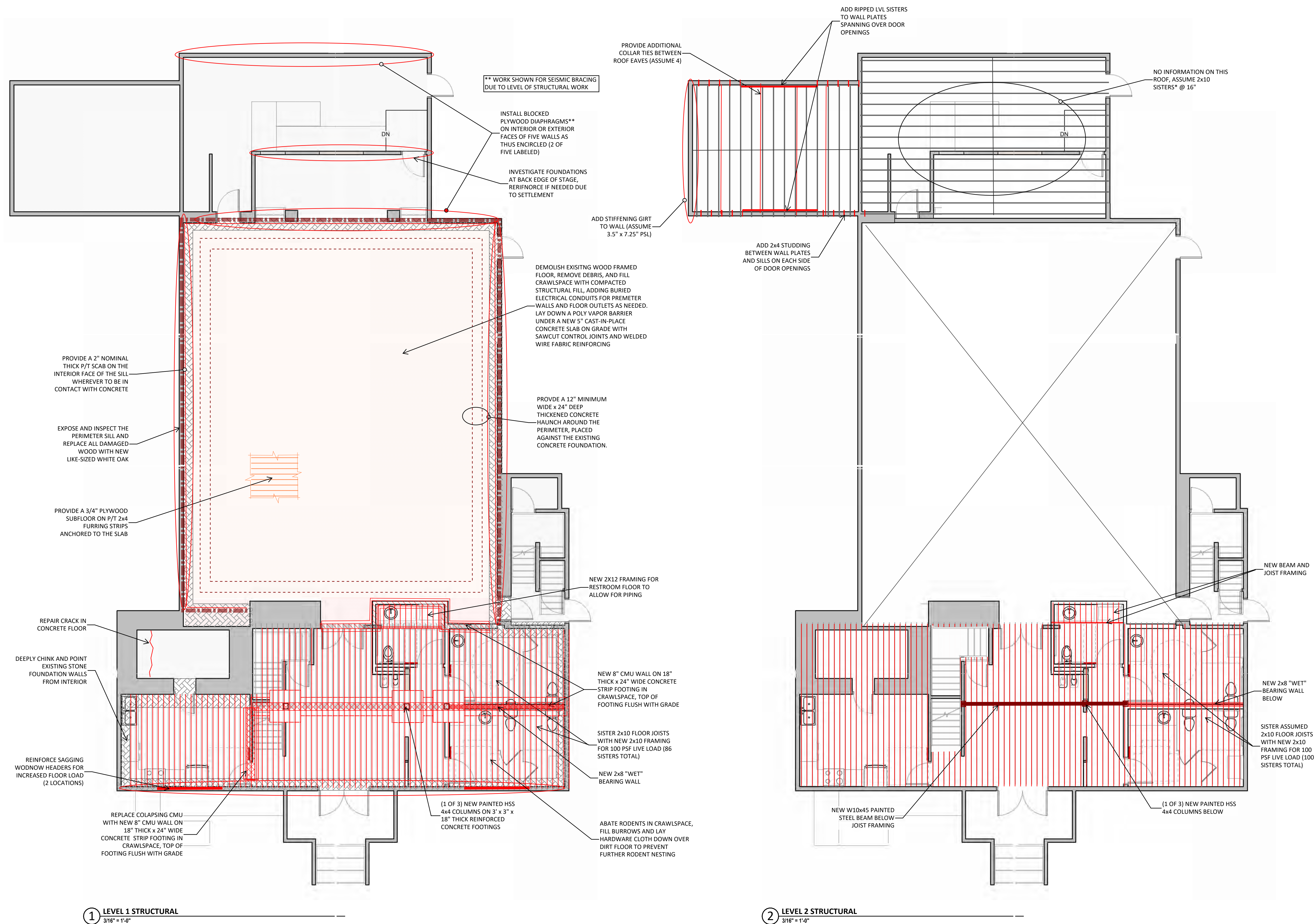
SCALE: 1/8" = 1'-0"

DATE: 11/26/2025

DRAWN: Author

CHECKED: Checker

# PS.01



1 LEVEL 1 STRUCTURAL  
3/16" = 1'-0"

2 LEVEL 2 STRUCTURAL  
3/16" = 1'-0"

### Morrison Meeting House

256 MAMMOTH RD  
LONDONDERRY, NH, 03053

PROJECT NO: 1041

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STAMP

#### DESIGN DEVELOPMENT

#### REVISIONS

NO.	DATE	DESCRIPTION

#### STRUCTURAL PLANS

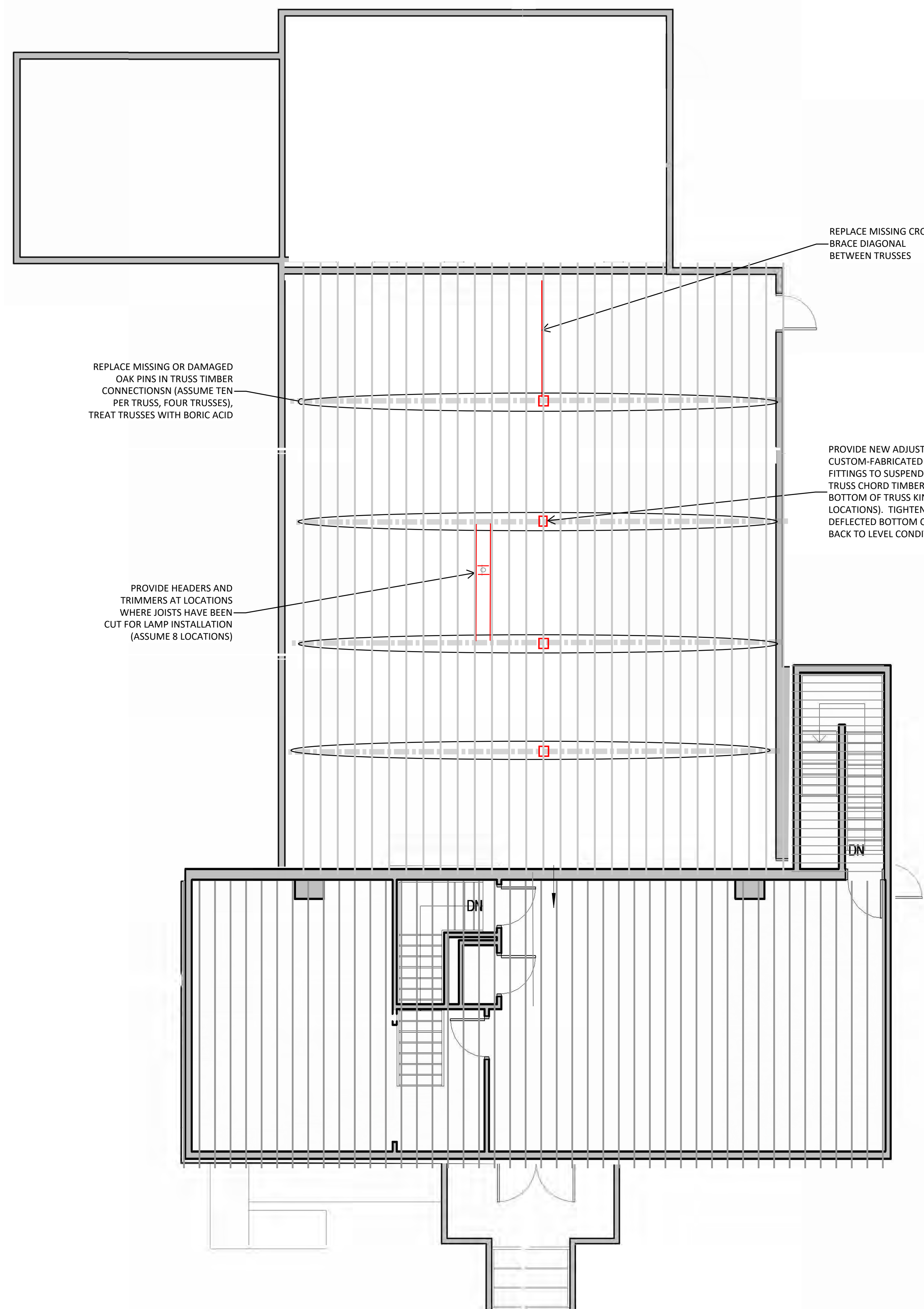


SCALE: 1/8" = 1'-0"

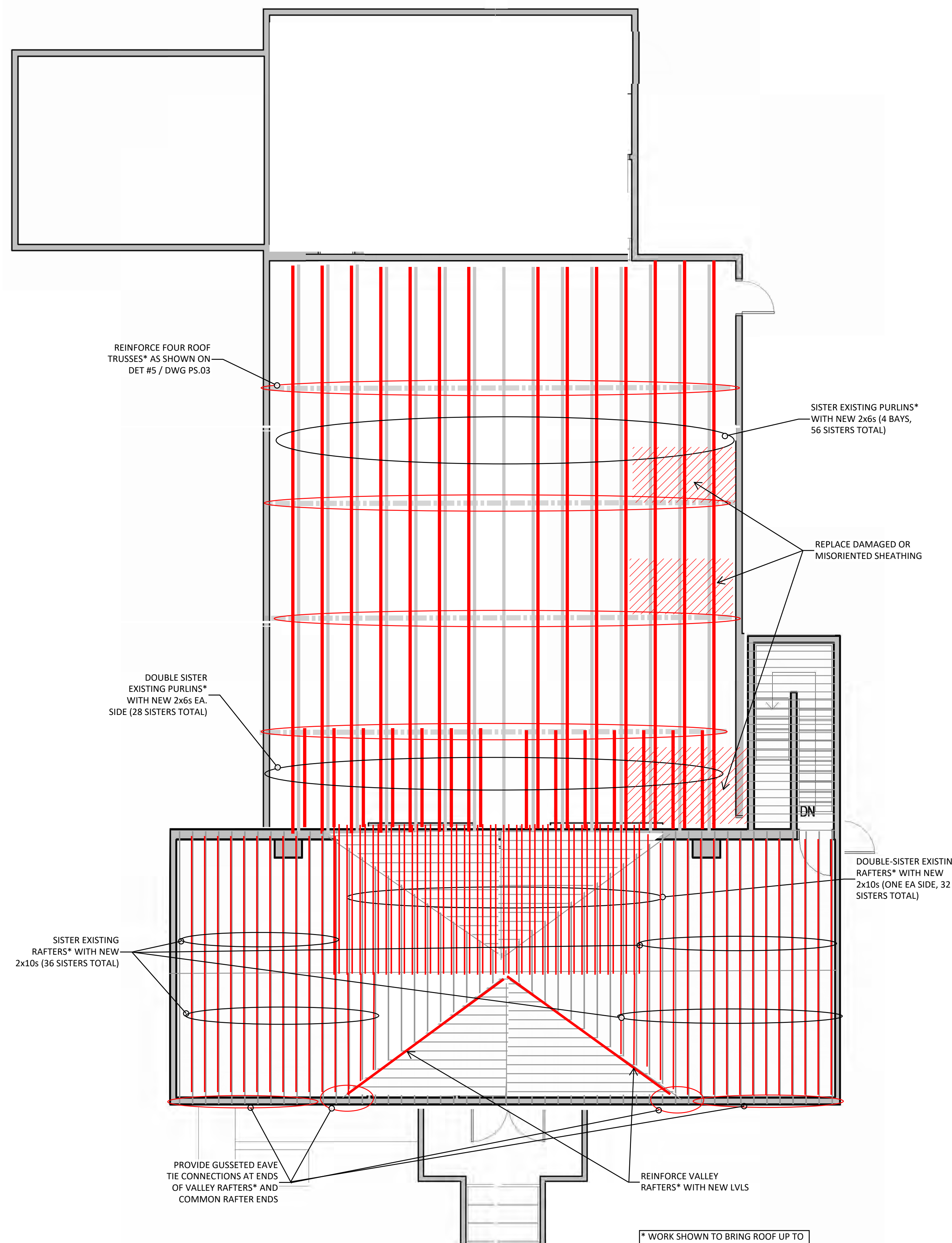
DATE: 11/26/2025

DRAWN: Author

CHECKED: Checker



3 ATTIC LEVEL STRUCTURAL  
3/16" = 1'-0"



4 ROOF LEVEL STRUCTURAL  
3/16" = 1'-0"

**Morrison Meeting House**

256 MAMMOTH RD  
LONDONDERRY, NH, 03053

PROJECT NO: 1041

**REARCH CONSTRUCTION**

325 CORPORATE DRIVE  
PORTSMOUTH, NH 03801  
802.863.8727

**STRUCTURES NORTH**

60 WASHINGTON ST # 401  
SALEM, MA 01970  
978.745.6817

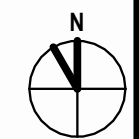
STAMP

**DESIGN DEVELOPMENT**

**REVISIONS**

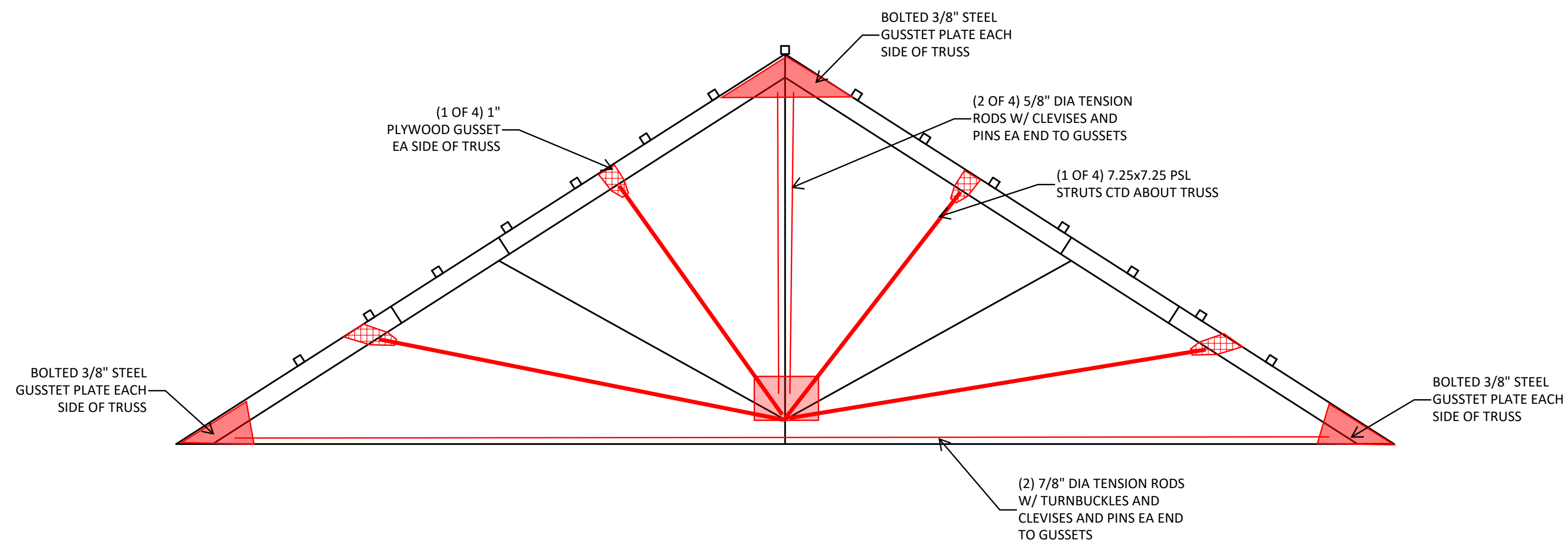
NO.	DATE	DESCRIPTION

**TRUSS REINFORCEMENT**



SCALE: 1/8" = 1'-0"  
DATE: 11/26/2025  
DRAWN: Author  
CHECKED: Checker

**PS.03**



5 ROOF TRUSS REINFORCING

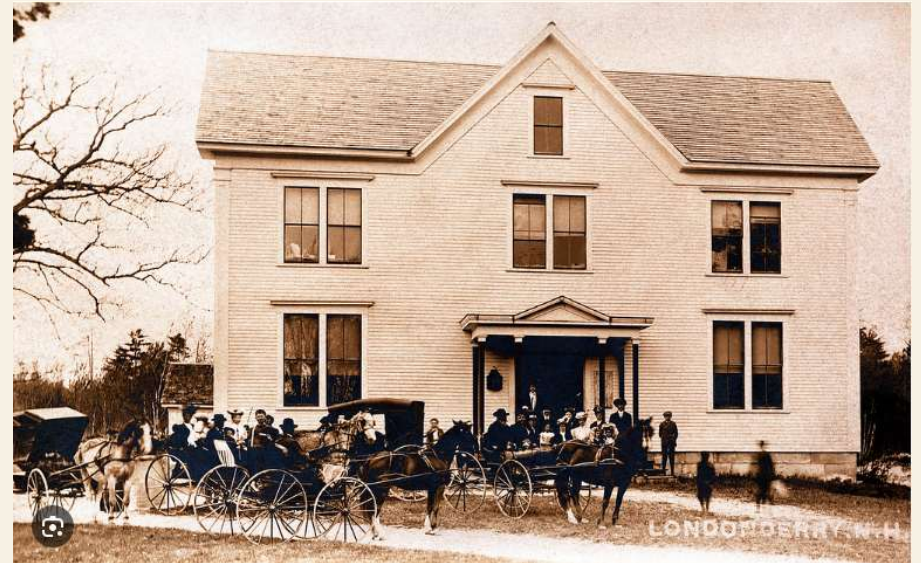
# *Reverend William Morrison Meetinghouse*



Preserving Londonderry's History

# The Meetinghouse History

- Reverend William Morrison was the most respected and influential minister to serve the Londonderry West Parish. His ministry lasted from 1783 until his death in 1818. The Meetinghouse was the third to be built to serve the West Parish but it was the first that was used for an extended period of time.
- Late in 1769 the Parish held a meeting to determine the location for a new meetinghouse. Henry Campbell's tobacco yard was chosen. Henry was John Mack's son-in-law. John's first purchase, when he arrived in 1734, was fifty acres of land on Pillsbury Road. John built his home on that land at the southwesterly corner of the Hardy Road intersection
- In 1770 Henry donated an acre of the land "out of Love & good will I bear to the Inhabitants of the New Parish in Londonderry aforesd for the use of said parishioners for to build a meeting house for a place of public Worship." That one acre was on the hill at the northeasterly side of Pillsbury Road.
- The Meetinghouse was used for both religious and civil purposes from its construction in 1770 until 1837, when the congregation removed to the present Presbyterian Church. In 1845 the old Meetinghouse was moved to its present location by the Common, where it became the Town Hall. Town Meetings were held here until 1968. The tall front attachment was added in the Victorian period and housed the Selectmen's offices, the Library and, for a short while, a school. Under threat of demolition, it was leased by the Lions Club in 1976 and used by them until recently.



# A Look at The Town's History



# The Meetinghouse Today



## Keeping Town History

- Londonderry is a town full of history, from the farms to the apple orchards to the buildings and the people.
- One of Londonderry's last, true, small-town-feeling places is in and around the town center. We need to preserve this for future generations.
- The Meetinghouse is not just a building; it is a piece of the town's past and an emblem of its historical significance. It is how we want to represent the future of our town.

# Phase One: Needs and Action Items



## The Needs

- Understand what is needed to meet Town codes
- Understand the overall stability of the building
- Understand the costs of renovating
- Understand the cost of water diversion
- Understand the needs of a GM for the project

## Action Items

- Step 1
  - Initial code inspection
    - Informal information obtained
  - Structural engineer
    - The Committee will need Town funds
      - Estimated Cost: In process
- Step 2
  - Obtain quotes for renovation
  - Obtain quotes for water diversion
  - Potential need to obtain quotes for structure
  - Potential need to obtain quotes for GM
- Step 3
  - Present to the Town Council
  - Present for Town vote

# Option A



Rental Hall Open to the Public (no kitchen)

## Use and Information

- The building would stay as it currently stands with some enhancements to ensure not only the structural integrity of the building but also compliance with current building codes.
- This option would allow the public to rent the building for approved uses.
- The kitchen would be removed, and the area would be updated to accommodate a serving area for catering & food cooked offsite.

## The Needs

- Minimum updates:
  - Electrical
  - Restrooms / Plumbing
  - Fire Detection and Alarm System
  - Kitchen Removal
  - Ensuring ADA compliance
  - HVAC
  - Main Hall Floor
  - Exterior Water Diversion
  - Exterior Rot

# Option A Benefits and Drawbacks

Rental Hall Open to the Public (no kitchen)

## Top Benefits

- Lowest renovation cost option
- Another space for affordable public use (rental)
- Another location the Town can use for public needs during poor weather conditions (cooling shelter, warming shelter, etc.)
- Best way to keep and preserve the town's history

## Top Drawbacks

- Another space for affordable public use (rental)
- Potentially low/slow return on investment
- Potential for the Town to cover all maintenance and utilities costs if there is low rental use
- Potential for pulling rentals from the Historical Society barn and the hall at the Senior Center

# Option B

Rental Hall Open to the Public (with kitchen)

## Use and Information

- The building would stay as it currently stands with some enhancements to ensure not only the structural integrity of the building but also compliance with current building codes.
- This option would allow the public to rent the building for approved uses.
- The kitchen would be updated to allow renters to bring in and cook food.

## The Needs

- Minimum updates:
  - Electrical
  - Restrooms / Plumbing
  - Fire Detection and Alarm System
  - Kitchen
  - Ensuring ADA compliance
  - HVAC
  - Main Hall Floor
  - Exterior Water Diversion
  - Exterior Rot

# Option B Benefits and Drawbacks

Rental Hall Open to the Public (with kitchen)

## Top Benefits

- Another space for affordable public use (rental)
- Another location the Town can use for public needs during poor weather conditions (cooling shelter, warming shelter, etc.)
- Best way to keep and preserve the town's history

## Top Drawbacks

- Higher cost than option A
- Another space for affordable public use (rental)
- Potentially low/slow return on investment
- Potential for the Town to cover all maintenance and utilities costs if there is low rental use
- Potential for pulling rentals from the Historical Society barn and the hall at the Senior Center

# Option C

## Demolition of Building


### Use and Information

- None

### The Needs

- Minimum
  - Demolition of the building
  - Demolition of patio
  - Removal of septic

# Option C Benefits and Drawbacks



## Demolition of Building

### Top Benefits

- Lowest cost
- No recurring cost for the Town

### Top Drawbacks

- The Town would lose a piece of history
- The Town would lose out on possible future revenue

# Option D

Sale of Building and Land

## Use and Information

- None

## The Needs

- Minimum
  - Work with a realtor

# Option D Benefits and Drawbacks



## Sale of Building and Land

### Top Benefits

- No cost to the Town
- No recurring cost for the Town
- The Town would gain tax revenue

### Top Drawbacks

- The Town would lose a piece of history
- The Town would lose out on possible future revenue

# Options Cost & Potential Revenue

## Phase One (Estimated Numbers)

Options	Potential Low-Cost Estimate	Potential High-Cost Estimate	Potential Recurring Yearly Cost	Potential Revenue
Rental Hall (No Kitchen)	\$800,500	\$1,200,000	\$8,000 to \$12,000	\$10,000 to \$15,000
Rental Hall (With Kitchen)	\$950,000	\$1,650,000	\$8,000 to \$12,000	\$5,000 to \$10,000
Demolition of Building	\$100,000	\$250,000	\$0	\$0
Sale of Building and Land	\$0	\$0	\$0	\$813,600 + Tax Intake

# Marketing & Funding

## How to Market and Obtain Funding

### Marketing

- Ads in the *Londonderry Times*
- Mailers
- Flyers at local businesses
- Open at Town and public events
- Signs and a fundraising thermometer outside the Meetinghouse
- Place a presentation on the Town website

### Funding

- Residents
  - Warrant article
- Local Businesses
  - Donation of services
  - Donation of goods
- Grants
  - Government (state & federal) and private
- Fundraisers / Financial Donations
  - GoFundMe
  - Local business financial donations
  - Meetinghouse events

# Phase Two Action Items Needed

## The What and How

### The Needs

- Understand the cost of a design engineer
- Understand what is needed to meet Town codes based on the new potential use
- Understand the costs of renovating for the next phase of the project
- Understand the needs of a GM for the next phase of the project

### Action Items

- Step 1
  - Obtain quotes for design engineer
- Step 2
  - Determine Town code needs based on phase 2 project designs
  - Obtain quotes for renovation based on phase 2 project designs
  - Potential need to obtain quotes for GM
- Step 3
  - Present to the Town Council
  - Market to Town
  - Present for Town vote

# Option A

Rental Hall Open to the Public and Performing Arts (no kitchen)

## Use and Information

- The main portion of the building would receive an addition on the back of the building with some additional enhancements to ensure not only the structural integrity of the building but also compliance with current building codes.
- This option would allow the public to rent the building for any use, including expanded opportunities for the visual and performing arts.
- The kitchen would be removed, and the bathrooms would also need to be moved to a better location.

## The Needs

- Minimum Updates
  - Electrical
  - Fire Detection and Alarm System
  - Kitchen Removal
  - Ensuring ADA compliance
  - HVAC
  - Main Hall Floor
  - Exterior Water Diversion
  - Exterior Rot
- Large Updates
  - Building expansion and parking
  - Restrooms / Plumbing
  - Sprinklers

# Option A Benefits and Drawbacks

## Rental Hall Open to the Public and Arts

### Top Benefits

- The only location in Town for visual and performing arts
- Another space for affordable public use (rental)
- Another location the Town can use for public needs during poor weather conditions (cooling shelter, warming shelter, etc.)
- Best way to keep and preserve the town's history

### Top Drawbacks

- There would be renovation costs in addition to phase 1
- Higher cost of renovation than option B within phase 2
- Another space for affordable public use (rental)
- Potentially low/slow return on investment
- Potential for the Town to cover all maintenance and utilities costs if there is low rental use
- Potential for pulling rentals from the Historical Society barn and the hall at the Senior Center

# Option B

## Commercial Space for Restaurant or Other Business

### Use and Information

- The main portion of the building would stay as it currently stands with a small (limited) expansion on the back for additional use.
- The interior of the building would also need some reconfiguration to fit the tenant's needs
- This option would give the center of Londonderry some well-needed food service and serve as a spot for students & residents to have a place to go for lunch

### The Needs

- Minimum Updates
  - Electrical
  - Fire Detection and Alarm System
  - Kitchen reconfiguration
  - Ensuring ADA compliance
  - HVAC
  - Main Hall Floor
  - Exterior Water Diversion
  - Exterior Rot
- Large Updates
  - Restrooms / Plumbing
  - Space updates
  - Sprinklers

# Option B Benefits and Drawbacks

Commercial Space for Restaurant or Other Business

## Top Benefits

- Renovation costs are lower than option A
- There would be no yearly recurring cost to the Town as it would be on the tenant
- The return on investment would be high/fast due to the rental income
- The town would be making a profit post-ROI
- Would add another restaurant in Town in an area without food options
- Good way to keep, showcase, and preserve the town's history (including for out-of-town people)

## Top Drawbacks

- There would be renovation costs in addition to phase 1
- Unable to use for public needs during poor weather conditions (cooling shelter, warming shelter, etc.)
- The town would need to find a suitable tenant

# Options Cost & Potential Revenue

## Phase Two (Estimated Numbers)

Options	Potential Low-Cost Estimate	Potential High-Cost Estimate	Potential Recurring Yearly Cost	Potential Revenue
Rental Hall (No Kitchen)	\$4,500,000	\$8,000,000	\$10,000 to \$14,000	\$10,000 to \$20,000
Commercial Space	\$2,500,000	\$4,500,000	\$0	\$36,000 to \$60,000

# Marketing & Funding

## How to Market and Obtain Funding

### Marketing

- Ads in the *Londonderry Times*
- Mailers
- Flyers at local businesses
- Open at Town and public events
- Signs and a fundraising thermometer outside the Meetinghouse
- Place a presentation on the Town website

### Funding

- Residents
  - Taxes
- Financial Donations
  - GoFundMe
  - Set up at local events to collect donations
- Visual and Performing Arts
  - Hold visual and performing arts fundraising events in the current space
- Commercial Use
  - Find a suitable renter to carry the additional cost and negotiate a minimal rent cut for an agreed-upon timeline

1                                   **Londonderry Town Council Minutes**  
2                                   **Monday, September 23, 2024**  
3                                   **7:00 p.m.**  
4                                   **Moose Hill Council Chambers**

5  
6 **Meeting Link:** <http://173.166.17.35/CablecastPublicSite/show/12702?channel=4>  
7

8 **Attendance:** Chair Chad Franz; Vice Chair Ted Combes; Councilors John Farrell, Ron Dunn,  
9 Shawn Faber; Town Manager Mike Malaguti; Town Attorney Megan Carrier  
10

11 **CALL TO ORDER**

12  
13 Chair Franz called the Town Council meeting to order at 7:00 p.m. Franz led the Pledge of  
14 Allegiance followed by a moment of silence in remembrance of those who have died in traffic  
15 accidents. Franz asked the public to remember to drive carefully and mindfully.  
16

17 **PUBLIC COMMENT**

18  
19 Chair Franz opened public comment.  
20

21 **Name:** Bo Butler, Fire Chief

22 Chief Butler recognized new firefighters who have recently joined the Londonderry Fire  
23 Department.  
24

25 **Name:** Jason L'Etoile

26 **Address:** 72 West Rd

27 L'Etoile expressed his frustration about the volume of truck traffic and speeding past his house on  
28 West Road. Chief of Police Kim Bernard responded to share that PD has been working L'Etoile  
29 for over a year to work on this challenge. Councilor Farrell asked if it was a trucking-restricted  
30 road. Bernard stated it is. Farrell clarified that it is getting attention. Bernard confirmed it is. Farrell  
31 asked L'Etoile to keep a log of trucking activity. Chair Franz suggested that L'Etoile continue to  
32 call PD non-emergency dispatch when it happens.  
33

34 **Name:** Caridad Silvera

35 **Address:** 70 West Rd

36 Silvera is asking that the Council help residents with the speeding issue on West Road. Chair Franz  
37 asked Town Manager Malaguti if they could amend Ordinance 2024-10 to include West Road  
38 during the public hearing later in the meeting. Malaguti suggested that they shouldn't amend it  
39 without notice. Councilor Faber requested that they take a measured approach to dealing with this  
40 as it is a town-wide issue. Franz observed that a town-wide speed limit was voted down in a recent  
41 Town election. Farrell suggested that a town-wide limit would make the PD's job more  
42 straightforward. Franz asked to table this issue for further discussion in the future.  
43

44 **Name:** Tynar Valentin

45 **Address:** 31 Mountain Home Rd

46 Valentin is in favor of the proposed short-term rental ordinance. She and her neighbors have

47 experienced issues with a short-term rental in her neighborhood during the past year and a half.  
48 She suggested they add a maximum occupancy rate of ten guests per property and an annual  
49 registration fee.

50

51 **Name:** Wagner Dos Santos

52 **Address:** 34 Mountain Home Rd (owner)

53 Dos Santos is the owner of the property currently being used as a short-term rental on Mountain  
54 Home Road. Dos Santos stated that the home used to be owner-occupied and he intends to live  
55 there again in the future. He is in favor of registration of short-term rental properties in  
56 Londonderry as it will aid owners in responding appropriately to issues in a timely fashion.

57

58 **Name:** Debbie Desrochers, Assistant Clerk

59 Desrochers provided a dog registration update. Last year at this time, over 900 dogs remained  
60 unregistered. This year, as of today, only 162 remain unregistered. The Animal Control officer and  
61 Clerks' Department have worked hard to get this number down and she encourages everyone to  
62 register their dogs in a timely manner.

63

64 **Name:** Sherry Farrell, Town Clerk

65 Farrell stated that in advance of the General Election on November 5, the New Hampshire  
66 Secretary of State's office has introduced a program called "Vote in Honor of a Veteran." Voters  
67 can sign up on the Secretary of State's website and write a tribute to a veteran or active-duty  
68 military member, and the voter will be sent a pin to wear on Election Day. Farrell stated that she  
69 wrote a tribute in honor of Chair Franz.

70

71 **Name:** Councilor John Farrell

72 Councilor Farrell stated that the Town is moving into budget season, and the Town's governing  
73 body needs to be mindful of rising prices in all parts of the economy, and focus on what is really  
74 needed for the community.

75

76 Chair Franz closed public comment.

77

78 **NEW BUSINESS**

79

80 **Memorandum of Understanding for a Behavioral Health Hospital at 6 & 10 Innovation Way**  
81 **to Address Safety Policies and Demand on Municipal Resources**

82

83 Attorney Carrier stated that there is an 89,000 sq ft behavioral health hospital proposed at 6 & 10  
84 Innovation Way by Tarrytown Real Estate Holdings, Inc. Carrier is representing the Town in this  
85 negotiation. On May 1, 2024, the Planning Board granted conditional approval of a site plan  
86 application with one condition being that the applicant enter into a Memorandum of Understanding  
87 (MOU) with the Town on safety policies and the impact that the proposed use would have on  
88 resources, and that the Town Council issue their approval of that MOU. The Town and the  
89 applicant agree on safety policies. Negotiations primarily revolved around identifying and  
90 assessing the impact on municipal resources, especially on first responders. The Town has  
91 supported their monetary proposals with data. The applicant put forward a draft of the agreement  
92 proposing a \$4 million payment. The Council directed Attorney Currier to respond with a revised

93 draft agreeing to the \$4 million amount with an added provision that, beginning four years after  
94 occupancy, the parties would conduct an annual review to balance tax revenues against the  
95 demand. The applicant sent back a revised draft rejecting the annual review balancing process and  
96 increasing the payment to \$5 million and agreeing that any future adjustments of the site plan  
97 would require revisiting the MOU. This document is in the one that the Council is voting on today.  
98

99 Chair Franz opened discussion with the Council. Vice Chair Combes suggested moving forward  
100 with the agreement as it stands. Councilor Dunn disagreed, as he believes that the annual balancing  
101 review is in the best interest of the taxpayer whereas this agreement is not. Councilor Faber agreed  
102 with Dunn, stating that without protections in place the liability to taxpayers is too great. Councilor  
103 Farrell asked that they look at state law. The Council granted a rezoning for the applicant, and the  
104 applicant has an approved plan with this one condition. The applicant followed the law. Farrell  
105 believes this offer to be reasonable and better protection for the community than in most situations,  
106 making this in the best interest of the Londonderry taxpayer. Franz clarified that the rezoning  
107 added hospital as a permitted use in the Gateway Business District, which is the extent of what the  
108 Council has approved. Franz expressed concern over the drain on Town resources that one call for  
109 service at the facility might place on first responders and what that might mean for the availability  
110 of emergency services for the entirety of the Town.  
111

112 Councilor Farrell asked Chief Bernard about his thoughts about the agreement. Bernard stated that  
113 the need for the PD is six, and that he believes the presented dollar amount could cover this need  
114 for police services over approximately a five-year time frame. Farrell asked Chief Butler about his  
115 thoughts on the agreement. Butler stated that any new building adds more need for fire department  
116 services. From researching other communities with similar facilities, Butler determined that the  
117 average increase for calls for service is one per day. Butler stated that it is his experience in  
118 Londonderry that actual calls have exceeded predictions made during development.  
119

120 Attorney Ari Pollack of Gallagher, Callahan & Gartrell, representing the applicant, asked to speak  
121 and Chair Franz assented. Pollack summarized negotiations to this point. He stated that the  
122 applicant had worked to gather data to back up assumptions made during the negotiations. Pollack  
123 stated that the applicant had decided to give the Town funds to use for an endowment in addition  
124 to the property's annual tax payment. Pollack stated that this would not end the relationship  
125 between the applicant and the Town.  
126

127 Faber stated that a common theme is that nobody can predict the future and the only way he can  
128 see fit to move forward is to revisit the agreement once everyone has access to solid data and will  
129 not support the agreement without it. Farrell stated that the applicant rejected that, added the  
130 additional \$1 million, and the Council is doing the best that they can for taxpayers. Franz stated  
131 that the Town's proposals in negotiations were reasonable, and that reasonable people can disagree  
132 on their interpretation.  
133

134 Vice Chair Combes made a motion to approve the current version of the Memorandum of  
135 Understanding for a Behavioral Health Hospital at 6 & 10 Innovation Way to Address Safety  
136 Policies and Demand on Municipal Resources. Councilor Farrell seconded the motion.  
137

Chad Franz	No
------------	----

Ted Combes	Yes
John Farrell	Yes
Ron Dunn	No
Shawn Faber	No

138

139 The motion failed 2-3-0 and the Council rejected the current draft of the MOU.

140

141 **Reverend Morrison Meetinghouse Study Committee Presentation**

142

143 Derek D’Anna, Vice Chair of the Committee, and Larry Casey, full member, presented. D’Anna  
 144 presented options for a phased approach, where Phase One would result in the first floor being  
 145 opened as a functional hall with or without a kitchen, including needs, action items, and potential  
 146 funding sources. He stated that the next step would be to get a structural analysis. Carey stated that  
 147 the Town has a responsibility to ensure safety and avoid liability risks for the Town, and we need  
 148 to keep in mind the long-term goal for the building as we move forward with short-term  
 149 improvements. The Committee is looking to invite engineering firms to look at the building and  
 150 provide estimates for a structural analysis, including ARCove Architects from Portsmouth.

151

152 Chair Franz asked Town Manager Malaguti what the next steps would be. Malaguti replied that  
 153 getting a estimate for structural analysis is first, followed by confirming a funding source for it,  
 154 then evaluate the function of the Committee moving forward.

155

156 Chair Franz granted permission for Gerry Gulezian, 14 Brookview Dr, to speak on the  
 157 presentation. Gulezian is a long-term member of the Londonderry Lions Club and spoke to its  
 158 history in the Town and in the building. Gulezian suggested that the Town re-enter a partnership  
 159 with the Lions Club to pay for and reopen the building.

160

161 Vice Chair Combes left the meeting.

162

163 **Master Plan Update**

164

165 Master Plan Steering Committee Chair Jeff Penta and Planning Board Chair Jake Butler presented.  
 166 Butler stated that his priorities as Planning Board chair are a thorough review of processes &  
 167 regulations, and updating the Town’s 2013 Master Plan. NH RSA 674:1 states that the Planning  
 168 Board is charged by the State to maintain and update a Master Plan for the Town. Butler stated  
 169 that since the Town doesn’t look the same as it did in 2013, a refreshed Master Plan will help  
 170 redefine the vision that the community has for Londonderry. Butler reported that the Master Plan  
 171 Steering Committee has been working to gather public input. Penta reported that the first Master  
 172 Plan survey deals with community vision, land use, and transportation. To date, they have 1,219  
 173 responses. Penta thanked the Committee’s volunteers for their extensive efforts. Penta reviewed  
 174 some of early data on the demographics of the respondents so far.

175

176 Councilor Farrell asked how long the Master Plan will take until they start amending zoning  
 177 ordinances and site plan regulations, because the Zoning Board of Adjustment is busy. Butler

178 replied that he estimates 6-9 months, and that revisions don't need to all wait until the end of the  
 179 process, and the Committee and Board are both working diligently on both Plan and revisions.

180  
 181 Butler invited any other Master Plan or Planning Board leadership to share their input. Planning  
 182 Board Vice Chair Art Rugg pointed out that RSA 674:2 states that ordinances and regulations must  
 183 align with the Master Plan; otherwise, they can be challenged in court. Butler stated that Town  
 184 staff and the boards are working together extremely well.

185  
 186  
 187 **Resolution 2024-25: Acceptance of Unanticipated Revenue Under RSA 31:95-b III(a);**  
 188 **Highway Safety Grant**

189  
 190 Councilor Dunn made a motion to approve Resolution 2024-25. Seconded by Councilor Faber.  
 191

Chad Franz	Yes
Ted Combes	Absent
John Farrell	Yes
Ron Dunn	Yes
Shawn Faber	Yes

192  
 193 Motion passed 4-0-0. Resolution 2024-25 is adopted.

194  
 195 **Order 2024-12: Withdrawal from the Master Plan Capital Reserve Fund**

196  
 197 Town Manager reported that this is a request to withdraw \$6,235.90 from the Master Plan Capital  
 198 Reserve Fund, which has over \$69,000 in it.

199  
 200 Vice Chair Combes returned to the meeting.

201  
 202 Councilor Dunn made a motion to approve Order 2024-12. Seconded by Councilor Faber.  
 203

Chad Franz	Yes
Ted Combes	Yes
John Farrell	Yes
Ron Dunn	Yes
Shawn Faber	Yes

204  
 205 Motion passed 5-0-0. Order 2024-12 is adopted.  
 206

207 **Ordinance 2024-11: An Amendment to the Zoning Ordinance Relative to Section 2 Adding**  
 208 **the Definition of “Abutter” (first reading)**

209  
 210 Councilor Faber made a motion to waive the first reading of Ordinance 2024-11. Seconded by  
 211 Vice Chair Combes.

212

Chad Franz	Yes
Ted Combes	Yes
John Farrell	Yes
Ron Dunn	Yes
Shawn Faber	Yes

213  
 214 Motion passed 5-0-0. The first reading of Ordinance 2024-11 is waived.

215  
 216 **PUBLIC HEARINGS**

217  
 218 Vice Chair Combes moved to open the public hearings. Councilor Dunn seconded.

219

Chad Franz	Yes
Ted Combes	Yes
John Farrell	Yes
Ron Dunn	Yes
Shawn Faber	Yes

220  
 221 Motion passed 5-0-0. The Council is in public hearings.

222  
 223 **Ordinance 2024-09: An Amendment to the Zoning Ordinance Relative to Rezoning Map 10,**  
 224 **Lot 45 – 42 Ash Street**

225  
 226 Kevin Smith presented on behalf of Pillsbury Realty Development. Eli Long, John Sokul and Peter  
 227 Hines of Trammell Crow were also present. Smith stated that Pillsbury Realty recently entered  
 228 into an agreement with Trammell Crow to develop approximately 113 acres to the south of the  
 229 new Old Rum Trail where Exit 4A is being built. Smith is asking for a rezoning of a portion that  
 230 is approximately 28 acres. The zoning underlying the PUD is currently all IND-I, except for this  
 231 one, which is AR-I, and they are looking to make all the zoning congruent. Smith stated that the  
 232 Planning Board has approved this rezoning. Town Manager Malaguti informed the Council that  
 233 abutter notification had been made by certified mail and the standard that the Council will be using  
 234 is health, safety, general welfare, and consistency with the Master Plan

235

236 **Name:** John Wilson  
 237 **Address:** 3 Tranquil Dr  
 238 Wilson asked for assurance that the parcel would not be used as a road coming out onto Ash St.  
 239 Smith stated that there was no plan for that.

240  
 241 **Name:** Stephanie Miville  
 242 **Address:** 15 Raintree Dr  
 243 Miville asked why the zoning was left off when the Woodmont Master Plan was being developed.  
 244 Councilor Farrell stated that it was put into place over existing zoning in such a way that it had to  
 245 go back to the Planning Board and Town Council. Miville asked about what looks like a driveway  
 246 leading to Ash St. Malaguti replied that looks like the legally required frontage. Smith reiterated  
 247 that there had been no discussion on that yet as it would be part of a site plan.

248  
 249 Vice Chair Combes moved to approve the rezoning as amended in Ordinance 2024-09. Seconded  
 250 by Councilor Faber.

251

Chad Franz	Yes
Ted Combes	Yes
John Farrell	Yes
Ron Dunn	Yes
Shawn Faber	Yes

252  
 253 Motion passed 5-0-0. Ordinance 2024-09 is adopted.

254  
 255 **Ordinance 2024-10: An Amendment to the Municipal Code, Title II Traffic Safety Code,**  
 256 **Chapter IX – Speed Limits/Trucking Regulations**

257  
 258 Town Manager Malaguti stated that this Ordinance effectuates the changes that the Council  
 259 previously requested to lower the speed limit on Gilcreast Road and post Griffin Road as no thru  
 260 trucking.

261  
 262 **Name:** Tony DeFrancesco  
 263 **Address:** 1 Cheshire Ct  
 264 DeFrancesco says that this is a great start, but this is just one small step. He said that he sees stop  
 265 signs without cross-streets all over New England. DeFrancesco also stated that he believes that the  
 266 Town Manager is doing well.

267  
 268 Vice Chair Combes moved to approve the amendment in Ordinance 2024-10.

269  
 270 Prior to a second, Councilor Farrell asked if it could be continued to the next meeting in order to  
 271 add West Road. Malaguti affirmed that was the case.

272  
 273 Combes withdrew his motion. The Ordinance is tabled until the October 7, 2024 meeting.

274  
 275 Councilor Farrell motioned to close the public hearings. Vice Chair Combes seconded.  
 276

Chad Franz	Yes
Ted Combes	Yes
John Farrell	Yes
Ron Dunn	Yes
Shawn Faber	Yes

277  
 278 Motion passed 5-0-0. Public hearings are closed.  
 279

280 **OLD BUSINESS**

281  
 282 **Possible State Legislative Changes (continued)**

283  
 284 Councilor Dunn asked Planning Board Chair Butler to return to the podium for this portion of the  
 285 meeting. Dunn asked Butler his thoughts about getting together people in the Rockingham County  
 286 region to discuss growth, traffic planning, and land use. Butler agreed that it was a good idea. Dunn  
 287 asked Butler if he saw any current regulation inhibiting Londonderry. Butler stated that there may  
 288 be, but he'd like to wait to discuss this until they have survey results back from the Master Plan  
 289 Steering Committee. Councilor Farrell pointed out that the current Growth Management  
 290 Ordinance is inefficient and there need to be legislative changes made to alter the trigger points  
 291 where it can go into effect. Dunn asked Butler to continue to consider what input the Planning  
 292 Board might have.

293  
 294 **Managing and Responding to Growth and Development**

295  
 296 Town Manager Malaguti gave a presentation about options for responding to the rapid growth that  
 297 is happening in Southern New Hampshire. Malaguti stated that the tools in place include  
 298 conservation funding, traffic projects, and regulatory changes. He made suggestions for managing  
 299 growth including traffic impact fees, the growth management ordinance, and ADUs. Regulatory  
 300 changes that have happened or are pending in 2024 focus on stormwater regulations, process  
 301 improvements, and the Master Plan updates.

302  
 303 **APPROVAL OF MINUTES**

304  
 305 Vice Chair Combes moved to approve the minutes from September 16, 2024. Seconded by  
 306 Councilor Dunn.

307

Chad Franz	Yes
Ted Combes	Yes

John Farrell	Abstained
Ron Dunn	Yes
Shawn Faber	Yes

308  
309 Motion passed 4-0-1.

310  
311 **LIAISON REPORTS**

312  
313 Chair Franz: The School Board voted unanimously to move kindergarten to the elementary  
314 schools, leaving space in Moose Hill School for the District Offices. The early cost estimate is  
315 \$8.7 million.

316  
317 **Town Manager Report**

318  
319 Town Manager Malaguti gave his report.

320  
321 **MEETING SCHEDULE**

- 322  
323       • October 7, 2024; Moose Hill Council Chambers, 7:00 p.m.  
324       • October 21, 2024; Moose Hill Council Chambers, 7:00 p.m.

325  
326 **ADJOURNMENT**

327  
328 Vice Chair Combes moved to adjourn. Councilor Dunn seconded.

329

Chad Franz	Yes
Ted Combes	Yes
John Farrell	Absent
Ron Dunn	Yes
Shawn Faber	Yes

330  
331 Motion passed 5-0-0.  
332 The meeting was adjourned at 10:40 p.m.  
333 Minutes prepared by Kirsten Hildonen

# FY2027 Budget Overview Presentation

Town of Londonderry, NH (REVISED 12/3/2025)

# More About Londonderry

## Population & Growth

- The Town's population grew by approximately **7%** from **2010 to 2020**
- Current population estimate: **27,101** (**9<sup>th</sup>** most populous municipality in NH)

## Geography & Land Area

- Western-most municipality in **Rockingham County**
- Total area: **42.2** square miles
- Population density stands at about **642 people per square mile**

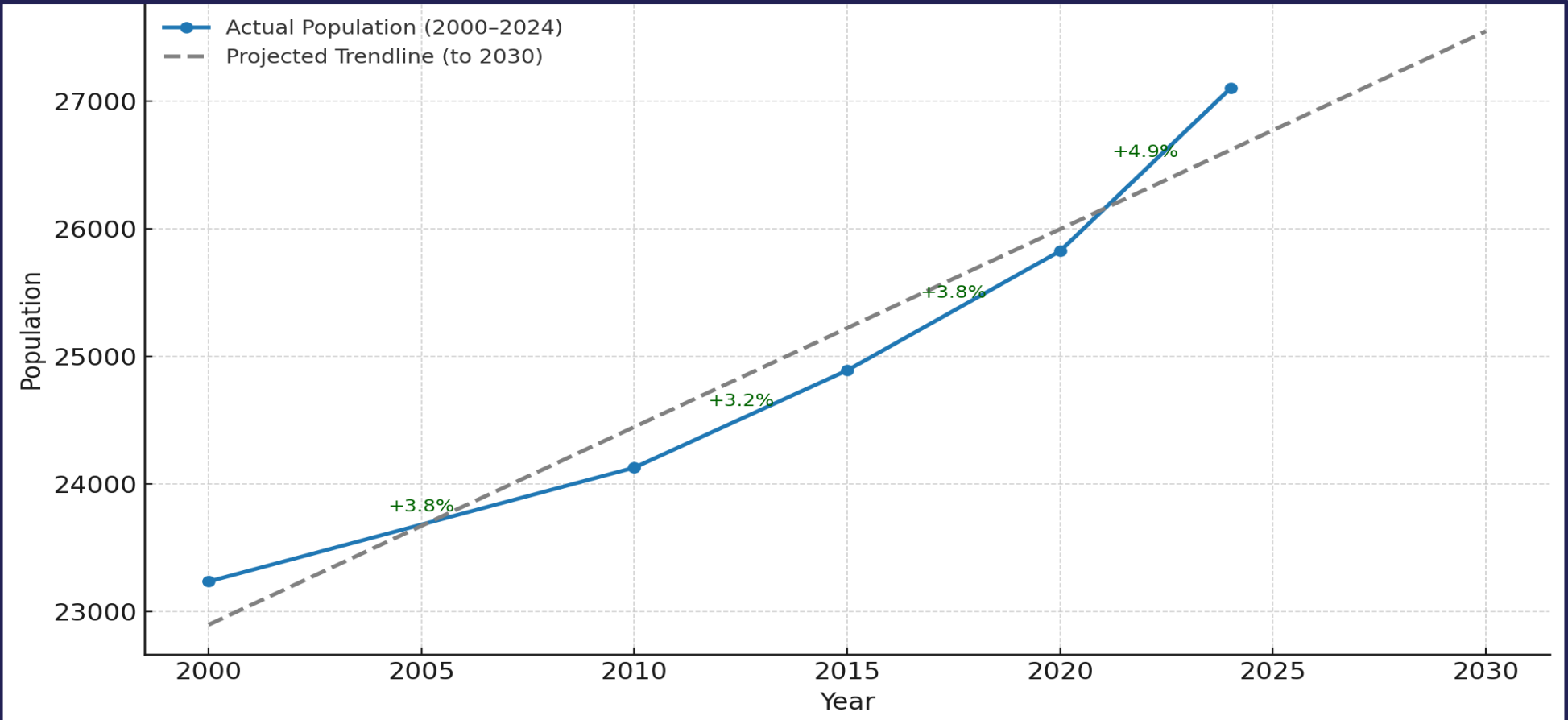
## Demographics

- Median age is approximately **42.5** years



# Population Growth & Projection

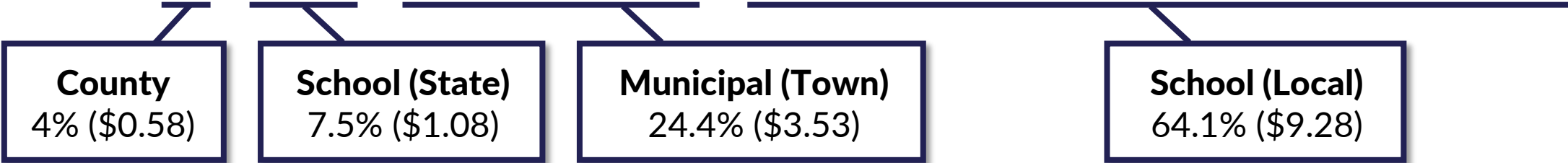
## Town of Londonderry (2000-2030)



Sources: U.S. Census Bureau (2000, 2010, 2020), NH Office of Planning & Development (2015, 2024)  
Projection based on linear trendline of 2000-2024 data.



# How Your Tax Dollars Are Spent (2025)



# 2024 Property Tax Rate Comparison

## Southern New Hampshire Municipalities

Municipality	Municipal	Local School	SWEPT	County	Total	Municipal %	Local School %	SWEPT %	County %
Salem	5.66	9.74	1.46	0.74	17.60	32.2%	55.3%	8.3%	4.2%
Derry	5.25	11.70	1.15	0.59	18.69	28.1%	62.6%	6.2%	3.2%
Windham	3.83	16.13	1.79	0.89	22.64	16.9%	71.2%	7.9%	3.9%
Litchfield	4.16	13.81	1.66	1.15	20.78	20.0%	66.5%	8.0%	5.5%
Hudson	4.97	9.30	1.24	0.94	16.45	30.2%	56.5%	7.5%	5.7%
Londonderry	3.77	10.40	1.33	0.64	16.14	23.4%	64.4%	8.2%	4.0%
Merrimack	4.29	13.86	1.48	1.06	20.69	20.7%	67.0%	7.2%	5.1%
Manchester	9.36	7.59	1.52	1.11	19.58	47.8%	38.8%	7.8%	5.7%
Nashua	6.68	7.22	1.15	0.85	15.90	42.0%	45.4%	7.2%	5.3%

# 2025 Property Tax Rate Comparison

## Southern New Hampshire Municipalities

Municipality	Municipal	County	State Education (SWEPT)	Local School	Total Rate
Salem	\$ 5.90	\$ 0.78	\$ 1.41	\$ 10.07	\$ 18.16
Derry	\$ 5.39	\$ 0.62	\$ 1.14	\$ 11.84	\$ 18.99
Windham	\$ 2.48	\$ 0.57	\$ 1.03	\$ 10.07	\$ 14.15
Litchfield	\$ 2.62	\$ 0.88	\$ 0.97	\$ 9.73	\$ 14.20
Hudson	\$ 5.57	\$ 1.12	\$ 1.25	\$ 9.17	\$ 17.11
Londonderry	\$ 3.53	\$ 0.58	\$ 1.08	\$ 9.28	\$ 14.47
Merrimack	\$ 4.38	\$ 1.33	\$ 1.44	\$ 14.96	\$ 22.11
Manchester	\$ 9.36	\$ 1.11	\$ 1.52	\$ 7.59	\$ 19.58
Nashua	\$ 7.19	\$ 1.01	\$ 1.15	\$ 7.48	\$ 16.83

# Consumer Price Index & Tax Rate

## Boston-Cambridge-Newton Index

Year	CPI % Increase	Municipal Tax Rate Increase
2025	3.2%	-6.36%
2024	3.5%	8.6%
2023	7%	-17.7% (revaluation of properties)
2022	7%	1.4%
2021	5.3%	-10.7% (revaluation of properties)

# Budget History

Fiscal Year	Default	Operating
2027(Proposed)	\$ 55,143,842	\$ 56,047,262
2026	\$ 49,654,290	\$ 50,111,482
2025	\$ 45,901,420	\$ 45,859,596
2024	\$ 40,595,374	\$ 40,448,056
2023	\$ 39,069,640	\$ 38,996,682
2022	\$ 39,064,836	\$ 38,864,136
2021	\$ 37,653,692	\$ 37,616,176
2020	\$ 33,865,222	\$ 33,858,810
2019	\$ 31,707,838	\$ 31,707,838
2018	\$ 32,331,194	\$ 32,301,194
2017	\$ 29,594,363	\$ 29,591,028
2016	\$ 28,596,112	\$ 28,577,512
2015	\$ 28,086,186	\$ 28,054,908
2014	\$ 27,635,887	\$ 27,525,281
2013	\$ 26,741,721	\$ 26,741,721

# Tax Rate Factors

Appropriations  
(Expenditures)

Revenues  
(Other than  
Property Taxes)

Fund Balance  
Used to Reduce  
Tax Rate

Assessed  
Valuation

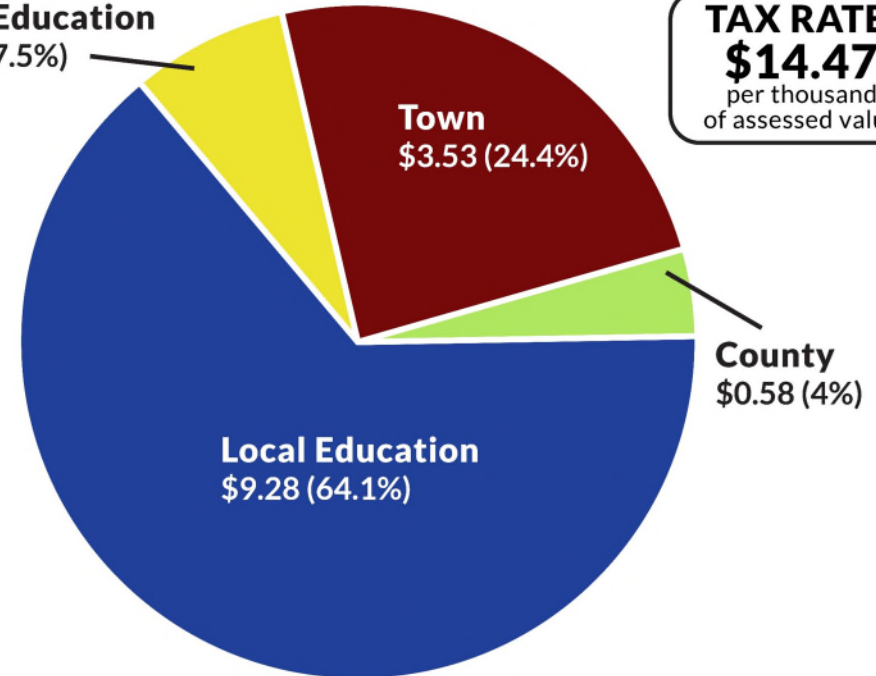
Overlay  
(Offsets Tax  
Abatements)

War Service  
Tax Credits

## 2025 Town of Londonderry Property Tax Breakdown

State Education  
\$1.08 (7.5%)

**TAX RATE:**  
**\$14.47**  
per thousand  
of assessed value



County  
\$0.58 (4%)

Local Education  
\$9.28 (64.1%)

Town  
\$3.53 (24.4%)

Education costs  
represent 71.6% of  
total property taxes  
in 2025.



State Education



County



Local Education



Town

# Strategic Budgeting



STRATEGIC PLAN



BUSINESS PLANS



PERFORMANCE  
MEASUREMENT



ANALYSIS AND  
EVALUATION

# Budget Objectives

<b>ACHIEVE</b>	Achieve the Town's Strategic Objectives
<b>FUND</b>	Fund critical Capital Improvement Projects
<b>MAINTAIN</b>	Maintain quality service levels to meet the public's expectations

# Challenges

Affordable Housing

Inflation

Traffic Congestion and Traffic Safety

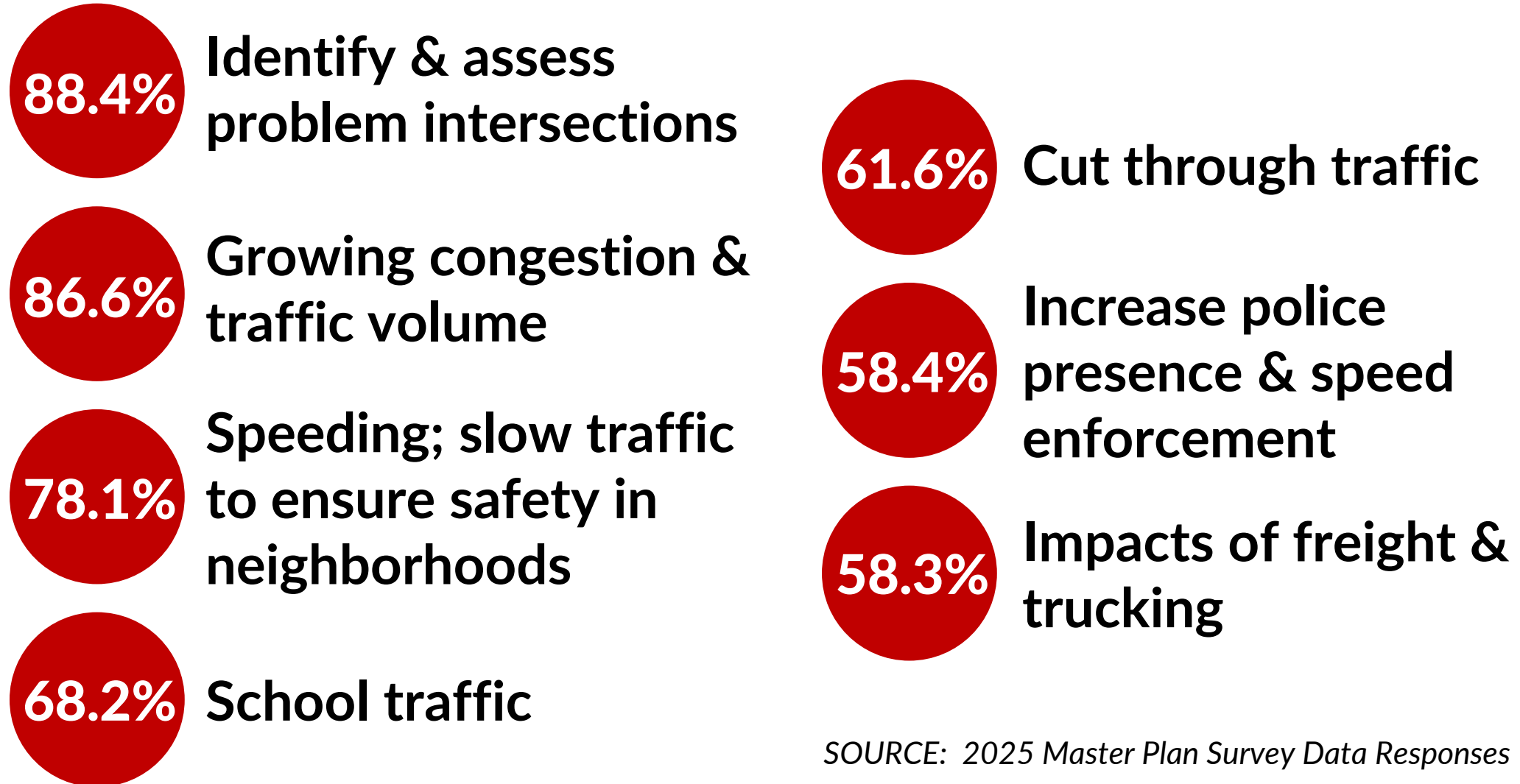
Growth in population

Safe Drinking Water

Protection of Natural Resources

# Traffic Congestion & Safety

Master Plan Survey Data



SOURCE: 2025 Master Plan Survey Data Responses

# Natural Resource Concerns

## Master Plan Survey Data

97.4%	Protect drinking water supply and aquifers
92.9%	Protect wetlands, streams, lakes, and other surface waters
90.8%	Promote conservation land management
90.7%	Preserve and protect wooded areas
89.2%	Preserve agricultural lands and open areas
88.3%	Protect wildlife corridors and habitats
85.0%	Coordinate with Planning and other Town Offices on regulations for natural resource protection
84.5%	Working with town staff on best management practices for environmental protection of resources
78.8%	Make conservation lands accessible (via trails, parking, and education programs)
72.2%	Education/outreach programs on natural resource protection
63.7%	Developing a renewable energy plan for town facilities

SOURCE: 2025 Master Plan Survey Data Responses

# Long Term Financial Plan

## UTILIZE

Utilize the Unassigned Fund Balance to offset the cost of Capital Projects

- Pay as you go, utilizing cash to pay for projects and equipment
- Capital Reserve Funds

## MAINTAIN

Maintain the policy to no longer utilize UFB to artificially hedge the tax rate

## UPDATE

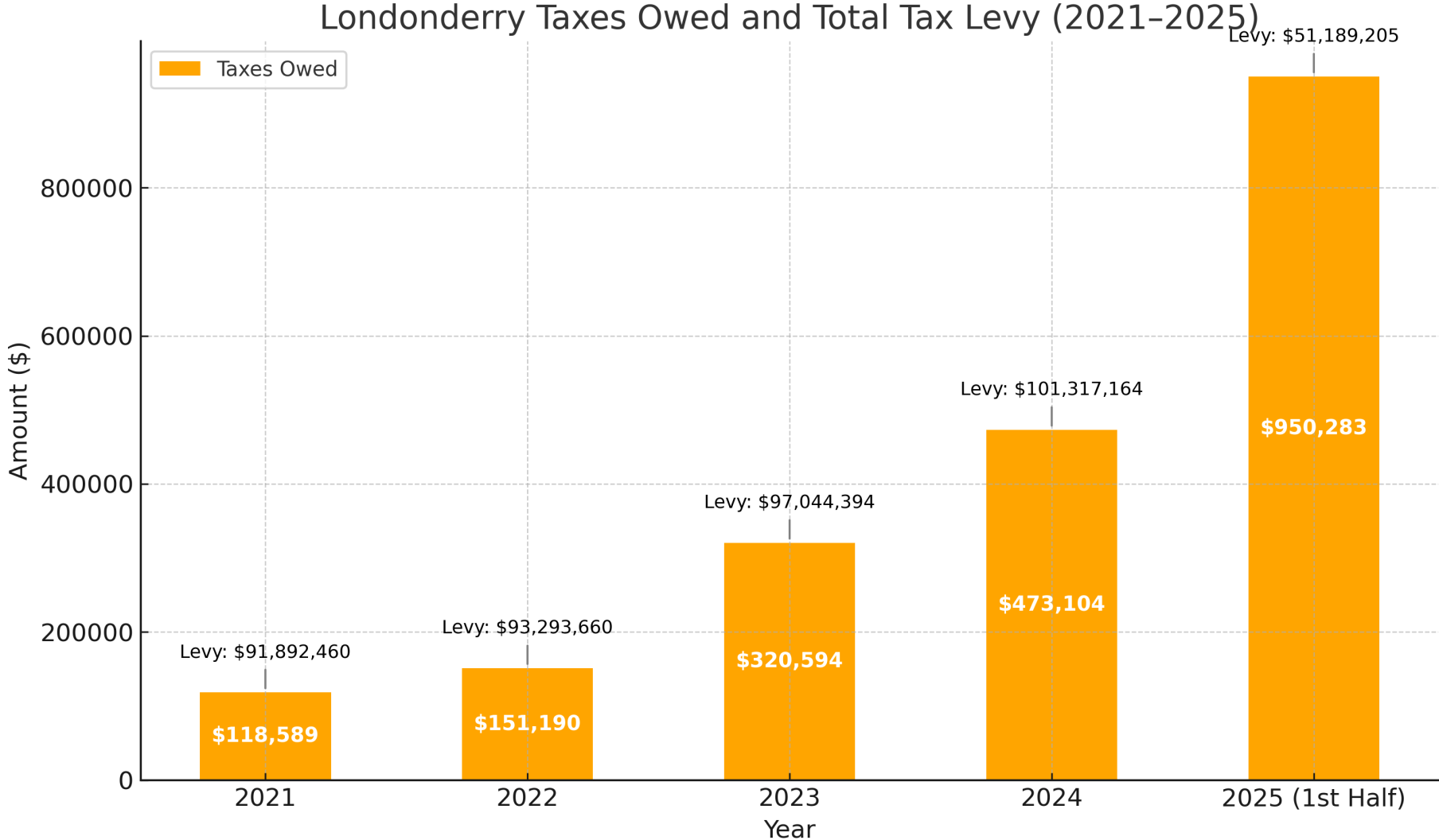
Update the debt management policy and strategy

# Operating Budget History

Year	Total Town Budget
FY2027 (proposed)	\$56,047,262
FY2026	\$50,111,482
FY2025	\$45,859,596
FY2024	\$40,448,056

# Taxes Owed & Total Tax Levy

## Londonderry (2021-2025)



# Property Taxes Paid On a \$634,700 Home (\$770,5000 new value in 2025)

Tax Year	Municipal Portion	Total Tax Bill
2025	\$2,720	\$11,149
2024	\$2,392	\$10,244
2023	\$2,202	\$9,933
2022	\$2,294	\$10,046
2021	\$2,261	\$9,991

**NOTE:** This chart shows the actual taxes paid on this single-family home in Londonderry. This property owner experienced an increase of \$131 in the municipal portion across the period from 2021 to 2024. From 2024 to 2025 the change was \$328.

# FY2027 Est. Municipal Portion of the 2026 Tax Bill for the \$770,500 Home

- **Proposed Budget**

- \$2,912 or \$192 more than FY2026 (\$0.25)
  - \$0.01 on that tax rate represents approx. \$7.70 added to the property tax of this home

- **\$400,000 Reduced Budget**

- \$2,866 or \$146 more than FY2026 (\$0.17)

- **Default Budget**

- \$2,820 or \$100 more than FY2026 (\$0.11)

# FY2027 Budget Summary



The FY2027 Budget is **\$48,474,900** which is **7.2%** (\$3,263,511) higher than the FY2026 Budget of **\$45,211,389**



The FY2027 Default Budget is **\$47,571,480** which is **5.2%** higher than the FY2026 Budget



The FY2027 projected tax rate increase is **\$0.25**

# Cost Drivers

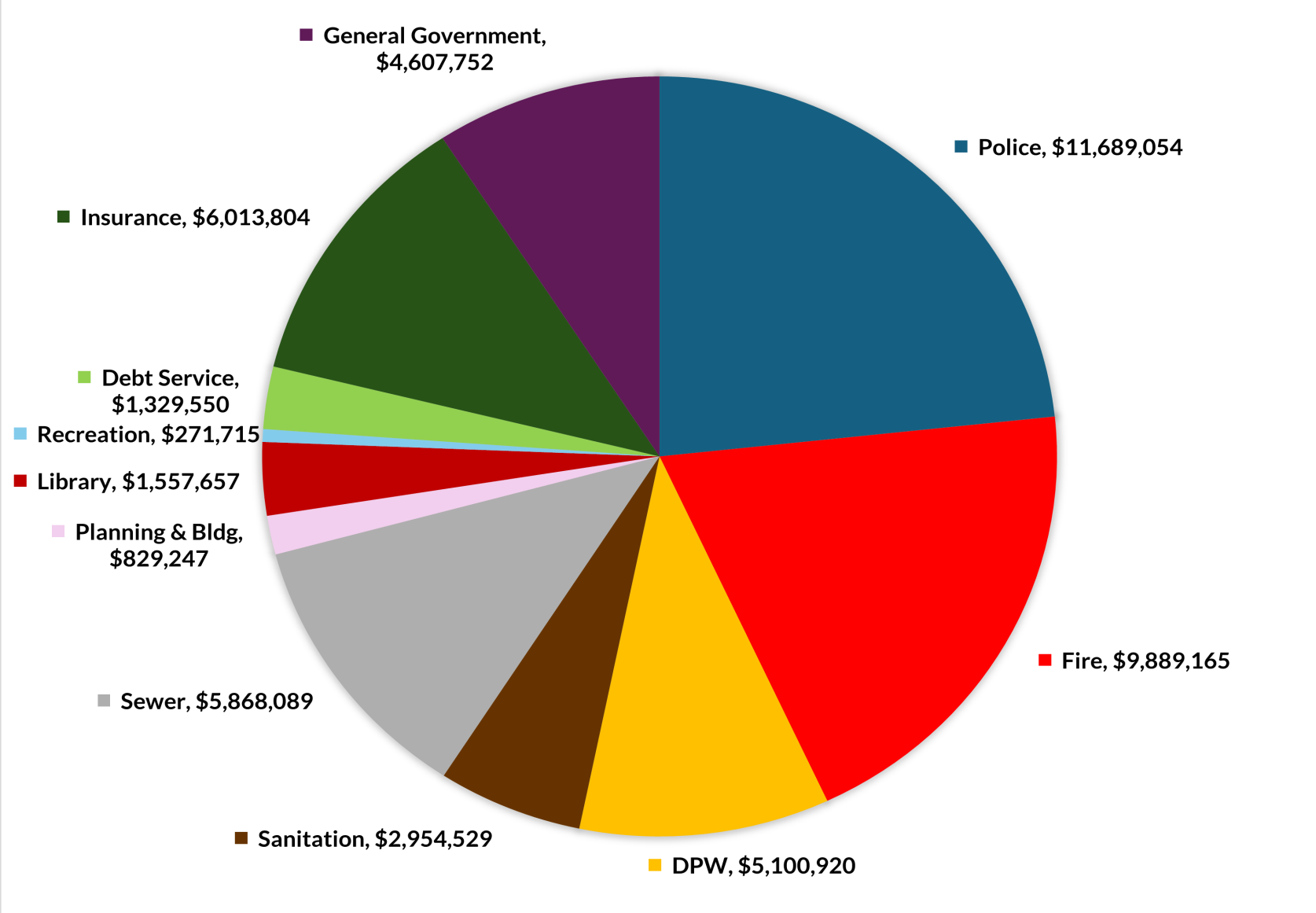
## Increases

Item	Increase
Wages	\$1,456,979
Benefits (including health / dental insurance)	\$605,712
Retirement system payments	\$290,703
Solid waste collection / disposal	\$432,930
IT, software, and other management services	\$280,540

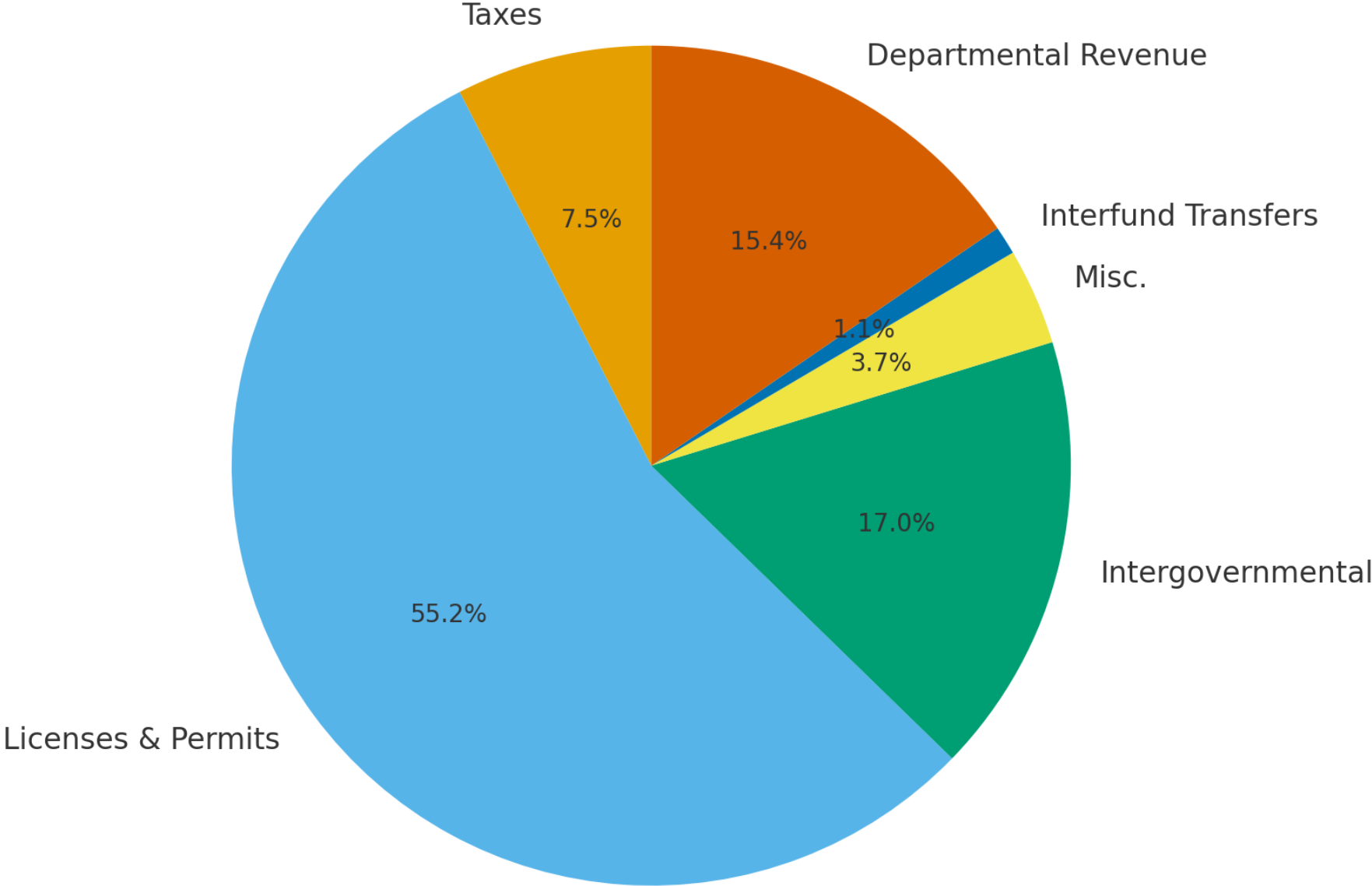
**NOTE:** These costs increases represent \$3,066,908 (94.2%) of the(\$3,263,511 increase in the FY2027 budget.

# How Your Tax Dollars Are Spent

FY2026



# Projected FY2027 Revenues



# BRINGING THE SCHOOL DISTRICT OFFICE BACK TO THE CENTER OF TOWN

A COLLABORATIVE PROBLEM-SOLVING EFFORT BETWEEN THE TOWN & SCHOOL WORKING GROUP



# Who are the members of the Town/School Working Group?

- Superintendent Daniel Black (Chair)
- Town Manager Shaun Mulholland (Secretary)
- School Board Chair Bob Slater
- School Board Member Tim Porter
- Town Council Member Ted Combes
- Town Finance Director Justin Campo
- School Business Administrator Amity Small
- Assistant Superintendent Jason Parent
- Town Director of Public Works David Wholley
- School Director of Buildings & Grounds Joe Parzych
- Town Foreman for Buildings & Grounds Ricky Robichaud



# **IN 2018 THE SCHOOL DISTRICT OFFICE LEFT THEIR SPACE ADJACENT TO TOWN HALL & BEGAN A LEASE IN THE HIGHLAND FORWARDING BUILDING IN THE NORTH PART OF TOWN**

Due to overcrowding and concerns about the space being a “sick” building, due to poor air quality and ventilation and mold, the District Office vacated the space it had inhabited for decades adjacent to Town Hall.

They entered into a 10 year lease with Highland Forwarding that began in FY19 and ends in FY28. The costs include the annual lease payment, property taxes, and fit up costs. in FY26, that total is about \$220,000.

Since this move, there have been a few attempts to bring the SAU Office back to the center of town. Two bond warrant articles, including a two story build and utilizing space at Moose Hill, have failed to meet the 60% majority voter approval.

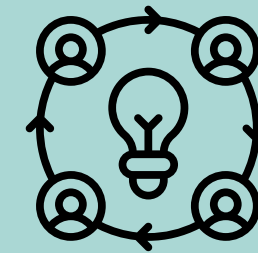


# Despite 2 failed building projects, it's clear we need to find a long-term solution for the SAU Office

Both Town and School Officials recognize the importance of finding a fiscally-responsible solution that brings the SAU back to town center.



This past summer, town and school officials began a partnership to solve this problem together. The Town Manager, Superintendent, and School Board Chair began discussions with the Town Council and School Board. All groups were in favor of proceeding together to devise a plan..



In August, an official working group was established including both town and school officials.



The group has engaged with lawyers, architects, and engineers to calculate costs for a build and how to bring this plan to voters in March 2026.

# Benefits of This Project

## Financial Benefits

- Long Term Savings on Lease
- Long Term Savings from Financing (no bond needed)
- Shared Space savings between Town/Schools

## Collaborative Benefits

- Closer to Collaborate with Town Offices and Services
- Center of Town and closer to Schools

## Problem-Solving Benefits

- Solves an almost decade old issue for the community
- Deepens Working Relationship with Town and School Leaders

## Master Plan Benefits

- The CIP Committe has noted this a high priority to address; doing so allows other projects to move forward
- The School District's 10 Year plan would also move forward with other projects when SAU Office is solved

# How Would We Finance?

At the March 2026 Election, the town would have an article asking voters to approve the use of \$2.5 million dollars of the Town Fund Balance that the School District would pay back interest free over 10 years.

Additionally, the School Board would need to vote to use about \$1.4 million dollars from their Unassigned Fund Balance to contribute to the costs of the project.



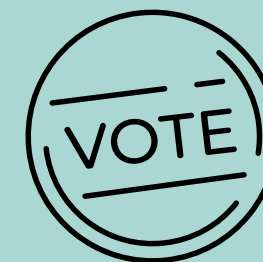
## How would this project impact the Tax Rate?

There would be a zero percent impact on the Tax Rate because, if approved, the project is completely funded by Town & School Fund Balances.



## What would this method of financing save the community in interest?

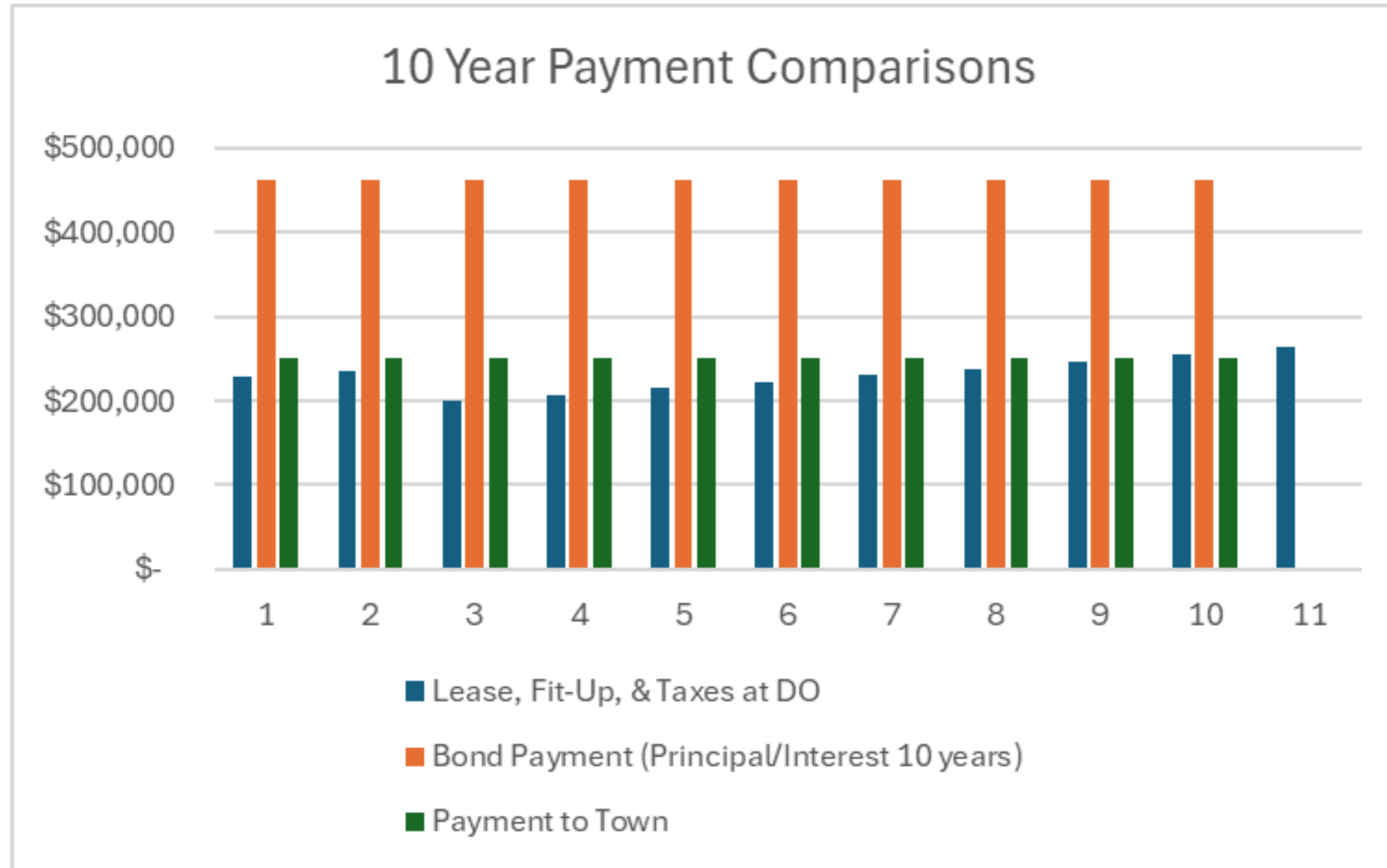
Over the course of a 10 year bond, we would pay about \$715,000 in interest based on current bond bank rates of 3.44% on 10 years. This amount would be saved through an interest free loan from the Town. Over the course of a 20 year loan, we'd pay \$1,921,027 in interest based on a 20 year 4.3% rate



## What would this warrant article need to pass?

Because this method of financing doesn't involve a bond or loan, the warrant article would need a simple majority to pass.

# Comparing Payments over 10 Years



Year	Lease, Fit-Up, & Taxes at DO	Bond Payment (Principal/Interest 10 years)	Payment to Town
1	\$ 228,616	\$ 461,472	\$ 250,000
2	\$ 234,933	\$ 461,472	\$ 250,000
3	\$ 200,838	\$ 461,472	\$ 250,000
4	\$ 207,656	\$ 461,472	\$ 250,000
5	\$ 214,778	\$ 461,472	\$ 250,000
6	\$ 222,206	\$ 461,472	\$ 250,000
7	\$ 229,837	\$ 461,472	\$ 250,000
8	\$ 237,875	\$ 461,472	\$ 250,000
9	\$ 246,219	\$ 461,472	\$ 250,000
10	\$ 254,868	\$ 461,472	\$ 250,000
11	\$ 263,862	\$ -	\$ 1
	lease payment continues in perpetuity		

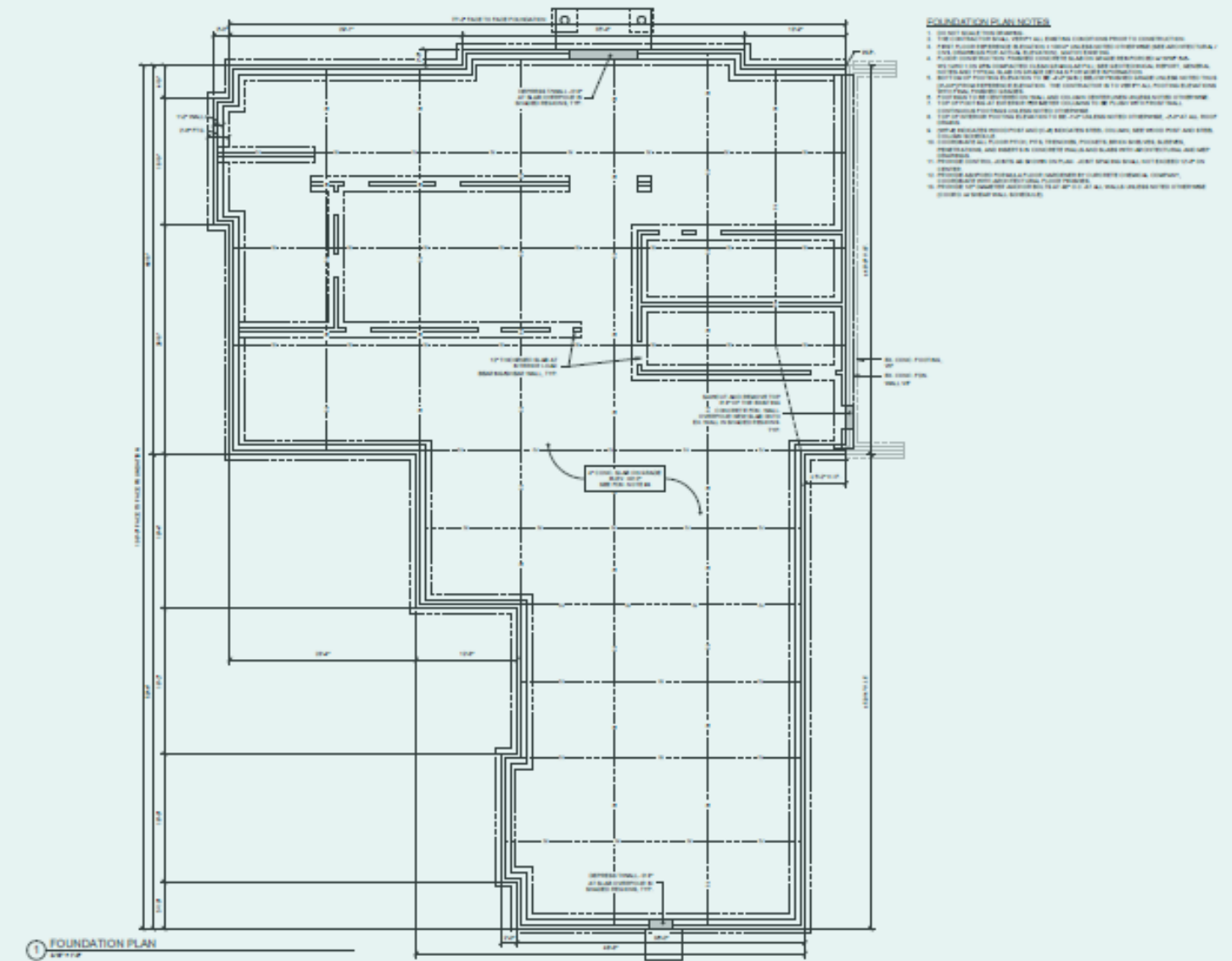
\*After year 2, the District fit up costs to landlord are 0.

# The School Board Approved \$90,000 of Unassigned Fund Balance to Work with Architects & Engineers on Design Plans

After the public hearing and approval of these funds, the District has been working on plans with Paul Marinace and T.F Moran.

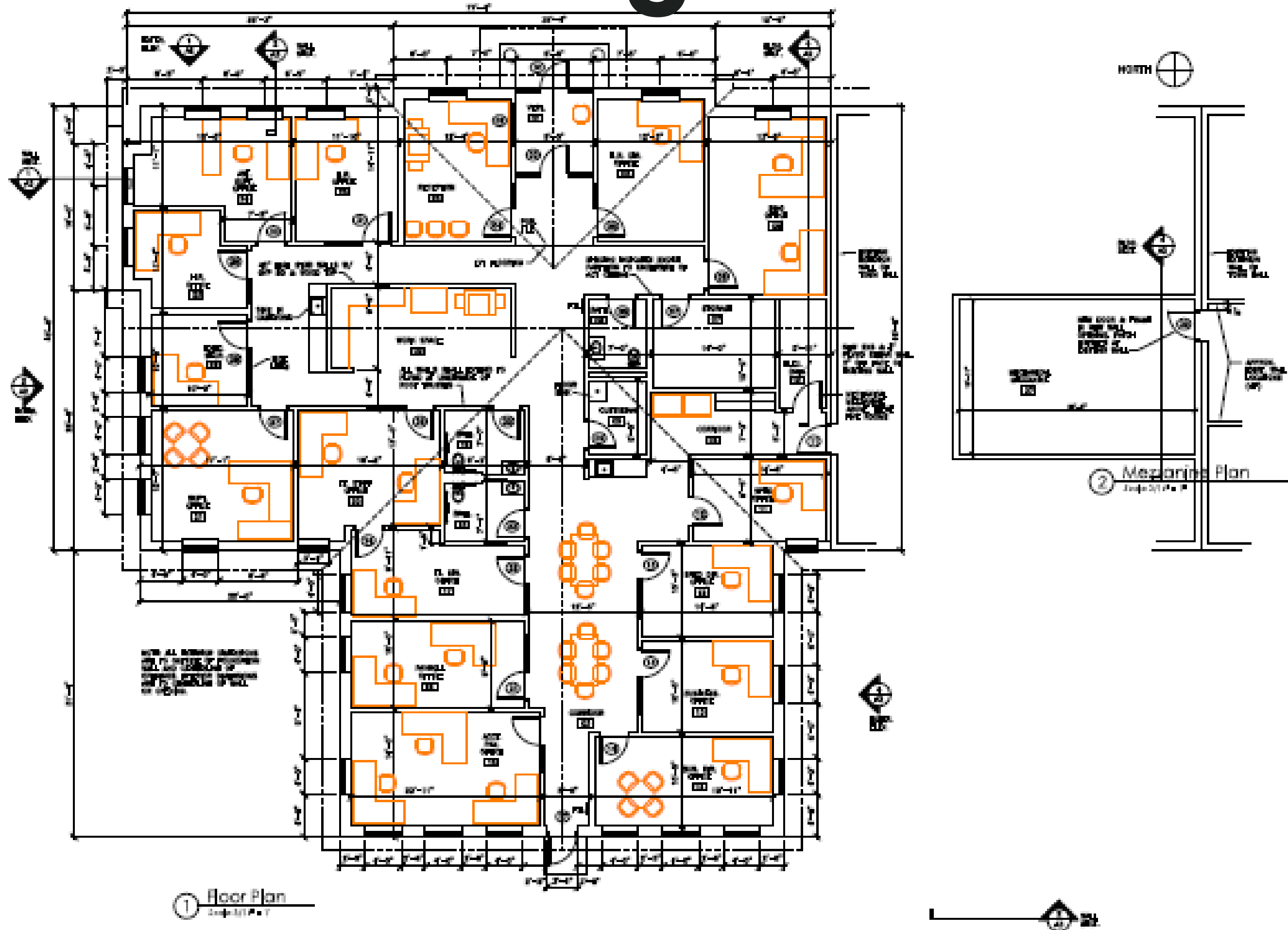
In September, in order to save costs, the Working Group scaled down the design from 6,270 square feet to 5,318 square feet.

We are also working on adding parking spaces to accommodate the acquisition of the District Office employees to the Town Campus.





# The Design Plan



# Mock Ups



# What's Next?

The Town and School Working Group need to inform the public about this collaborative approach and share the details every tax payer should know to make an informed decision at the polls.

Continued work toward a Guaranteed Maximum Price for the Project during Budget Season.

Work with Legal Teams to craft lease details and warrant article.



**Questions?**

**ARTICLE NO. 1: [ELECTION OF OFFICERS]**

To choose all necessary Town Officers for the ensuing year or until another is chosen or appointed and qualified.

**ARTICLE NO. 2: [CHARTER AMENDMENT – REMOVE OUTDATED TRANSITION INFORMATION]**

**Shall the Town approve the Charter amendment #1 as summarized below?**

Remove obsolete sections relating to events occurring in 1996 and 1997 when the Charter was adopted, including authentication of the Charter and transition provisions. The following sections will be removed:

- a. Section 3.11
- b. Section 8.5
- c. Article 10

(A report listing the sections to be removed is on file at the Town Clerk’s office, on the Town website, and available as a handout to voters at the polling place upon request.)

If a majority of the ballots cast on this question favor acceptance, this Charter amendment will become effective on July 1, 2026.

**ARTICLE NO. 3: [CHARTER AMENDMENT – REORGANIZATION]**

**Shall the Town approve the Charter amendment #2 as summarized below?**

Reorganize and renumber the existing Charter language to organize and present the existing Town Charter sections in a more coherent and logical sequence, but without altering any of the substantive Charter language.

(The reorganization and renumbering is to be done as specifically shown in a report on file at the Town Clerk’s office, on the Town website, and available as a handout to voters at the polling place upon request.)

If a majority of the ballots cast on this question favor acceptance, this Charter amendment will become effective on July 1, 2026.

**ARTICLE NO.4: [BOND ISSUE FOR MORRISON MEETING HOUSE]**

To see if the Town will vote to raise and appropriate \$3,381,000 [THREE MILLION THREE-HUNDRED EIGHTY-ONE THOUSAND DOLLARS] for the purpose of renovating the Town owned Reverand Morrison Meeting House.

Said sum to be raised by the issuance of serial bonds or notes in the amount of \$3,381,000 [THREE MILLION THREE-HUNDRED EIGHTY-ONE THOUSAND DOLLARS] under and in compliance with the provisions of the Municipal Finance Act (NH RSA Chapter 33) and to authorize the Town Council to issue, negotiate, sell and deliver such bonds or notes, to determine the rate(s) of interest thereon and the maturity and other terms thereof, and to authorize the Town Council to take such other actions as may be necessary to affect the issuance, negotiation, sale and delivery of such bonds or notes as shall be in the best interest of the Town of Londonderry or to pass any other vote relative thereto; to authorize the Town Council to apply for, accept and expend federal, state or other aid, if any, which may be available for said project and to comply with all laws applicable to said project; and, further to raise and appropriate THREE HUNDRED SEVEN THOUSAND EIGHT HUNDRED FOURTEEN DOLLARS (\$307,814) for the first year’s interest and principal payments on said bonds.

(Ballot Vote – 60% approval required).

<i>FISCAL YEAR</i>	<i>Estimated Costs</i>	<i>Estimated Tax</i>
<i>2026-2027</i>	<i>\$307,814</i>	<i>\$0.041 *</i>
<i>2027-2028</i>	<i>\$304,590</i>	<i>\$0.040 *</i>
<i>2028-2029</i>	<i>\$297,280</i>	<i>\$0.039 *</i>
<i>2029-2030</i>	<i>\$289,970</i>	<i>\$0.039 *</i>

*\*Estimated Tax impact based on 20-year bond with a 4.30% interest rate and the estimated projected assessed values for 2026.*

**(If passed, this article will require the Town to raise \$307,814 in property taxes, resulting in a tax rate impact of \$0.041 in FY 27 based upon projected assessed values.)**

	<u><i>Yes</i></u>	<u><i>No</i></u>	<u><i>Abstained</i></u>
<i>Voted by the Town Council:</i>	<i>0</i>	<i>0</i>	<i>0</i>
<i>Voted by the Budget Committee:</i>	<i>0</i>	<i>0</i>	<i>0</i>

**ARTICLE NO. 5: [TOWN CLERK POSITION BENEFITS]**

To see if the Town will vote to begin providing benefits equivalent to those of a full-time employee to the elected Town Clerk position. Upon passing this article, the elected position of Town Clerk will be eligible for applicable benefits equal to a full-time Town employee starting July 1, 2026.

**ARTICLE NO. 6: [FISCAL YEAR 2027 TOWN OPERATING BUDGET]**

Shall the Town raise and appropriate as an operating budget, not including appropriations by special warrant articles and other appropriations voted separately, the amounts set forth on the budget posted with the warrant or as amended by vote of the first session, for the purposes set forth therein, totaling \$56,849,787. Should this article be defeated, the default budget shall be \$56,081,294 which is the amount of the appropriations contained in the operating budget authorized for the previous fiscal year, with certain adjustments required by previous action of the Town or by law; or the governing body may hold one special meeting, in accordance with RSA 40:13, X and XVI, to take up the issue of a revised operating budget only.

**(If passed, this article will require the Town to raise \$28,327,646 in property taxes, resulting in a tax rate impact of \$3.762 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 7: [CONSTRUCTION OF SCHOOL DISTRICT OFFICE]**

To see if the town will vote to raise and appropriate the sum of **TWO MILLION FIVE HUNDRED THOUSAND DOLLARS (\$2,500,000)** for the purpose of constructing a School District office building and any parking associated with the new building next to the Town Hall Offices (268 Mammoth Road). The School District Office building will be able to be leased, and further to authorize the use of **TWO MILLION FIVE HUNDRED THOUSAND DOLLARS (\$2,500,000)** from the unassigned fund balance towards this appropriation. This article is a special warrant article per RSA 32:7, VI and will not lapse until June 30, 2032, or when the project is completed, whichever is first. (Majority Vote Required)

**(If passed, this article will require the Town to raise \$0.00 in property taxes, resulting in a tax rate impact of \$0.000 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 8: [EXPENDABLE MAINTENANCE TRUST FUND]**

To see if the Town will vote to raise and appropriate the sum of **TWO HUNDRED THOUSAND DOLLARS (\$200,000)** to be placed in the Town’s Expendable Maintenance Trust Fund for the purpose of repairing and maintaining town facilities and infrastructure and further to authorize the use of **ONE HUNDRED THOUSAND DOLLARS (\$100,000)** from the June 30 Unassigned Fund Balance towards this appropriation.

**(If passed, this article will require the Town to raise \$100,000.00 in property taxes, resulting in a tax rate impact of \$0.013 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 9: [ROADWAY MAINTENANCE EXPENDABLE TRUST FUND]**

To see if the Town will vote to raise and appropriate the sum of **SIX HUNDRED FIFTY-THOUSAND DOLLARS (\$650,000)** to be placed in the Roadway Maintenance Expendable Trust Fund.

**(If passed, this article will require the Town to raise \$650,000 in property taxes, resulting in a tax rate impact of \$0.086 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 10: [FIRE DEPARTMENT TRUCK CAPITAL RESERVE FUND]**

To see if the Town will vote to raise and appropriate **THREE HUNDRED THOUSAND DOLLARS (\$300,000)** to be placed in the Fire Vehicle Capital Reserve fund and further to authorize the use of **THREE HUNDRED THOUSAND DOLLARS (\$300,000)** from the June 30 Unassigned Fund Balance towards this appropriation.

**(If passed, this article will require the Town to raise \$0.00 in property taxes, resulting in a tax rate impact of \$0.000 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 11: [FIRE DEPARTMENT EQUIPMENT CAPITAL RESERVE FUND]**

To see if the Town will vote to raise and appropriate **EIGHT HUNDRED THOUSAND DOLLARS (\$800,000)** to be placed in the Fire Equipment Capital Reserve Fund and further to authorize the use of **FIVE HUNDRED FIFTY THOUSAND DOLLARS (\$550,000)** from the June 30 Unassigned Fund Balance towards this appropriation.

**(If passed, this article will require the Town to raise \$250,000 in property taxes, resulting in a tax rate impact of \$0.033 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 12: [INFORMATION TECHNOLOGY CAPITAL RESERVE FUND]**

To see if the town will vote to raise and appropriate the sum of **THREE HUNDRED FIFTY THOUSAND DOLLARS (\$350,000)** to be placed in the Information Technology Capital Reserve Fund and further to authorize the use of **FIFTY THOUSAND DOLLARS (\$50,000)** from the June 30 Unassigned Fund Balance towards this appropriation.

**(If passed, this article will require the Town to raise \$300,000 in property taxes, resulting in a tax rate impact of \$0.040 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 13: [RECREATION CAPITAL RESERVE FUND]**

To see if the town will vote to raise and appropriate **TWENTY-FIVE THOUSAND DOLLARS (\$25,000)** to be placed in the Recreation Department Capital Reserve Fund and further to authorize the use of **TWENTY-FIVE THOUSAND DOLLARS (\$25,000)** from the June 30 Unassigned Fund Balance towards this appropriation.

**(If passed, this article will require the Town to raise \$0.00 in property taxes, resulting in a tax rate impact of \$0.000 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 14: [PILLSBURY CEMETERY EXPANSION CAPITAL RESERVE FUND]**

To see if the Town will vote to raise and appropriate **SEVENTY-FIVE THOUSAND DOLLARS (\$75,000)** to be placed in the Pillsbury Cemetery Expansion Capital Reserve Fund.

**(If passed, this article will require the Town to raise \$75,000.00 in property taxes, resulting in a tax rate impact of \$0.010 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 15: [CABLE EQUIPMENT CAPITAL RESERVE FUND]**

To see if the Town will vote to raise and appropriate **THIRTY-TWO THOUSAND FIVE HUNDRED DOLLARS (\$32,500)** to be placed in the Cable Equipment Capital Reserve Fund with funding to come from the annual distribution of Public Educational and Government Access programming from the current Franchise Agreement.

**(If passed, this article will require the Town to raise \$0.00 in property taxes, resulting in a tax rate impact of \$0.00 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 16: [FIRE DEPARTMENT – ADD ONE FULL-TIME EXECUTIVE ASSISTANT]**

To see if the Town will vote to raise and appropriate **ONE HUNDRED FORTY-THREE THOUSAND THREE HUNDRED AND THREE DOLLARS (\$143,303)** for the purpose of adding one full-time Fire Executive Assistant to the Fire department. Should this warrant article be passed, the position and its appropriation will be part of both the operating and default budget in future years.

**(If passed, this article will require the Town to raise \$143,303 in property taxes, resulting in a tax rate impact of \$0.019 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 17: [FIRE DEPARTMENT – ADD ONE FULL-TIME FIRE TRAINING OFFICER]**

To see if the Town will vote to raise and appropriate **ONE HUNDRED SEVENTY-THREE THOUSAND TWO HUNDRED AND TWENTY-SIX DOLLARS (\$173,226)** for the purpose of adding one full-time Fire Training Officer to the Fire department. Should this warrant article be passed, the position and its appropriation will be part of both the operating and default budget in future years.

**(If passed, this article will require the Town to raise \$173,226 in property taxes, resulting in a tax rate impact of \$0.023 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 18: [HUMAN RESOURCES DEPARTMENT – PART-TIME HUMAN RESOURCES ASSISTANT]**

To see if the Town will vote to raise and appropriate **FOURTY-FOUR THOUSAND EIGHT HUNDRED AND TWELVE DOLLARS (\$44,812)** for the purpose of adding a part-time Human Resource Assistant position to provide support to the Human Resources Department through essential administrative support tasks. Should this warrant article be passed, the position and its appropriation will be part of both the operating and default budget in future years.

**(If passed, this article will require the Town to raise \$44,812 in property taxes, resulting in a tax rate impact of \$0.006 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 19: [HUMAN RESOURCES DEPARTMENT – PART-TIME HUMAN RESOURCES SPECIALIST]**

To see if the Town will vote to raise and appropriate **FIFTY-EIGHT THOUSAND TWO HUNDRED AND EIGHTEEN DOLLARS (\$58,218)** for the purpose of adding a part-time Human Resource Specialist position to the Human Resources Department to assist with the tasks necessary to conduct workplace accident investigations, employee background investigations and internal investigations. Should this warrant article be passed, the position and its appropriation will be part of both the operating and default budget in future years.

**(If passed, this article will require the Town to raise \$58,218 in property taxes, resulting in a tax rate impact of \$0.008 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 20: [ESTABLISH AND FUND A REVOLVING FUND FOR SENIOR AFFAIRS AND THE SENIOR CENTER UNDER RSA 31:95-h]**

To see if the town will vote to establish a revolving fund pursuant to RSA 31:95-h, for the purpose of providing activities and services for senior citizens through the senior affairs department and assist in maintaining any necessary building/equipment/furnishing within the Senior Center. All revenues received from the income derived from the activities or services supported by the fund will be deposited into the fund, and the money in the fund shall be allowed to accumulate from year to year, and shall not be considered part of the town’s general fund balance. And further to raise and appropriate \$1 to establish the revolving fund with funding coming from donations received. The town treasurer shall have custody of all moneys in the fund, and shall pay out the same only upon order of the town manager and no further approval is required by the legislative body to expend. Such funds may be expended only for the purpose for which the fund was created. (Majority vote required)

**(If passed, this article will require the Town to raise \$0.00 in property taxes, resulting in a tax rate impact of \$0.000 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 21: [ESTABLISH AND FUND A CAPITAL RESERVE FUND FOR TRANSPORTATION UNDER RSA 35:1]**

To see if the town will vote to establish an Transportation Capital Reserve Fund under the provisions of RSA 35:1 for the purpose of making transportation infrastructure improvements along with Traffic and engineering studies to improve intersections and sections of roadways including drainage, guardrails, reconfiguration of intersections of roadways, signing, traffic signals, pedestrian/bicycle infrastructure, the construction of improvements to roadways, intersections, guardrails, signs, traffic signals, pedestrian/bicycle infrastructure, right of way acquisition, traffic counting and speed measurement devices. Said funds could be used to construct these improvements solely with funds provided by the Town or with matching funds from other governmental entities or private entities, etc., and to raise and appropriate the sum of **FIVE HUNDRED THOUSAND DOLLARS (\$500,000)** to be placed in this fund and further to authorize the use of **FIVE HUNDRED THOUSAND DOLLARS (\$500,000)** from the June 30 Unassigned Fund Balance towards this appropriation. Further, to name the Town Council as agents to expend from said funds for the purposes for which it was established. (Majority Vote Required)

**(If passed, this article will require the Town to raise \$0.00 in property taxes, resulting in a tax rate impact of \$0.000 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 22: [ESTABLISH MUNICIPAL AND TRANSPORTATION IMPROVEMENT FUND UNDER RSA 261:153 VI AND CAPITAL RESERVE UNDER RSA 35:1]**

To see if the Town will vote to collect an additional motor vehicle registration fee of \$5.00 per vehicle for the purpose of supporting a Municipal Transportation Improvement Fund as set forth in RSA 261:153 VI, and further, to vote to establish said fund as a capital reserve fund governed by RSA 35 and to appoint the Town Council as agents to expend from this capital reserve fund for the purposes for which it was established. Proceeds from the Municipal Transportation Improvement Fund are to be used to support eligible local transportation projects as permitted under RSA 261:153 such as public transportation, roadway improvements, signal upgrades, and development of new bicycle and pedestrian paths. The funds may be used as matching funds for state or federal funds allocated for local or regional transportation improvements but may not be used to offset any other non-transportation appropriations.

The additional fee shall be collected from all vehicles, both passenger and commercial, with the exception of all-terrain vehicles as defined in RSA 215-A:1, I-b and antique motor vehicles, farm tractors, or motorcycles as defined in RSA 259:4.

**(If passed, this article will require the Town to raise \$0.00 in property taxes, resulting in a tax rate impact of \$0.000 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 23: [REALLOCATION OF REMAINING FUNDS APPROPRIATED FOR THE HIGH RANGE ROAD WATER SUPPLY PROJECT]**

To see if the Town will vote to expand the authorized scope of the water infrastructure project approved under Article 3 at the March 12, 2024, Town election, so that any unexpended funds remaining after completion of the High Range Road water main may also be used for the installation of public water infrastructure along South Road, Shasta Drive, Red Deer Road, Gregg Circle, Bear Meadow Road, Lawson Farm Road, Alexander Road, Litchfield Road, Misty Lane, Hidden Meadow Drive, and Rabbit Run, for the purpose of extending safe and clean drinking water to Londonderry residents.

**(If passed, this article will require the Town to raise \$0.00 in property taxes, resulting in a tax rate impact of \$0.000 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 24: [ESTABLISH AND FUND WATER SYSTEM CAPITAL RESERVE FUND UNDER RSA 35:1]**

To see if the town will vote to establish an Water System Capital Reserve Fund under the provisions of RSA 35:1 for the purpose of expanding funding necessary expenses to expand water accessibility in Londonderry, and to raise and appropriate the sum of **FIVE HUNDRED THOUSAND DOLLARS (\$500,000)** to be placed in this fund and further to authorize the use of **FIVE HUNDRED THOUSAND DOLLARS (\$500,000)** from the June 30 Unassigned Fund Balance towards this appropriation. (Majority Vote Required)

**(If passed, this article will require the Town to raise \$0.00 in property taxes, resulting in a tax rate impact of \$0.000 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO.25: [FUND WATER SPECIAL ASSESSMENT DISTRICT]**

To see if the town will vote to raise and appropriate the sum of **FOUR HUNDRED THOUSAND DOLLARS (\$400,000)** to be placed in this the Water Special Assessment District and further to authorize the use of **FOUR HUNDRED THOUSAND DOLLARS (\$400,000)** from the June 30 Unassigned Fund Balance towards this appropriation. (Majority Vote Required)

**(If passed, this article will require the Town to raise \$0.00 in property taxes, resulting in a tax rate impact of \$0.000 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 26: [CITIZENS PETITION - ESTABLISH CAPITAL RESERVE FUND – REVERAND MORRISON MEETING HOUSE/LIONS HALL]**

To see if the town will vote to establish a Reverand Morrison Meeting House/Lions Hall Capital Reserve Fund under the provisions of RSA 35:1 for the purpose of reopening and/or maintaining the building and surrounding facilities as a community public event/multi use center, and to raise and appropriate the sum of **NINE HUNDRED FIFTY THOUSAND DOLLARS (\$950,000)** to be placed in this fund and further to authorize the use of **FOUR HUNDRED SEVENTY-FIVE THOUSAND DOLLARS (\$475,000)** from the June 30 Unassigned Fund Balance towards this appropriation and further to designate the Town Council as agents to expend. (Majority Vote Required) (CITIZENS PETITION)

**(If passed, this article will require the Town to raise \$475,000 in property taxes, resulting in a tax rate impact of \$0.063 in FY 27 based upon projected assessed values.)**

	<u>Yes</u>	<u>No</u>	<u>Abstained</u>
<i>Voted by the Town Council:</i>	0	0	0
<i>Voted by the Budget Committee:</i>	0	0	0

**ARTICLE NO. 27: [CITIZENS PETITION - STATE FUNDING TO LOCAL COMMUNITIES]**

New Hampshire thrives when state funding fairly supports local communities. Therefore, the residents of Londonderry are asked: Do we call on the New Hampshire Legislature to protect local taxpayers by ensuring adequate state revenues for essential services, and by avoiding policies that shift costs onto local property taxpayers? This question arises because recent state budgets have reduced or eliminated key revenue sources, forcing towns and counties to raise property taxes to maintain education, healthcare, county nursing homes, public safety, and infrastructure. These shifts burden working families strain local budget, limit flexibility, and undermine long-term community prosperity. A state budget that prevents cost-shifting and restore municipal revenue sharing eases the tax burden on local property taxpayers and strengthens communities. Be it further resolved that the Town Council shall send the results to the Governor and all members of the General Court representing Londonderry within 30 days. (CITIZENS PETITION)

**(If passed, this article will require the Town to raise \$0.00 in property taxes, resulting in a tax rate impact of \$0.00 in FY 27 based upon projected assessed values.)**

**ARTICLE NO. 28: [CITIZENS PETITION -EMERGENCY RISK PROTECTION ORDER OR RED FLAG LAW]**

New Hampshire communities value public safety and the responsible use of firearms. Therefore, the voters of Londonderry, New Hampshire, are asked: Shall we call on our legislators to strengthen public safety by advocating for an Emergency Risk Protection Order (ERPO) or Red Flag law, joining more than twenty other states including Florida and the other five New England states. ERPO/Red Flag laws have been enacted throughout the country, and most recently in Maine, allowing law enforcement and family and household members to petition the court for the temporary removal of firearms from individuals deemed a danger to themselves or others. These laws have been highly effective in reducing the incidents of suicide which is tragically high in New Hampshire. Our state loses someone to suicide with a firearm every three days. Our veterans have been particularly hard hit by this epidemic. Be it further resolved that the Town Council shall send the results to the Governor and all members of the General Court representing Londonderry within 30 days. (CITIZENS PETITION)

**(If passed, this article will require the Town to raise \$0.00 in property taxes, resulting in a tax rate impact of \$0.00 in FY 27 based upon projected assessed values.)**

**ARTICLE NO. 29: [TRANSACTION OF OTHER BUSINESS]**

To transact any other business that may legally come before this meeting. No business enacted under this article shall have any binding effect pon the Town.

**Fiscal Year 2027 Estimated Tax Rate Calculations - Municipal**

*Approximately \$73,500 - \$75,000 in appropriations is equal to \$0.01 on the tax rate*

	FY 2027	Tax Rate
<b>Election of Officers</b>		
<b>CHARTER AMENDMENT – REMOVE OUTDATED TRANSITION INFORMATION</b>		
<b>CHARTER AMENDMENT – REORGANIZATION</b>		
<b>Bond Issue for Morrison Meeting House</b>	\$ 307,814	
Less: UFB	\$ -	
<b>NET TO BE RAISED:</b>	\$ 307,814	\$ 0.041
<b>Town Clerk Position - Provide Full-Time Employee Benefits</b>		
<b>Operating Budget:</b>		
<b>General Fund Appropriations</b>	\$ 48,328,774	
<b>Sewer Enterprise Fund Appropriations</b>	\$ 7,572,362	
<b>Tax Incremental Finance District (TIF) Appropriations</b>	\$ 945,768	
Less: Revenues for the General Fund (Various Sources)	\$ (20,004,011)	
Less: Revenues for the Sewer Enterprise Fund	\$ (7,572,362)	
Less: Revenues for the Tax Incremental Finance District (TIF)	\$ (945,768)	
<b>NET TO BE RAISED:</b>	\$ 28,324,763	\$ 3.762
<b>Construction of School District Office &amp; Associated Parking</b>	\$ 2,500,000	
Less: UFB	\$ (2,500,000)	
<b>NET TO BE RAISED:</b>	\$ -	\$ -
<b>Expendable Maintenance Trust Fund</b>	\$ 200,000	
Less: UFB	\$ (100,000)	
<b>NET TO BE RAISED:</b>	\$ 100,000	\$ 0.013
<b>Roadway Maintenance Trust Fund</b>	\$ 650,000	
Less: UFB	\$ -	
<b>NET TO BE RAISED:</b>	\$ 650,000	\$ 0.086
<b>Capital Reserve Funding - Fire Dept. Trucks</b>	\$ 300,000	
Less: UFB	\$ (300,000)	
<b>NET TO BE RAISED:</b>	\$ -	\$ -
<b>Capital Reserve Funding - Fire Dept. Equipment &amp; Defibrillators</b>	\$ 800,000	
Less: UFB	\$ (550,000)	
<b>NET TO BE RAISED:</b>	\$ 250,000	\$ 0.033
<b>Capital Reserve Funding - Information Technology Fund</b>	\$ 350,000	
Less: UFB	\$ (50,000)	
<b>NET TO BE RAISED:</b>	\$ 300,000	\$ 0.040

**Fiscal Year 2027 Estimated Tax Rate Calculations - Municipal**

*Approximately \$73,500 - \$75,000 in appropriations is equal to \$0.01 on the tax rate*

	FY 2027	Tax Rate
<b>Capital Reserve Funding - Recreation</b>	\$ 25,000	
Less: UFB	\$ (25,000)	
<b>NET TO BE RAISED:</b>	\$ -	\$ -
<b>Capital Reserve Funding - Pillsbury Cemetery Expansion</b>	\$ 75,000	
Less: UFB	\$ -	
<b>NET TO BE RAISED:</b>	\$ 75,000	\$ 0.010
<b>Capital Reserve Funding - Cable Equipment</b>	\$ 32,500	
Less: Revenue from PEG Access Capital Funding	\$ (32,500)	
<b>NET TO BE RAISED:</b>	\$ -	\$ -
<b>Fire Department - Fire Executive Assistant Position</b>	\$ 143,303	
Less:	\$ -	
<b>NET TO BE RAISED:</b>	\$ 143,303	\$ 0.019
<b>Fire Department - Training Officer Position</b>	\$ 173,226	
Less:	\$ -	
<b>NET TO BE RAISED:</b>	\$ 173,226	\$ 0.023
<b>Human Resource Department - Part-Time Human Resource Assistant Position</b>	\$ 44,812	
Less: UFB	\$ -	
<b>NET TO BE RAISED:</b>	\$ 44,812	\$ 0.006
<b>Human Resource Department - Part-Time Human Resource Specialist Position</b>	\$ 58,218	
Less: UFB	\$ -	
<b>NET TO BE RAISED:</b>	\$ 58,218	\$ 0.008
<b>ESTABLISH AND FUND A REVOLVING FUND FOR SENIOR CITIZEN ACTIVITIES &amp; CENTER PER RSA 31:95-h</b>	\$ 1	
Less: Contributions/Donations	\$ (1)	
<b>NET TO BE RAISED:</b>	\$ -	\$ -
<b>ESTABLISH AND FUND A CAPITAL RESERVE FUND FOR TRANSPORTATION UNDER RSA 35:</b>	\$ 500,000	
Less: UFB	\$ (500,000)	
<b>NET TO BE RAISED:</b>	\$ -	\$ -
<b>Municipal Transportation Improvement Fund through Adoption of NH RSA 261:153,VI</b>	\$ -	
Motor vehicle additional registration fee of \$5.00	\$ -	
<b>NET TO BE RAISED:</b>	\$ -	\$ -
<b>REALLOCATION OF REMAINING FUNDS APPROPRIATED FOR THE HIGH RANGE ROAD WATER SUPPLY PROJECT</b>	\$ -	
Less:	\$ -	
<b>NET TO BE RAISED:</b>	\$ -	\$ -

**Fiscal Year 2027 Estimated Tax Rate Calculations - Municipal**

*Approximately \$73,500 - \$75,000 in appropriations is equal to \$0.01 on the tax rate*

	FY 2027	Tax Rate
ESTABLISH AND FUND WATER SYSTEM CAPITAL RESERVE FUND UNDER RSA 35:1	\$ 500,000	
Less: UFB	\$(500,000)	
<b>NET TO BE RAISED:</b>	\$ -	\$ -
 FUND WATER SPECIAL ASSESSMENT DISTRICT		
Less: UFB	\$(400,000)	
<b>NET TO BE RAISED:</b>	\$ -	\$ -
 CITIZEN PETITION - ESTABLISH & FUND CAPITAL RESERVE FOR REVERAND MORRISON MEETING HOUSE/LIONS UNDER RSA 35:1		
Less: UFB	\$(475,000)	
<b>NET TO BE RAISED:</b>	\$ 475,000	\$ 0.063
 CITIZENS PETITION - STATE FUNDING TO LOCAL COMMUNITIES		
Less: UFB	\$ -	
<b>NET TO BE RAISED:</b>	\$ -	\$ -
 CITIZENS PETITION - EMERGENCY RISK PROTECTION ORDER OR RED FLAG LAW		
Less: UFB	\$ -	
<b>NET TO BE RAISED:</b>	\$ -	\$ -
 Transaction of Other Business		
Less:	\$ -	
<b>NET TO BE RAISED:</b>	\$ -	\$ -
 <b>ADD-ONS:</b>		
Net Overlay to be Raised:	\$ 171,000	\$ 0.023
Veterans' Exemptions: (MS-1)	\$ 1,070,750	\$ 0.142
 <b>2026 Municipal Tax Rate (Projected)</b>	\$ 32,143,886.00	\$ 4.269
 <b>Total Not Recommended:</b>	\$ -	\$ -
<b>Net Town Council Recommended:</b>	\$ 32,143,886.00	\$ 4.269
<b>ASSESSED VALUTION</b>		
2025 Estimated Assessed Valuation	\$ 7,345,941,300	
2026 - Estimated Anticipated Assessed Valuation	\$ 7,529,589,833	

**Difference between "2026 Municipal Tax Rate (Projected)" and "Net Town Council Recommended" Tax Rate is rounding based on the calculation.**



**Town of Londonderry, New Hampshire**  
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**Town Council Meeting – Agenda Item Coversheet**

**Meeting Date:** 1/19/2026  
**Submitted By:** AC Philip LeBlanc  
**Department:** Fire Department

**Contact Information:**  
pleblanc@londonderrynhfire.gov  
**Estimated Discussion Time** 10 Minutes  
**Agenda Item Number:** TC OFFICE USE

**Agenda Item Title:** Receive public input, discuss, and act upon on Ordinance 2026-08, amending the Ambulance Fee Schedule pursuant to NH RSA 420-J.

**Background and Purpose:** To meet new legal requirements created by NH SB 245 (2025) so the Town is eligible to bill private insurance up to 3.25 times the effective Medicare rates for Ambulance Services.

- The Town of Londonderry does not have any contracts with private insurance companies for ground ambulance reimbursement and are therefore considered “out of network”.
- Without action, due to 2025 legislation, as of January 1, 2026 the Town will only be eligible for reimbursement at the Medicare rate when billing private insurance.
- The Town can enter the statewide Standard Ground Ambulance Provider Contract OR negotiate contracts with insurance providers to charge more than the Medicare rate.

The Town is entering the statewide Standard Ground Ambulance Provider Contract with the insurance companies listed below per RSA 420-J:23-24.

Insurance companies:

- |   |   |
|---|---|
| <input type="radio"/> Anthem/Matthew Thornton | <input type="radio"/> Harvard Pilgrim Health Care |
| <input type="radio"/> Centene/Celtic          | <input type="radio"/> United Healthcare           |
| <input type="radio"/> Cigna                   | <input type="radio"/> Wellsense Health Plan       |

- The Town will be able to bill up to 3.25 times Medicare rate as of the day of service.
- These contracts will remain in effect from January 1, 2026 through December 31, 2027.
- A new rate will be established at the conclusion of New Hampshire’s Insurance Department’s two-year study and will take effect January 1, 2028.
- Under RSA 420-J:20-25, ground ambulance providers may no longer bill transported person or responsible parties for a remaining balance in excess of the negotiated amount (3.25 time the Medicare rate) after collecting payment from the insurer and any required cost sharing from the insured.

**Current Billing Rate Comparison**

<b>BILLING CATEGORY</b>	<b>Londonderry</b>	<b>2025 Medicare</b>	<b>2025 Medicare * 3.25</b>
Basic Life Support (BLS)	\$318.23	\$277.68	\$902.46
BLS Emergency	\$509.17	\$444.28	\$1443.91
Advanced Life Support (ALS)	\$381.88	\$333.21	\$1082.93
ALS Emergency	\$604.63	\$527.58	\$1714.64
Advanced Life Support 2	\$875.13	\$763.61	\$2481.73
Mileage (per mile)	\$9.93	\$9.15	\$29.74

**Action:**

1. Receive public input on the proposed changes to the Ambulance Fee Schedule.
2. Approve Ordinance 2026-08 amending Title IV, Chapter XXV Ambulance Fee Schedule.

**Proposed Motion:** *MOVED, that the Londonderry Town Council hereby approves Ordinance 2026-08 amending Title IV, Chapter XXV Ambulance Fee Schedule as attached hereto, establishing a charge of 3.25 times the Medicare rate that is current as of the date of service for transport by the Londonderry Fire Department ground emergency medical services.*

**Attachments:** Ordinance 2026-08; State of NH Q&A on SB 245; current version of Title IV Chapter XXV Ambulance Fee Schedule; new version of Title IV Chapter XXV

**CHAPTER XV - AMBULANCE FEE SCHEDULE**

**SECTION I PURPOSE**

This fee schedule is adopted pursuant to the authority granted to the Town Council by the Town Meeting on March 12, 1996. This fee schedule applies to all transported users or responsible parties charged at a consistent rate as currently in effect per the Ambulance Fee Schedule as adopted by the Town Council pursuant to RSA 420-J:8.

**SECTION II SCOPE**

This policy is applicable to all users or responsible parties, regardless of the existence of third-party insurance coverage, except as provided below:

- A. Town employees injured while in the performance of their regularly assigned duties.
- B. Mutual aid community Fire Department employees injured in the line of duty.

**SECTION III PROCEDURES**

- A. All patients that are transported by the Londonderry Fire Department ambulance shall be billed for the service at a rate of 3.25 times the Medicare rate in effect on the date of service.
- B. Whenever possible, the Town's ambulance billing service and/or Fire Department staff shall obtain insurance information from the patient and shall submit a bill directly to the insurance company.
- C. The Town shall accept assignment of all balances due from the insurance companies.
- D. The Town shall accept assignment from Medicare and Medicaid as full payment for services rendered.
- E. After receiving payment from third-party insurers, the Town's billing service shall bill the patient for any copayment, coinsurance, deductible, and other cost sharing amounts that the carrier requires the covered individual to pay subject to RSA 420-J:21, IV and V.
- F. If a patient is financially unable to pay their ambulance bill, they may submit a hardship request through the Town's Finance Department. The Finance Department shall have a standard process to evaluate requests that are approved by the Town Manager. The evaluation will include a review of the family income and expenses. The evaluation will conclude with one of the following recommendations: the

patient can financially pay the bill, the patient can financially pay a reduced bill, or that the patient cannot financially afford to pay the bill, and it should be written off. If the recommendation is to fully or partially write off an account balance the Finance Department shall submit a write-off request to the Town Manager. If approved by the Town Manager, the Finance Department shall inform the Town’s billing company. Accounts that are written off for financial hardships shall be written off completely and not forwarded to a Collection Agency. A patient may appeal the findings to the Town Council.

- G. At 180 days past due, an account will be evaluated for transfer to a collection agency at the discretion and direction of the Finance Department.
- H. Payment plans may be established to pay off the balance in an acceptable amount of time at any point, as determined by the Town Manager, or designee.

*~~End of Chapter~~*

REVISED	DATE
Resolution 2001-01	02/26/2001
Ordinance 2007-09	10/15/2007
Ordinance 2013-04	07/15/2013
Ordinance 2025-09	09/15/2025
Ordinance 2026-08	01/19/2026

**CHAPTER XV - AMBULANCE FEE SCHEDULE**

**SECTION I PURPOSE**

- A. To establish a process for adjusting charges made for ambulance services and a procedure for collecting fees due the Town.

**SECTION II ANNUAL REVIEW**

- A. The Fire Department shall:
  - 1. Pursuant to Resolution 2004-18, review the Ambulance Fee Schedule annually and make recommendations for adjustments to a level equal to 140% of rates allowed by Medicare, to the Town Manager.
  - 2. Shall exhaust all means available to obtain accurate and complete patient information and data which would assist with the timely billing and collection of fees due.
  - 3. Adjust billing errors with written notification to the billing company and the Finance Department noting the reason for the adjustment.
  - 4. Accept Medicare and Medicaid assignments as full payment for services rendered.

**SECTION III DELINQUENT ACCOUNTS**

- A. Patients and/or the responsible parties, who fail to respond to billing notices within 180 days of the original bill date, may have their delinquent accounts reported to the credit bureau, and further may be subject to collection by a collection agency at the discretion and direction of the Finance Department.

**SECTION IV HARDSHIP ABATEMENTS**

- A. The Finance and Administration Department is hereby authorized to review and make determinations on hardship abatement requests.

**CHAPTER XV - AMBULANCE FEE SCHEDULE (Cont'd.)**

**SECTION V FEES**

Mileage .....	\$9.93
ALS 1.....	\$381.88
ALS 1 Emergency .....	\$604.63
BLS.....	\$318.23
BLS Emergency.....	\$509.17
ALS 2.....	\$875.13

Additional Billing Items

Oxygen .....	\$75.00
IV Service Drugs .....	\$150.00
Expendable Supplies .....	\$50.00
Defibrillation .....	\$150.00
Cardiac Monitor.....	\$150.00
Airway .....	\$140.00
Immobilization .....	\$75.00

*~~End of Chapter~~*

REVISED	DATE
Resolution 2001-01	02/26/2001
Ordinance 2007-09	10/15/2007
Ordinance 2013-04	07/15/2013
Ordinance 2025-09	09/15/2025



# The State of New Hampshire Insurance Department

21 South Fruit Street, Suite 14  
Concord, NH 03301

**David J. Bettencourt**  
Commissioner

**Keith E. Nyhan**  
Deputy Commissioner

## What is SB 245 all about?

SB 245 is a new law in New Hampshire that:

- **Stops surprise ambulance bills** (also called balance billing) starting **January 1, 2026**.
- **Helps ambulance providers get better pay** by offering higher reimbursement rates if they join insurance networks.
- **Creates a fair system** where providers can get paid based on their actual costs.

## What's the trade-off?

- **No more balance billing:** You can't bill patients for the unpaid portion after insurance pays.
- **In return:** If you join a network using the **Standard Contract**, you'll get:
  - **3.25x Medicare rates** from Jan 1, 2026 to Dec 31, 2027.
  - A **cost-based rate** starting Jan 1, 2028, based on a statewide study of ambulance costs.

---

## Do I have to cancel my current contract?

**No.** If you already have a contract with a health insurance company, it stays in place unless you decide to change it. You can:

- Keep your current contract.
- Switch to the Standard Contract if it offers better terms.
- Negotiate a new contract with different terms.

---

## How do I start the process to get the Standard Contract?

1. **Fill out one online form** (called the Standard Contract Application Form).

2. **Submit it online** — it goes to all the carriers you select and to the Insurance Department.
  3. Once submitted, you become an **“Enrolling Provider”** and may qualify for the 3.25× Medicare rate while you finalize the contract.
- 

### **When does the Standard Contract take effect?**

It starts on the **date both you and the carrier sign it**. If you’re still in the process but have submitted the form and are working in good faith, you can still get the 3.25× rate during the transition period.

---

### **What does “Enrolling Provider” mean?**

You’re considered an Enrolling Provider if:

- You submitted the application form.
- You’re actively working with the carrier to complete the contract.

**⚠** If you stop responding for **60+ days**, you lose that status and can’t reapply for **180 days**.

---

### **How will carriers know my status?**

The NH Insurance Department will keep a **public online Registry** showing:

- Who is an Enrolling Provider
- Who has signed a contract
- Who is out-of-network
- Who hasn’t cooperated with the cost study

Carriers will use this to determine how much to pay you.

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### **Can I negotiate different contract terms?**

Yes. You can:

- Accept the Standard Contract as-is.
- Negotiate different rates or terms.
- But the Standard Contract must always be available as a fallback.

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## What types of insurance does SB 245 apply to?

✔ Applies to:

- Fully insured commercial health plans regulated by NH

✘ Does NOT apply to:

- Medicare or Medicare Advantage
- Medicaid or CHIP
- Tricare
- Out-of-state plans
- Self-funded employer plans (unless the carrier chooses to apply the Standard Contract)

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## What if I'm a small or rural ambulance provider?

SB 245 makes it easier for you:

- One standard contract for all carriers
- One online form to start the process
- Carriers must accept any qualified provider who agrees to the terms (this is called the **"any willing provider"** rule)

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## What about billing codes not in the Medicare fee schedule?

It depends on your contract:

- **No contract:** You can bill for non-Medicare codes, and the carrier will pay based on their policy.
- **Standard Contract:** You can't bill separately for those codes — the 3.25× rate is meant to cover them.
- **Negotiated contract:** You can include those codes if both sides agree.

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## What if I'm part of a hospital-based ambulance service?

You have options:

1. **Terminate your current contract**, then apply for the Standard Contract.
  2. **Wait until the Standard Contract is ready**, then let it replace the old one.
  3. **Embed the Standard Contract** into your hospital's existing agreement.
- 

### **What happens if a patient is balance billed after Jan 1, 2026?**

They should contact the **NH Department of Justice – Consumer Protection Bureau**:

- Phone: (603) 271-2110
  - Online: Consumer Protection Hotline
- 

### **How long does the 3.25× Medicare rate last?**

From **January 1, 2026 to December 31, 2027**. After that, only providers with a signed contract will get the new cost-based rate.

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### **Does the Standard Contract end after 2027?**

**No.** The contract continues. Only the payment rate changes — from 3.25× Medicare to the new cost-based rate starting **January 1, 2028**.

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# Town of Londonderry, New Hampshire

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## ORDINANCE 2026-08

### AN AMENDMENT TO THE MUNICIPAL CODE TITLE IV, CHAPTER XXV AMBULANCE FEE SCHEDULE

**WHEREAS** the Town of Londonderry Fire Department provides ground emergency medical services and is a ground ambulance provider as defined by RSA 420-J:20 ; and

**WHEREAS** the Town of Londonderry adopted an Ambulance Fee Schedule on June 30, 1997 and periodically revised the rates therein since; and

**WHEREAS** the State of New Hampshire passed SB 245 on July 31, 2025, adjusting the rate schedule under which health carriers reimburse ground ambulance providers participating in the standard ground ambulance provider contract, allowing participating ground ambulance providers to charge up to 3.25 times the Medicare rate that is current as of the date of service; and

**WHEREAS** the Town of Londonderry is participating in the standard ground ambulance provider contract and wishes to adjust Title IV Chapter XXV of the Municipal Code, titled "Ambulance Fee Schedule," to reflect the adjusted rate.

**NOW THEREFORE BE IT ORDAINED** by the Town Council of the Town of Londonderry that Title IV Chapter XXV is amended as attached hereto, establishing a charge of 3.25 times the Medicare rate that is current as of the date of service for transport by the Londonderry Fire Department ground emergency medical services.

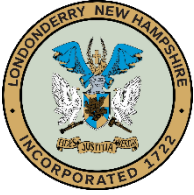
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Ron Dunn – Chair  
Town Council

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Sharon Farrell – Town Clerk

**PASSED AND ADOPTED** by the Londonderry Town Council this 19<sup>th</sup> day of January 2026.



**Town of Londonderry, New Hampshire**  
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## **Town Council Meeting – Agenda Item Coversheet**

**Meeting Date:** 1/19/2026

**Submitted By:** Kellie Caron, DTM

**Department:** Planning & Economic Development

**Contact Information:** kcaron@londonderrynh.gov

**Estimated Discussion Time:** 10 Minutes

**Agenda Item Number:** TC OFFICE USE

**Agenda Item Title:** Public Hearing: Zoning Ordinance Amendment – Rezoning Map 16, Lot 009

**Background and Purpose:** The applicant seeks to rezone Map 16, Lot 009, located at 23 Wilson Road, from split zoned Agricultural Residential (AR-1) and Industrial I (IND-I) to Agricultural Residential (AR-1). The proposed rezoning is intended to better align the property's zoning designation with the surrounding land use pattern. The change would eliminate existing zoning discontinuity and promote land use compatibility with adjacent parcels, many of which are zoned for residential use. It should be noted that rezoning requests are technically zoning amendments, which under New Hampshire RSA 675:2 and RSA 675:3 require a public hearing before the Planning Board and final approval by the Town Council. On November 5, 2025, the Planning Board held a public hearing and recommended the Town Council approve the rezoning request. There are no direct financial implications associated with this request, and legal review is not required.

**Action:** Hold a public hearing, discuss and adopt the amendment of the zoning ordinance as provided.

**Proposed Motion:** MOVED that the Londonderry Town Council adopt Ordinance 2026-01 an amendment to the zoning ordinance relative to rezoning 23 Wilson Road, Map 16, Lot 009 from AR-1 & IND-I to AR-1.

**Attachments:** Ordinance; Staff Memo; Planning Board NOD; 23 Wilson Road Rezoning Application



# Town of Londonderry, New Hampshire

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Planning & Economic Development Department  
268B Mammoth Road  
Town Hall – 2<sup>nd</sup> Floor

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Planning – Zoning – Economic Development – Conservation

## **MEMORANDUM**

**TO:** Town Council

**FROM:** Kellie Caron, Deputy Town Manager & Director of Economic Development

**DATE:** January 12, 2026

**RE:** Rezoning request to rezone approved subdivision lots at 23-51 Wilson Road (Map 16, Lot 9) from split zoning AR-1 (Agricultural Residential) and IND-1 (Industrial I) to AR-1 (Agricultural Residential), Evans Family Limited Partnership (Owner & Applicant).

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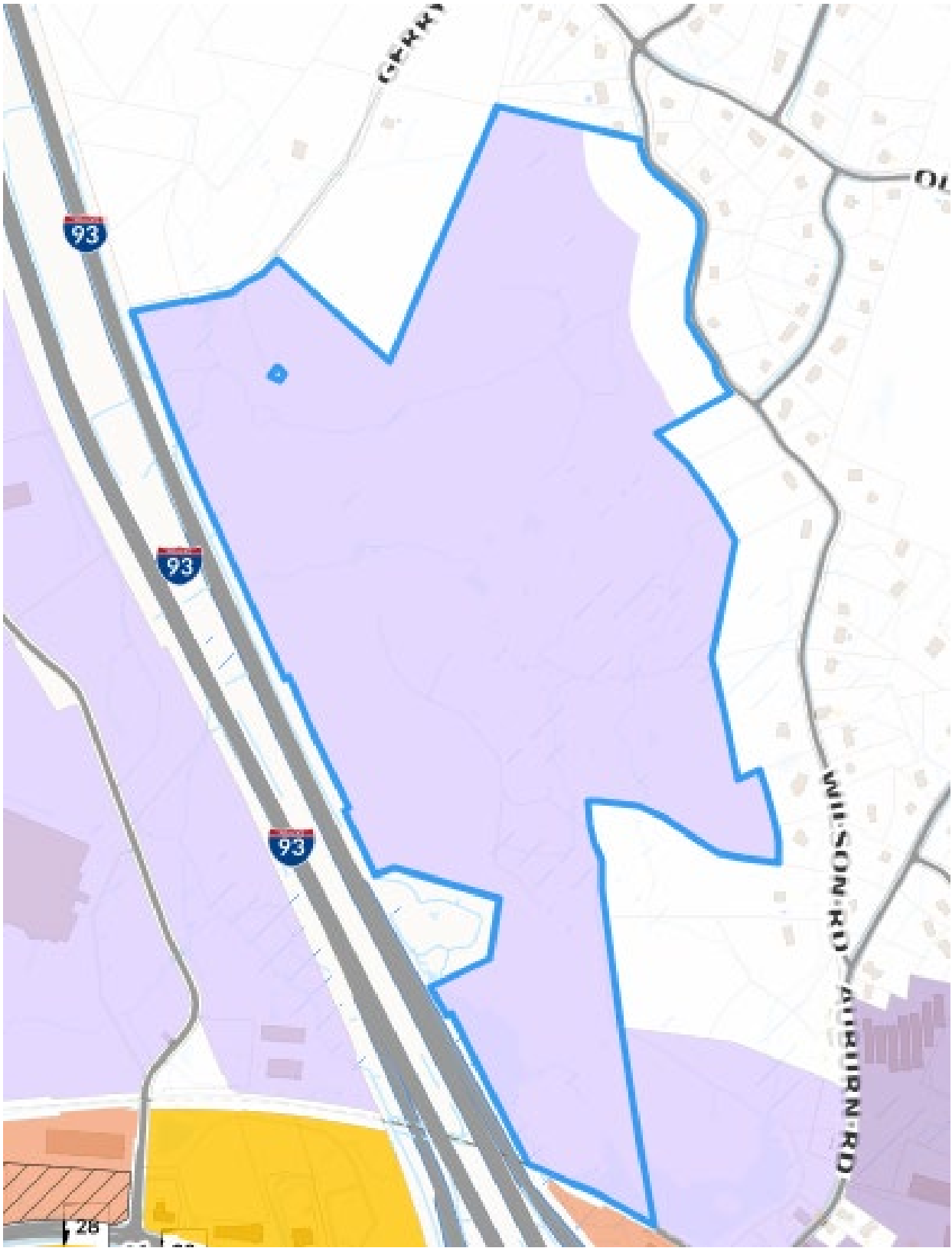
### **Existing Conditions & Background**

The applicant is requesting a zoning amendment affecting property located at 23–51 Wilson Road, identified as Map 16, Lot 9. The parcel is currently split-zoned Agricultural-Residential (AR-1) and Industrial-1 (IND-1), with the zoning boundary running generally parallel to Wilson Road.

The property has been the subject of prior land use approvals. Most recently, the Planning Board conditionally approved a subdivision to create eight (8) single-family residential building lots. The existing zoning boundary would result in several of the proposed residential lots being partially located within the IND-1 zoning district.

The rezoning request seeks to realign the zoning boundary to coincide with the rear lot lines of the approved residential lots, resulting in zoning that is consistent with the approved residential subdivision layout and eliminating split-zoned residential parcels. A similar zoning adjustment was previously approved on this property during a prior subdivision in 2016.

Surrounding land uses along this section of Wilson Road are predominantly residential in character, with existing single-family homes and previously approved residential subdivisions.



### **2013 (current) Master Plan Consistency**

The 2013 Londonderry Comprehensive Master Plan identifies this area as appropriate for low-density residential use, consistent with the AR-1 zoning district. The proposed rezoning would support the implementation of previously approved residential development and eliminate zoning inconsistencies that could otherwise complicate future permitting and enforcement.

The request does not introduce new development potential beyond what has already been reviewed and conditionally approved by the Planning Board through subdivision approval.

### **Rezoning Request:**

The applicant is requesting a zoning amendment to adjust the zoning boundary affecting Map 16, Lot 9 in order to:

- Align zoning with the approved residential subdivision layout
- Eliminate split-zoned residential lots
- Maintain consistency with surrounding residential land uses
- Reflect prior zoning adjustments approved on the property

The proposed rezoning is administrative in nature and intended to correct an internal zoning boundary rather than expand or intensify development rights.

### **Planning Board Action:**

At its meeting on November 5, 2025, the Planning Board voted to recommend approval of the rezoning application:

*Member A. Rugg made a motion to recommend to the Town Council approval of the rezoning request to rezone approved subdivision lots at 23-51 Wilson Road (Map 16, Lot 9) from split zoning AR-1 (Agricultural Residential) and IND-1 (Industrial I) to AR-1 (Agricultural Residential), Evans Family Limited Partnership (Owner & Applicant).*

*Member L. Wiles seconded the motion.*

*The motion was granted 7-0-1, with S. Faber abstaining. Chair votes in the affirmative.*



# Town of Londonderry, New Hampshire

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Planning & Economic Development Department  
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Planning – Zoning – Economic Development – Conservation

## **NOTICE OF DECISION**

The Londonderry Planning Board held a public hearing on Wednesday, November 5, 2025, to consider the following:

Rezoning request to rezone approved subdivision lots at 23-51 Wilson Road (Map 16, Lot 9) from split zoning AR-1 (Agricultural Residential) and IND-1 (Industrial I) to AR-1 (Agricultural Residential), Evans Family Limited Partnership (Owner & Applicant).

**Member A. Rugg made a motion to recommend to the Town Council approval of the rezoning request to rezone approved subdivision lots at 23-51 Wilson Road (Map 16, Lot 9) from split zoning AR-1 (Agricultural Residential) and IND-1 (Industrial I) to AR-1 (Agricultural Residential), Evans Family Limited Partnership (Owner & Applicant).**

**Member L. Wiles seconded the motion.**

**The motion was granted 7-0-1, with S. Faber abstaining. Chair votes in the affirmative.**

This notice is given pursuant to RSA 676:3.

Londonderry Planning Board



# Town of Londonderry, New Hampshire

Planning & Economic Development Department  
268B Mammoth Road  
Town Hall – 2<sup>nd</sup> Floor

603-432-1100  
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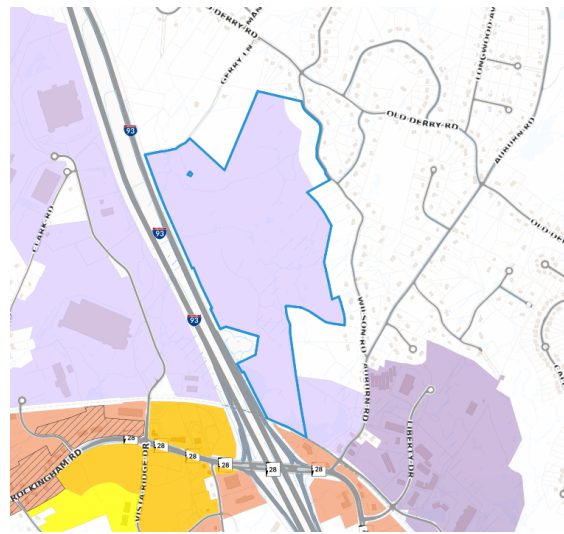
Planning – Zoning – Economic Development – Conservation

## **MEMORANDUM**

**TO:** Planning Board  
**FROM:** Kristan Farr, Town Planner  
**DATE:** November 5, 2025  
**RE:** Public Hearing on an application for a rezoning request to rezone approved subdivision lots at 23-51 Wilson Road (Map 16, Lot 9) from split zoning AR-1 (Agricultural Residential) and IND-1 (Industrial I) to AR-1 (Agricultural Residential) Evans Family Limited Partnership (owner & Applicant).

### **Existing Conditions and Background**

The applicant is requesting the rezoning of 23 Wilson Road (Map 16 Lot 9). This is the parcel that is to be the eight parcels created by the May 14, 2025 conditional approval for a subdivision. The parcel is located in the North part of Londonderry, near Auburn and Old Derry Road and is abutted by residential uses and Interstate 93. The parcel is currently split zoned Agricultural Residential-I/Industrial-I (AR-1/IND-I). The applicant is requesting to rezone the parcel to Agricultural Residential-I (AR-1) only to be consistent with the proposed use of the lot. The parcel is currently undeveloped and abuts residential and industrial zones. The application for rezoning is attached.



*23 Wilson Road outlined in blue  
Source: Town of Londonderry GIS*

### **2013 (current) Master Plan Consistency**

The 2013 Londonderry Comprehensive Master Plan designates this area within the General Industrial Special District (SD-GI): According to the Master Plan:

*“The General Industrial Special District represents industrial parks, manufacturing centers, and warehouses near Interstate 93 (Exit 3, Grenier Field Road, and Harvey Road). These single use, large format buildings contribute to more suburban scale development patterns.”*

While not directly included in this area, the 2013 Londonderry Comprehensive Master Plan also refers the adjacent area as the North Village Artisan District. In summary, this the Master Plan envisions North Village as a revitalized hub of community and economic activity. The North Village Artisan District Plan emphasizes adaptive reuse of historic and industrial buildings, integration of compatible new development, and creation of mixed-use spaces that support the creative economy and value-added agricultural production. It seeks to build upon the area’s historic character while fostering economic vitality and reinvestment in Londonderry’s historic village centers.



*Approximate location of 23 Wilson Road*

*Source: Conservation & Growth Map, 2013 Comprehensive Master Plan*

**Rezoning Request:**

The applicant seeks to rezone the parcel(s) to Agricultural Residential-1 (AR-1) to better align with the permitted residential subdivision. The proposed change would eliminate split zoning within this parcel.

**Board Action Required:**

Should the Board find that the request is reasonable and consistent with the surrounding uses and the Master Plan, the Board may make a recommendation motion as follows:

*Move to recommend to Town Council approval of the rezoning request to rezone approved subdivision lots at 23-51 Wilson Road (Map 16, Lot 9) from split zoning AR-1 (Agricultural Residential) and IND-1 (Industrial I) to AR-1 (Agricultural Residential) Evans Family Limited Partnership (owner & Applicant).*

Alternatively, the Board may make a motion to recommend denial if it determines the request is inconsistent with the Master Plan or surrounding development patterns.



# Town of Londonderry, New Hampshire

268B Mammoth Road • Londonderry, NH 03053

(603) 432-1100 • londonderrynh.gov

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## ORDINANCE 2026-02

### AN AMENDMENT TO THE ZONING ORDINANCE RELATIVE TO REZONING MAP 16, LOT 009

**WHEREAS** the existing parcel, Map 16, Lot 009, 23 Wilson Road is split-zoned Agricultural-Residential (AR-1) and Industrial-1 (IND-1); and

**WHEREAS** the Planning Board has received a request to rezone the above-referenced parcel to Agricultural Residential (AR-1); and

**WHEREAS** the Planning Board has recommended that the Town Council act favorably upon the request; and

**WHEREAS** the requested rezoning is consistent with the purpose and intent of the Londonderry Master Plan and the Londonderry Zoning Ordinance.

**NOW THEREFORE BE IT ORDAINED** by the Town Council of the Town of Londonderry that the Town Zoning Ordinance be amended to reflect the rezoning of Map 16, Lot 009 to Agricultural Residential (AR-1), to become effective upon passage by the Town Council.

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Ron Dunn – Chair  
Town Council

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Sharon Farrell – Town Clerk

**A TRUE COPY ATTEST:**  
1/19/2026



**Town of Londonderry, New Hampshire**  
**268B Mammoth Road • Londonderry, NH 03053**  
**(603) 432-1100 • londonderrynh.gov**

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## **Town Council Meeting – Agenda Item Coversheet**

**Meeting Date:** 1/5/2026  
**Submitted By:** Councilor Shawn Faber  
**Department:** Town Council

**Contact Information:** Email or Telephone  
**Estimated Discussion Time:** 10 Minutes  
**Agenda Item Number:** TC OFFICE USE

**Agenda Item Title:** Public hearing to rescind ADM-910 Purchasing Policy (formerly Town Code, Chapter VI-Purchasing Policy) and adopt a new “Purchasing Procedures” document.

**Background and Purpose:** The Town Council adopted a purchasing policy contained within Town Code, Chapter VI on June 3, 2002 which was subsequently amended on May 5, 2007, again on November 7, 2011 and by resolution on April 1, 2013. On September 15, 2025 Ordinance 2025-09 rescinded Town Code Chapter VI and renumber it as ADM-910. Councilor Faber has proposed a new policy (procedure) which would make changes to the existing policy and shift approval for all consulting agreements for professional services from the Town Manager to the Town Council. Further, approval for many other expenditures will shift the authority of the approval from the Town Manager to the Town Council. Purchase orders will now be required to be used in “every possible instance”.

**Action:** Hear public input to rescind ADM-910 Purchasing Policy and replace the existing purchasing policy by adopting the purchasing procedures document proposed by Councilor Faber.

**Proposed Motion:** *MOVED, that the Londonderry Town Council hereby rescinds ADM-910 Purchasing Policy and adopts the document entitled “Purchasing Procedures”.*

**Attachments:**

- Chapter VI (ADM-910) Purchasing Policy
- Purchasing Procedures
- TM MFR Proposed Purchasing Policy 12/15/25
- DRAFT ADM-110 Procurement Policy
- Agenda Request Councilor Faber

# PURCHASING POLICY

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## Section 1.0: Purpose and Policy Statement

- 1.1. Sound fiscal management can only be achieved through proper and consistent purchasing procedures for the procurement of supplies, equipment, construction, and services for the Town of Londonderry, New Hampshire ("Town"). This Purchasing Policy establishes uniform procedures to ensure that all expenditures:
  - Comply with Town policies;
  - Conform to generally accepted accounting principles (GAAP) and Government Account Standards Board pronouncements;
  - Adhere to applicable New Hampshire Department of Revenue Administration administrative rules; and
  - Comply with existing Town policies and all applicable laws and regulations.
- 1.2. No exception to this Policy shall be permitted if it would conflict with state or federal law.
- 1.3. This Policy shall:
  - Ensure consistent accountability for all Town funds, including enterprise funds and all Town departments. This Policy does not supersede the purchasing requirements of separate boards/committees/commissions (e.g., the Library Trustees, Conservation Commission).
  - Require that all purchases be properly authorized and documented.
  - Require that Town personnel maintain a clear and complete audit trail from receipt of funds to disbursement of funds.

## Section 2.0: Definitions

For purposes of this Policy, the following definitions apply:

**Department Head/Approving Official** – Any Town official authorized to initiate and approve purchases within their respective authority.

**Purchase Order** – A written or electronic authorization issued by the Town approving the purchase of goods or services from a vendor.

**Blanket Purchase Order** – A Purchase Order issued for repeated purchases of incidental items from a vendor over a specified period.

Consulting Services – Third-party professional services including, but not limited to, information technology services, human resources services, management consulting, engineering, architectural, legal services, and similar professional advisory services.

Sole Source – A purchase where only one vendor is reasonably available due to proprietary rights, technical compatibility, or unique qualifications.

### **Section 3.0: General Purchasing Requirements**

- 3.1. All purchases over \$2,500 with an exception for expense reports shall be supported by one or more of the following:
  - An approved Purchase Order; or
  - An itemized credit card receipt (consistent with the Town’s Credit Card Policy). Credit card use does not eliminate the requirement to use Purchase Orders where practicable, including for contracts.
- 3.2. Payment shall be made only upon:
  - Receipt of a vendor invoice or monthly credit card statement; and
  - Acknowledgement by the department or individual receiving the goods or services that the order has been completed.
- 3.3. When authorized by the Town Manager, or the TM’s designee, Town personnel may make a cash purchase and shall submit the original itemized receipt for reimbursement. If the original receipt is missing, the employee must provide a written explanation and a duplicate receipt or other supporting documentation when available; reimbursement is subject to approval by the Town Manager.

### **Section 4.0: Purchase Requisitions and Accounting Controls**

- 4.1. All purchase requisitions shall be entered into the Town’s financial software system and must:
  - Identify the correct function and object codes, consistent with applicable New Hampshire Department of Revenue Administration rules<sup>i</sup>;
  - Bear the electronic approval of the appropriate Department Head/Approving Official.
- 4.2. Purchases requiring bids or price quotations shall include documentation of all bids or quotations received.
- 4.3. The Finance Office shall review requisitions to ensure:

- Compliance with Town policy; and
  - Correct accounting codes prior to issuing a Purchase Order (see endnote i).
- 4.4. If a purchase would cause a function/object line to exceed the approved budget by 10% or more:
- The Town Manager may request a budget transfer;
  - The expenditure must be approved by the Town Manager with confirmation by the Town Council; and
  - The Town Manager should identify savings or reductions in other budget lines to offset such expenditure and to maintain a balanced budget.

### **Section 5.0: Spending Authorization Thresholds**

For expenditures within an approved budget line:

- **\$0 – \$5,000:** Approval by department heads/approving official.
- **\$5,000 and above:** Approval by Town Manager

### **Section 6.0: Quotation and Bidding Requirements**

Unless otherwise exempted under Section 7, the following requirements apply:

- **\$0 – \$5,000:** Purchase must be in the best interest of the Town, as determined by the Town Manager.
- At least three (3) written quotations shall be requested when available. If fewer than three quotations are received after reasonable efforts, the Department shall document the efforts made and the quotations received, and the Town Manager (or designee) may authorize proceeding based on the best value to the Town.
- At least three (3) written quotations or formal bids shall be obtained in compliance with Town bidding requirements. If fewer than three quotations/bids are received after reasonable efforts, the Department shall document the efforts made and the responses received, and the Town Manager (or designee) may authorize proceeding based on the best value to the Town.

### **Section 7.0: Exceptions to Quotation and Bidding Requirements**

The following purchases may be exempt from quotation or bidding requirements when properly documented: For purposes of this section, “minor repairs” are non-capital repairs generally under \$5,000 that do not materially affect building systems; “major repairs” are urgent, time-sensitive repairs that materially affect safety, continuity of operations, or critical infrastructure (often over \$5,000) and where delaying for bidding would reasonably increase risk or cost.

- Purchases made through collaborative purchasing groups
- Purchases of utility services where competitive sources are not available, including current multi-year utility service contracts for the Town.
- Purchases involving the procurement of personal or professional services (including legal, engineering, architectural, auditing, and similar professional services) when selection is based on qualifications, experience, and/or statutory requirements rather than low bid. The Town Manager will maintain a yearly list of professional service providers where the pool of qualified providers is limited.
- Purchases of proprietary maintenance contracts, where alternate “authorized” sources are not available.
- Renewal of current vendor service contracts where quality and timely performance is a critical requirement and where the Town Manager determines renewal is in the best interest of the Town of Londonderry.
- Purchases involving minor repairs.
- Purchases involving major repairs where bidding or formal request for quotation requirements are waived by the Town Manager due to the urgency of the repair.
- Purchases involving a documented Sole Source of supply or Town Council approved Sole Source vendors.
- Any additional purchases considered to be in the best interest of the Town and authorized by the Town Council.
- Expense reimbursement.
- Specific software already approved and in use by the Town’s Technology Department to perform the functions of the Town of Londonderry. The IT Director will maintain a yearly list.
- Services that are directly contracted with the Town’s public schools.
- Professional development that is directly related to the Town’s adopted Strategic Plan goals and initiatives, or other Town Manager–approved organizational priorities.

**Section 8.0: Town Council Approval Requirements**

8.1. The following require Town Council approval regardless of dollar amount:

- All third-party agreements for Consulting Services.
- All multi-year contracts and agreements (excluding routine mutual aid agreements and memoranda of understanding that do not create a financial obligation beyond the approved budget and that are authorized by the applicable Department Head);

8.2. Contracts for engineering, construction, and capital equipment purchases exceeding \$15,000:

- Require Town Council approval; and

- Shall be subject to Requests for Qualifications (RFQs) for professional engineering/architectural services, or Requests for Proposals (RFPs) / Requests for Bids as appropriate, to be issued by the Finance Director's Office in coordination with the requesting Department unless otherwise authorized by the Town Council.
- 8.3. Purchases over \$15,000 that do not qualify for an exception under Section 7.0 require Town Council approval.
- 8.4. All new or renewed proprietary maintenance contracts and vendor service contracts with values that exceed \$15,000 require Town Council approval.
- 8.5. Town Council budget approval does **not** constitute approval of a specific purchase. All purchases must comply with this Policy.

### **Section 9.0: Purchase Order Procedures**

- 9.1. Purchase orders shall be used in all practicable instances.
- 9.2. All Purchase Orders must be approved by the Town Manager or designee prior to placement of any order.
- 9.3. Blanket Purchase Orders may be issued for recurring incidental purchases and must be approved by the Town Manager with confirmation of the Town Council. Any price increase requires issuance of a new Purchase Order or a change order.
- 9.4. Every Purchase Order shall include the following information:
- Date;
  - Total amount, including shipping estimates;
  - Vendor name and address;
  - Quantity and description of items or services; and
  - Department and account to be charged.
- 9.5. The Purchasing Agent may require additional documentation as necessary.
- 9.6. Approved Purchase Orders shall either be returned to the Department placing the order or sent directly to the vendor (electronically whenever practicable), as appropriate. Vendor order forms must accompany direct mail Purchase Orders where necessary.
- 9.7. Unapproved Purchase Orders shall be returned with written explanation.

### **Section 10.0: Cooperative Purchasing**

- 10.1. Whenever feasible and in the best interest of the Town, purchases shall be made through collaborative purchasing groups (e.g. State of New Hampshire bids and U.S. Communities) or municipalities in order to take advantage of lower prices for bulk purchasing and reduce the administrative costs associated with bidding procedures.
- 10.2. The Town Manager is authorized to enter into cooperative purchasing arrangements and shall periodically evaluate opportunities to reduce costs and administrative burden.

#### Section 11.0: Conflicts of Interest

- 11.1. No employee, elected or appointed official, or volunteer of the Town shall perform any type of work, participate in the award or administration of a contract, or participate in decision-making where a conflict of interest exists or may reasonably be perceived to exist, unless authorized by the Town Council at a public meeting.
- 11.2. No employee, elected or appointed official, or volunteer of the Town shall authorize, confirm, or permit funds to be expended with any entity in which they or any member of their immediate family is an owner, officer, or employee. This includes, where applicable, approval of warrants, manifests, and other payments. Any exception must be authorized in writing by the Town Manager with notice to the Town Council, or by the Town Council when required by law or policy.
- 11.3. No employee, elected or appointed official, or volunteer of the Town who is participating or is about to participate in the selection, negotiation, award, or administration of a contract (including bids, RFQs, and RFPs) shall solicit or accept any kickback, gratuity, contingent payment, or any other pecuniary benefit from any person or entity involved in such contract.

#### Section 12.0: Emergency Purchases

An “emergency” is an unforeseen situation that threatens public health or safety, the protection of Town property, or the continuity of essential services, and that requires immediate action such that normal purchasing procedures would cause unreasonable delay. In the event of an emergency, the Town Manager, or their designee, shall have the authority to make such immediate purchases as deemed necessary. Once the emergency has been resolved, a detailed report of all emergency expenditures, the circumstances, and justification for all purchases shall be submitted to the Town Council.

#### Section 13.0: Spending Controls and Freezes

The Town Manager independently or at the recommendation of the Town Council, may implement partial or full freezes on spending to prevent budget deficits while maintaining

compliance with applicable New Hampshire law, fulfilling all relevant contractual obligations, and maintaining essential services obligations.

This Policy shall take effect 14 days from the date adopted by the Town Council to provide the Town Manager time to distribute and train Department Heads/Approving Officials and staff with purchasing authority.

#### Section 14.0: Effective Date, Distribution, and Training

Upon adoption by the Town Council, this Policy supersedes the Purchasing Policy in the Londonderry Municipal Code (Chapter VI). All other provisions of the Municipal Code not addressed herein remain in effect. Where related policies (including the Credit Card Policy, Grants Policy, and Ethics Code provisions) conflict with this Policy, the Town Manager shall propose conforming amendments for Town Council consideration.

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<sup>1</sup> As of the date of this policy the Town's account codes do not follow the NH DRA administrative rules. The Town is in the process of considering the purchase of new software and will be updating the codes as part of the software implementation process. The completion timeline is TBD.

**Town of Londonderry  
Finance Department**



**268 B Mammoth Road  
Londonderry, NH 03053**

**January 19, 2026**

**To:** Town Council  
**CC:** Shaun Mulholland, Town Manager; Kellie Caron, Deputy Town Manager  
**From:** Justin W. Campo, Director of Finance  
**Subject:** Fiscal Year 2026 Unaudited Quarter 2 Financial Update

The following represents the unaudited financial status for Quarter 2 for Fiscal Year 2026 (July 1<sup>st</sup>, 2025 through December 31<sup>st</sup>, 2025). These numbers are subject to change from audit entries and upon further review throughout the audit process.

**General Fund Expenditures:**

**Departmental & Debt Service Encumbrances & Expenditures**

The table below summarizes the total of each department’s expenditures including any encumbrance for that have occurred and been recorded through December 31<sup>st</sup>, 2025.

<b>Unaudited Fiscal Year 2026 Town of Londonderry Quarter 2 Report Town Departments &amp; Debt Service</b>				
<b>Description</b>	<b>Budgeted Appropriation</b>	<b>Expenditures &amp; Encumbrances</b>	<b>Unspent Appropriation</b>	<b>% Spent</b>
Town Council	13,070	13,288	(218)	101.67%
Town Manager	811,284	431,889	379,395	53.24%
Budget Committee	1	-	1	0.00%
Town Clerk	610,459	277,977	332,482	45.54%
Finance	690,614	368,263	322,351	53.32%
Personnel Health Insurance Holdings	21,500	-	21,500	0.00%
Assessing	448,270	153,257	295,013	34.19%
Information Technology	705,498	466,936	238,562	66.19%
Legal Expenses	200,000	99,084	100,916	49.54%
General Government	555,491	281,430	274,061	50.66%
Cemetery	42,540	23,367	19,173	54.93%
Insurance	6,012,054	2,771,753	3,240,301	46.10%
Conservation Commission	3,500	1,100	2,400	31.43%
Police	11,866,846	5,869,243	5,997,603	49.46%
Fire	10,162,998	4,927,190	5,235,808	48.48%
Building	469,238	221,044	248,194	47.11%
Highway Administration	3,028,897	1,268,989	1,759,908	41.90%
Highway Operations	2,152,916	972,701	1,180,215	45.18%
Solid Waste-Waste Collection & Recycling	2,954,529	1,254,343	1,700,186	42.45%
Social Services	50,000	28,467	21,533	56.93%
Welfare	98,000	32,587	65,413	33.25%
Cable	280,598	131,257	149,341	46.78%
Recreation	276,119	177,908	98,211	64.43%
Library	1,589,967	748,737	841,230	47.09%
Senior Affairs	119,958	37,553	82,405	31.30%
Community Development	391,428	238,089	153,339	60.83%
Debt Service	1,329,550	448,965	880,585	33.77%
<b>Totals:</b>	<b>44,885,325</b>	<b>21,245,416</b>	<b>23,639,909</b>	<b>47.33%</b>
<i>Percentage through the year:</i>	50.41%			
<i>Percentage of Budget Spent:</i>		47.33%		

Director of Finance:  
 Controller:  
 Finance & Payroll Coordinator:  
 Finance Clerk

Justin W. Campo ([JCampo@LondonderryNH.gov](mailto:JCampo@LondonderryNH.gov))  
 Sarah Jardim-Lee ([SJardim-Lee@LondonderryNH.gov](mailto:SJardim-Lee@LondonderryNH.gov))  
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Through December 31<sup>st</sup>, the Town is 50.41% of the way through the fiscal year. Through this portion, the Town’s Debt Service and Departments combined have expended 47.33% of the budget that was appropriated for Fiscal Year 2026. It is important when analyzing these numbers and percentages that one-time payments can inflate the percentage expended and can also do the reverse and not accurately reflect the current position of the Town if the payment comes later in the year.

**Capital Outlay & Transfers to Capital Reserve**

The table below summarizes the Town’s budget for Capital outlay and Transfer to the Capital Reserve which were approved in March of 2025. The underspent appropriation is from the Rail Trail Warrant Article. The over-expenditure is due to the High Range Road water project that was approved through a warrant article in the previous year. The Town received a corresponding revenue for these expenses through the State and the Drinking Ground Water Trust Loan program.

<b>Unaudited Fiscal Year 2026</b>				
<b>Town of Londonderry Quarter 2 Report</b>				
<b>Capital Outlay &amp; Transfers to Capital Reserve</b>				
<b>Description</b>	<b>Budgeted Appropriation</b>	<b>Expenditures &amp; Encumbrances</b>	<b>Unspent Appropriation</b>	<b>% Spent</b>
Capital - Land	-	-	-	0.00%
Capital - Buildings	-	-	-	0.00%
Capital - Other	850,000	2,700,311	(1,850,311)	317.68%
Transfer to Capital Reserve Fund	1,593,500	952,500	641,000	59.77%
<b>Totals:</b>	<b>2,443,500</b>	<b>3,652,811</b>	<b>(1,209,311)</b>	<b>149.49%</b>

Director of Finance:  
 Controller:  
 Finance & Payroll Coordinator:  
 Finance Clerk

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**General Fund Revenues:**

The table below summarizes the Town’s General Fund Revenues throughout the second quarter of Fiscal Year 2026. These revenues are comprised of departmental revenues, state revenues, motor vehicle revenues, among various other ones.

<b>Unaudited Fiscal Year 2026</b>						
<b>Town of Londonderry Quarter 2 Report</b>						
<b>General Fund Revenues</b>						
<b>Description</b>	<b>Revenues During Budget Process</b>	<b>Budgeted Appropriation</b>	<b>Revenue Recognized</b>	<b>(Over)/Under</b>	<b>% Collected</b>	
Yield Taxes	\$ 5,000.00	\$ 5,000.00	\$ -	\$ 5,000.00	0.00%	
Payment in Lieu of Taxes	\$ 908,125.00	\$ 1,318,125.00	\$ 410,000.00	\$ 908,125.00	31.10%	
Excavation Taxes	\$ 10,000.00	\$ 10,000.00	\$ 440.85	\$ 9,559.15	4.41%	
Interest & Costs on Late Property Taxes	\$ 175,000.00	\$ 175,000.00	\$ 192,331.46	\$ (17,331.46)	109.90%	
Business Licenses & Fees	\$ 6,000.00	\$ 6,000.00	\$ 2,629.00	\$ 3,371.00	43.82%	
Motor Vehicle Permits	\$ -	\$ 10,750,000.00	\$ 5,242,817.97	\$ 5,507,182.03	48.77%	
Boat Licenses	\$ 8,000.00	\$ 8,000.00	\$ 1,550.31	\$ 6,449.69	19.38%	
Building Permits	\$ 550,000.00	\$ 1,250,000.00	\$ 613,569.00	\$ 636,431.00	49.09%	
Dog Licenses	\$ 25,000.00	\$ 25,000.00	\$ 14,297.00	\$ 10,703.00	57.19%	
Marriage Licenses	\$ 7,500.00	\$ 7,500.00	\$ 4,356.00	\$ 3,144.00	58.08%	
Reclamation Fees	\$ 17,000.00	\$ 17,000.00	\$ 8,202.00	\$ 8,798.00	48.25%	
Other Licenses and Permits	\$ 500.00	\$ 500.00	\$ -	\$ 500.00	0.00%	
Marriage Ceremonies	\$ 2,500.00	\$ 2,500.00	\$ 1,650.00	\$ 850.00	66.00%	
Meals & Room Tax	\$ 2,600,000.00	\$ 2,743,841.00	\$ 2,743,840.58	\$ 0.42	100.00%	
Highway Block Grant	\$ 635,224.00	\$ 635,224.00	\$ 399,581.94	\$ 235,642.06	62.90%	
Zoning Review	\$ 40,000.00	\$ 45,000.00	\$ 29,802.84	\$ 15,197.16	66.23%	
General Government	\$ 218,000.00	\$ 218,000.00	\$ -	\$ 218,000.00	0.00%	
Police Department	\$ 182,774.00	\$ 100,250.00	\$ 1,615.98	\$ 98,634.02	1.61%	
Fire Department	\$ 886,200.00	\$ 886,600.00	\$ 790,405.29	\$ 96,194.71	89.15%	
Public Works Department	\$ 137,000.00	\$ 137,000.00	\$ 88,291.44	\$ 48,708.56	64.45%	
Cable Department	\$ 516,000.00	\$ 548,500.00	\$ 256,934.30	\$ 291,565.70	46.84%	
Recreation Department	\$ 7,000.00	\$ 7,000.00	\$ 7,000.00	\$ -	100.00%	
Senior Affairs Department	\$ 3,000.00	\$ 3,000.00	\$ 1,615.00	\$ 1,385.00	53.83%	
Interest on Investments	\$ 750,000.00	\$ 1,550,000.00	\$ 748,829.88	\$ 801,170.12	48.31%	
Insurance Reimbursements	\$ 50,000.00	\$ 50,000.00	\$ 1,000.00	\$ 49,000.00	2.00%	
Other Miscellaneous Revenue	\$ 70,000.00	\$ 70,000.00	\$ 7,878.79	\$ 62,121.21	11.26%	
Sale of Town Property	\$ -	\$ -	\$ 45,054.00	\$ (45,054.00)	0.00%	
Transfers from Sewer Fund	\$ 99,786.00	\$ 99,786.00	\$ -	\$ 99,786.00	0.00%	
Transfers from Airport Fund	\$ 95,000.00	\$ 95,000.00	\$ -	\$ 95,000.00	0.00%	
Transfer from trust/agency funds Transfers	\$ 25,000.00	\$ 25,000.00	\$ -	\$ 25,000.00	0.00%	
<b>Totals:</b>	<b>\$ 8,029,609.00</b>	<b>\$ 20,788,826.00</b>	<b>\$ 11,613,693.63</b>	<b>\$ 9,175,132.37</b>	<b>55.87%</b>	
<i>Percentage through the year:</i>		50.41%				
<i>Percentage of Revenue Collected:</i>		55.87%				

The Town has received approximately 55.87% of the budgeted revenue so far throughout Quarter 2. Like the one-time payments that were mentioned during the expenses, revenue received one-time throughout the year can also result in the percentage not being accurately reflected. Removing out Payment in Lieu of Taxes, and the Transfers from the Sewer, Airport, and Trust funds the percentage of revenue the Town has received through Quarter 2 is approximately 59.07%. The reason for removing these categories is

Director of Finance:  
Controller:  
Finance & Payroll Coordinator:  
Finance Clerk

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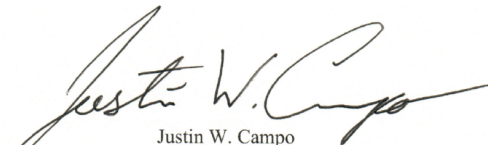


when the Town will receive the funds as they are done so at a specified time every year which has not occurred yet. While the Town is trending above budget, it is also doing better than reflected in these numbers. As the finance department has been focusing on the Fiscal Year 2027 budget process, the December investment interest journal entry has not been finalized and applied as of December 13<sup>th</sup>. This will increase the amount of revenue that has been received by the Town.

**Other Funds:**

Below you will see the overview of funds outside of the General Fund. These funds, while maintained by the Town of Londonderry, have no direct impact on the Tax Rate of the Town of Londonderry and are supported by user fees rather than property taxes.

<b>Unaudited Fiscal Year 2026 Town of Londonderry Quarter 2 Report Other Funds</b>			
<b>Description</b>	<b>Fund Revenues</b>		<b>Fund Expenditures</b>
Sewer Enterprise Fund	\$	915,282.49	\$ 1,499,646.60
Police Outside Detail Fund	\$	316,988.50	\$ 315,924.13
Police Airport Detail Fund	\$	1,192,471.68	\$ 1,286,746.63
Recreation Revolving Fund	\$	81,230.89	\$ 32,814.84



Justin W. Campo  
Director of Finance

Director of Finance:  
Controller:  
Finance & Payroll Coordinator:  
Finance Clerk

Justin W. Campo ([JCampo@LondonderryNH.gov](mailto:JCampo@LondonderryNH.gov))  
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Jessica Therrien ([JTherrien@LondonderryNH.gov](mailto:JTherrien@LondonderryNH.gov))



47 Ms. Wagner expressed concern about the hiring of the new fire chief and asked for the Town  
48 Manager's resignation.

49  
50 **Name:** Moira Ryan

51 **Address:** 2 Snowberry Hollow

52 Ms. Ryan repeated her earlier question about who made the decision not to issue the Veterans'  
53 Tax Credit. She asked that the Disabled Veterans' Tax Credit be reinstated for December.

54  
55 **Name:** Beth Marrocco

56 **Address:** 4 Westwood Drive

57 Ms. Marrocco thanked Library Director Erin Matlin for her stellar work and expressed regret  
58 about her departure.

59  
60 **Name:** John Farrell

61 **Address:** 4 Hancock Drive

62 Mr. Farrell recommended the Veterans' Tax Credit be issued.

63  
64 Chair Dunn closed public comment.

65  
66 **C. BOARD APPOINTMENTS AND REAPPOINTMENTS**

67 None

68  
69 **D. PUBLIC HEARINGS**

70 **1. Receive public input, discuss, and act upon a proposed amendment to the**  
71 **composition of the Recreation Commission, changing the number of members.**

72 Ms. Hildonen explained this resolution would increase the membership of the Recreation  
73 Commission from five to seven full-time members and up to three alternate members, and  
74 gave the rationale for doing so.

75  
76 *Vice Chair Faber moved to open the public hearing. Seconded by Councilor Combes.*  
77 *Motion carried 5-0-0. Chair votes in the affirmative.*

78  
79 Chair Dunn asked for public comment; there was none.

80  
81 *Vice Chair Faber moved to close the public hearing. Seconded by Councilor Combes.*  
82 *Motion carried 5-0-0. Chair votes in the affirmative.*

83  
84 *Vice Chair Faber moved that the Londonderry Town Council hereby change the*  
85 *membership of the Recreation Commission to seven full members and up to three*  
86 *alternate members. Seconded by Councilor Combes. Motion carried 5-0-0. Chair votes*  
87 *in the affirmative.*

88  
89 **2. Receive public input, discuss, and act upon a proposed amendment to the Purchasing**  
90 **Policy.**

91 After discussions with the Town Manager, Vice Chair Faber proposed temporarily  
92 lowering the Purchasing Policy amount to \$15,000 and adding that new contractual

93 agreements will come before the Council until a new policy is collaboratively established.  
94 He recommended moving the public hearing to January 19, 2026.

95  
96 *Vice Chair Faber moved to amend the current Purchasing Policy amount to \$15,000*  
97 *and add that contractual services will come before the Council until a new policy is*  
98 *collaboratively established. Seconded by Councilor Combes.*

99  
100 A point of order was called that the public could not hear the Councilors.

101  
102 A point of order was called that the policy was being changed without the benefit of a  
103 public hearing. The Council noted the change is to ensure that no large expenditures be  
104 approved while the policy is being amended.

105  
106 *Motion carried 4-0-1, with Councilor Bouchard voting in opposition. Chair votes in the*  
107 *affirmative.*

108  
109 **E. NEW BUSINESS**

110 **1. Discuss and approve an expenditure from the Police Equipment & Technology**  
111 **Capital Reserve Fund.**

112 Chief Bernard presented this request to purchase four portable radios for newly hired  
113 officers.

114  
115 *Vice Chair Faber moved that the Londonderry Town Council hereby approve the*  
116 *withdrawal request and direct the Trustees of the Trust Fund to disburse \$17,593.68*  
117 *from the Police Equipment & Technology Capital Reserve Fund for the aforementioned*  
118 *items. Seconded by Councilor Combes. Motion carried 5-0-0. Chair votes in the*  
119 *affirmative.*

120  
121 **2. Discuss the status of Londonderry's Community Power Aggregation.**

122 Lynn Wiles of the Utilities Committee and Bart Fromuth of Freedom Energy Logistics  
123 reviewed the status of the Community Power Aggregation program. Mr. Fromuth  
124 explained Eversource rates are potentially increasing to the point where implementing this  
125 program can offer the community savings, and reviewed the process of doing so.

126  
127 **3. Budget Workshop**

128 Members of the Council and Budget Committee asked clarifying questions about the  
129 budget, specifically IT and management services.

130  
131 They made recommendations to achieve the proposed \$400,000 in cuts and these were  
132 discussed. They reviewed the impact and timeline of implementing OpenGov. They  
133 discussed eliminating the two part-time Human Resources positions.

134  
135 They agreed to continue this discussion at the next meeting. They reviewed the timeline  
136 for approving the budget and warrant articles.

137  
138 The Budget Committee left the meeting.

139  
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**F. OLD BUSINESS**

Chair Dunn added two topics to this Agenda item.

**1. Veterans Tax Credit**

The Council discussed issuing refunds to the 86 veterans who qualify for this credit. They explained they believed it would be effective immediately when they voted to approve issuing this credit.

*Councilor Bouchard moved that the Town Council instruct the Town Manager to find a process to issue a refund to qualified veterans. Seconded by Vice Chair Faber.*

*Discussion:* Mr. Mulholland said it is not possible to issue a refund for taxes once they are paid. He suggested Counsel be consulted before such a motion is made. He explained the Council could issue abatements for 2026 for just cause.

Chair Dunn will speak with Counsel about how to achieve this.

*No vote was taken.*

**2. Old Home Day**

Chair Dunn has received input from residents that they want Old Home Day to remain in its current state. Mr. Mulholland pointed out that although cuts were made, Old Home Day is fully funded in the budget.

They noted that the Old Home Day Committee only has three members and whether this would be sufficient to organize the event. They agreed on the need to continue to recruit members for the Committee. They noted that changes might be made to the event, depending on the decisions of the Committee.

They discussed the status of the Committee as a non-profit and the potential challenge this presents to recruiting members.

Councilor Combes agreed to be a member of the Committee and keep the Council informed as to its progress.

The Council agreed to hold a public hearing to allow for public input on this issue.

**G. APPROVAL OF CONSENT ITEMS**

- 3. Town Council Meeting Minutes from December 8, 2025**
- 4. Town Council Meeting Minutes from December 15, 2025**
- 5. Land Use Change Tax (LUCT)**
- 6. Contract for construction of Pillsbury Road Pump Station, Force Main, and Gravity Interceptor**

*Vice Chair Faber moved to approve the Consent Items as presented. Seconded by Councilor*

185 *Combes. Motion carried 5-0-0. Chair votes in the affirmative.*

186

187 **H. OTHER BUSINESS**

188 **1. Liaison Reports**

189 None

190

191 **2. Town Manager Report**

192 **a. DOT Agreement: Crosswalks at Exit 5**

193 Mr. Mulholland reviewed an email from the NHDOT regarding paving being done at  
194 the Exit 5 ramps, and a request that the Town sign a maintenance agreement for the  
195 sidewalks or they would be removed. He noted the Town did not agree to maintain  
196 the sidewalks originally.

197

198 The Council agreed not to sign such a maintenance agreement.

199

200 **b. Request for a Letter of Support from the Town of Derry for HB1469**

201 Mr. Mulholland asked the Council if they supported writing this letter and they agreed  
202 they did not.

203

204 **3. Deputy Town Manager Report**

205 Ms. Caron said the PUD Ordinance discussion would likely be pushed past February 2nd,  
206 as she is working to schedule an additional work session with the Planning Board.

207

208 **I. PUBLIC COMMENT**

209 Chair Dunn opened public comment

210

211 **Name:** Marge Badois

212 **Address:** 189 Litchfield Road

213 Ms. Badois said some of the angst about Old Home Day is confusion as to whether volunteers  
214 or Board members are needed, due to the possible liability of being on a Board.

215

216 **Name:** Sandra Lagueux

217 **Address:** 2 Fiddlers Ridge Road

218 Ms. Lagueux suggested that Councilors tell concerned citizens that Old Home Day is not being  
219 cut. She recommended Councilors listen to experts and not waste time second-guessing facts.

220

221 **Name:** Mike Speltz

222 **Address:** 18 Sugarplum Lane

223 Mr. Speltz asked that the Council take a longer-term view of the proposed elimination of the  
224 Conservation Ranger as part of the \$400,000 budget cuts. The position was created to address  
225 issues on Conservation lands, and solving problems later might be more costly than funding  
226 the position.

227

228 Chair Dunn closed public comment.

229

230 **J. NON-PUBLIC SESSION**

231 A non-public session was held per RSA 91-A:3, II(d): Consideration of the acquisition, sale,  
232 or lease of real or personal property which, if discussed in public, would likely benefit a party  
233 or parties whose interests are adverse to those of the general community.

234  
235 *Vice Chair Faber made a motion to go into non-public session per RSA 91-A:3, II(d).*  
236 *Seconded by Councilor Combes. A roll call vote was taken: Combes - aye, Faber - aye, Dunn*  
237 *- aye, Bouchard - aye, Paul - aye. Motion carried 5-0-0. Chair votes in the affirmative.*

238  
239 The cameras were turned off at 9:36 p.m.

240  
241 **K. MEETING SCHEDULE**

- 242 • January 12, 2026; Moose Hill Council Chambers; 7 p.m.
- 243 • January 19, 2026; Moose Hill Council Chambers; 7 p.m.
- 244 • February 2, 2026; Moose Hill Council Chambers; 7 p.m.

245  
246 **L. ADJOURNMENT**

247 The meeting was adjourned.

248  
249 *Minutes prepared by Beth Haggeli*

1                                   **Londonderry Town Council Meeting**  
2                                   **and Public Hearing on FY27 Budget**  
3                                   **Monday, January 12, 2026, 7:00 p.m.**  
4                                   **Moose Hill Council Chambers**

5  
6  
7 **Meeting Link:** <https://www.youtube.com/watch?v=Nq8NDfcXhMs>  
8

9 **Council Members Present:** Chair Ron Dunn; Vice Chair Shawn Faber; Councilors Dan  
10 Bouchard, Deb Paul, Ted Combes

11  
12 **Council Members Absent:** None  
13

14 **Others Present:** Town Manager Shaun Mulholland; Deputy Town Manager & Director of  
15 Economic Development Kellie Caron; Administrative Services Director Kirsten Hildonen;  
16 Finance Director Justin Campo; Controller Sarah Jardim-Lee; DPW Director Dave Wholley;  
17 Acting Fire Chief Phil LeBlanc; Members of the Budget Committee  
18

19  
20 **A. CALL TO ORDER**

21       Chair Dunn called the meeting to order at 7 p.m. and led the Pledge of Allegiance.  
22

23 **B. PUBLIC COMMENT**  
24

25       **1. Receive a presentation on the New Hampshire Department of Environmental**  
26       **Services (NHDES) PFAS Removal Rebate Program for Private Wells.**

27       Amy Rousseau, PFAS Response Coordinator at NHDES, offered a presentation on the  
28       PFAS Removal Rebate Program for Private Wells. She reviewed the eligibility  
29       requirements and how to apply.  
30

31       Chair Dunn opened public comment.  
32

33       **Name:** Dennis Martin

34       **Address:** 182 Pillsbury Road

35       Mr. Martin asked about the Veterans Tax Credit and that the Town Council consider having  
36       the Town Manager resign.  
37

38       **Name:** Richard Belinsky

39       **Address:** 89 Hall Road

40       Mr. Belinsky spoke to the hiring of the new Fire Chief. He reiterated earlier questions about  
41       the police detail cruisers and Veterans Tax Credit.  
42

43       **Name:** Beth Marrocco

44       **Address:** 4 Westwood Drive

45       Ms. Marrocco acknowledged Erin Matlin's work as the Director of the Leach Library.  
46

47 **Captain Patrick Cheetham, Londonderry Police Officer and resident**, and members of the  
48 Senior Resources Committee thanked Erin Matlin for her work and offered their best wishes  
49 for her future endeavors.

50

51 **Name:** Kristine Perez

52 **Address:** 5 Wesley Drive

53 Ms. Perez, as a State Representative, explained why she voted against HB675.

54

55 **Name:** Kathy Wagner

56 **Address:** 12 MacGregor Court, Unit 403/15 Parmenter Road

57 Ms. Wagner expressed her concerns about Old Home Day.

58

59 Chair Dunn closed public comment.

60

61 Mr. Mulholland clarified misinformation on a number of topics. He read sections from the  
62 Town Charter regarding the responsibilities of the Town Manager.

- 63 • He reviewed the process followed to hire the new Fire Chief and the reasoning behind the  
64 salary the candidate was offered.
- 65 • He explained the rationale behind salary increases given to Town employees.
- 66 • He reviewed the process involved in approving and issuing the Veterans Tax Credit.  
67 August 1, 2025, was the effective date the Council adopted the change. Per law, the change  
68 will not take effect until 2026.
- 69 • He did not give himself a raise. Funds were put into the budget to increase his salary, if the  
70 Council chose to do so.
- 71 • No cuts have been made to Old Home Day; it is fully funded. He explained the legality of  
72 forming a 501(c)(3) for this.
- 73 • He explained why Council did not act illegally when changing the Purchasing Policy.

74

75 He spoke to the problem of personal feuds, and the need for the Town Manager and Council  
76 to work together to provide service to the community.

77

78 Councilor Bouchard spoke to the hiring of the Town Manager. He also spoke to the hiring of  
79 the new Fire Chief, asking the Council to investigate the leaking of non-public information.  
80 He reviewed the role of the Town Manager in making wage adjustments. He suggested the  
81 Council needs to meet with the Town Manager to discuss goals and vision for the Town. He  
82 spoke in support of the efforts made by the Town Manager to resolve issues.

83

84 Vice Chair Faber noted the Council can meet with the Town Manager in a non-public meeting,  
85 but not in a casual meeting. He believes the Councilors have clearly outlined their desires for  
86 the Town for the Town Manager. He said Council Bouchard disclosed non-public information.  
87 He said people are upset about the wage adjustments and the Council should address this.

88

89 Council Bouchard noted the public's impression that the Council is divided.

90

## 91 **C. BOARD APPOINTMENTS AND REAPPOINTMENTS**

92 None

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94  
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**D. PUBLIC HEARINGS**

**1. Receive public input, discuss and act upon the acceptance of unanticipated revenue – NHDES Aquatic Resource Mitigation (ARM) Fund Grant Amendment for Lithia Springs Project**

Mike Speltz of the Londonderry Conservation Commission reviewed the receipt of a \$500,000 grant in 2023 from the NHDES ARM Fund to acquire the Lithia Springs property and the work done. They received an additional \$30,000 to design, fabricate, and install two approved signs.

*Vice Chair Faber moved to open the public hearing. Seconded by Councilor Combes. Motion carried 5-0-0. Chair votes in the affirmative.*

Chair Dunn asked for public comment.

**Name:** Ann Chiampa

**Address:** 28 Wedgewood Drive

Ms. Chiampa asked about the removal of part of the causeway and spoke to the history of that roadway. Mr. Speltz explained why the causeway was removed; historical information will be included on a sign.

**Name:** Ray Breslin

**Address:** 3 Gary Drive

Mr. Breslin spoke to the importance of Lithia Springs as a wetland and historic site. He stressed the importance of preserving natural resources.

*Vice Chair Faber moved to close the public hearing. Seconded by Councilor Bouchard. Motion carried 5-0-0. Chair votes in the affirmative.*

*Vice Chair Faber moved to adopt Resolution 2026-01, accepting unanticipated revenue in the amount of \$30,000 pursuant to RSA 31:95-b, III(a), from the New Hampshire Department of Environmental Services Aquatic Resource Mitigation Fund Program for the Lithia Springs Conservation and Restoration Project, and to authorize the Town Manager to execute all documents necessary to accept and administer the grant. Seconded by Councilor Combes. Motion carried 5-0-0. Chair votes in the affirmative.*

**2. Receive public input and discuss the proposed fiscal year 2027 budget.**

Mr. Mulholland offered a presentation on the budget and the budget process, and reviewed the warrant articles.

*Vice Chair Faber moved to open the public hearing. Seconded by Councilor Combes. Motion carried 5-0-0. Chair votes in the affirmative.*

Chair Dunn asked for public comment.

**Name:** Ann Chiampa

139 **Address:** 28 Wedgewood Drive  
140 Ms. Chiampa noted the Social Security increase this year is 2.8%.

141  
142 ***Vice Chair Faber moved to close the public hearing. Seconded by Councilor Bouchard.***  
143 ***Motion carried 5-0-0. Chair votes in the affirmative.***  
144

145 The Budget Committee and Town Council discussed budget cuts recommended by  
146 members of the Budget Committee, and suggested items that could be moved to warrant  
147 articles. They also discussed the warrant articles. The Budget Committee agreed to present  
148 a compilation of their recommended cuts to the Council for discussion at the public  
149 hearing on January 19th.

150  
151 **E. NEW BUSINESS**

152 **1. Discuss warrant article for the renovation of the Reverend Morrison Meeting House**  
153 **commonly referred to as the Lions Hall.**

154 Mr. Mulholland reviewed the history of the Morrison Meeting House and described its  
155 present state. He obtained cost estimates to bring the building into code compliance and  
156 make the first floor ADA compliant. He also obtained estimates to demolish the building.

157  
158 The Council discussed the citizens' petition warrant article for \$950,000 and what could  
159 be accomplished with this amount. They noted the potential for confusion caused by  
160 presenting two warrant articles for this building and how to resolve this.

161  
162 Kevin McGee responded to questions about the estimates provided by ReArch  
163 Construction. The Council asked him to provide information about his company's  
164 experience with similar projects and he agreed to do so.

165  
166 The Council discussed the historic value of the structure and the cost to replace it with a  
167 comparable modern building. They also discussed the financial impact to the taxpayers  
168 of a bond versus raising funds through taxation.

169  
170 Mr. Mulholland noted there are other options for the building that should be researched  
171 and other information needed to make an informed decision.

172  
173 The Council agreed they would like to hear from the public about what should be done  
174 with this building.

175  
176 ***Vice Chair Faber moved that the Londonderry Town Council hereby schedule a bond***  
177 ***hearing for January 19, 2026, at 7 p.m. at the Londonderry Town Hall to receive public***  
178 ***input and act to move a warrant article in the amount of \$3,380,551 to the ballot of the***  
179 ***2026 Annual Town Meeting for consideration by the voters.***

180  
181 Finance Director Campo said the correct amount is \$3,381,000.

182  
183 **Vice Chair Faber amended his motion to \$3,381,551.**  
184

185 Finance Director Campo clarified the amount is \$3,381,000.

186  
187 **Vice Chair Faber amended his motion to \$3,381,000.**

188  
189 *Seconded by Councilor Paul. Motion carried 5-0-0. Chair votes in the affirmative.*

190  
191 The members of the Budget Committee left the meeting.

192  
193 **2. Discuss and approve the sale of the property located at 10 Beacon Street.**

194 Mr. Mulholland explained the Council accepted the tax deed for this property on July 21,  
195 2025. The Court authorized the Town to advertise the property for sale in December 2025,  
196 as no heirs have been found.

197  
198 *Vice Chair Faber moved that the Londonderry Town Council hereby authorizes the*  
199 *Town Manager to take all steps necessary as justice may require for the sale of the tax-*  
200 *deeded property at 10 Beacon Street in Londonderry, New Hampshire, and to execute*  
201 *all documents required in furtherance of the sale of the property. Seconded by*  
202 *Councilor Combes. Motion carried 5-0-0. Chair votes in the affirmative.*

203  
204 **3. Discuss and schedule a public hearing regarding a Zoning Ordinance amendment –**  
205 **Rezoning Map 16, Lot 009.**

206 Ms. Caron reviewed this request to rezone this property to AR-1, which is currently split-  
207 zoned AR-1 and Industrial. This is a condition of the subdivision approval.

208  
209 *Vice Chair Faber moved that the Londonderry Town Council hereby schedule a public*  
210 *hearing for January 19, 2026, at 7 p.m. at the Londonderry Town Hall to hear public*  
211 *input and act on rezoning Map 16, Lot 009. Seconded by Councilor Combes. Motion*  
212 *carried 5-0-0. Chair votes in the affirmative.*

213  
214 **4. Discuss and set a Public Hearing to rescind Chapter I & II of the Administrative**  
215 **Code, Londonderry Municipal Code Title V and replace it with a new Chapter 4**  
216 **Administrative Departments.**

217 Mr. Mulholland said changes are still being made and requested this item be tabled.

218  
219 **5. Discuss and set a public hearing on Ordinance 2026-08, amending the Ambulance**  
220 **Fee Schedule pursuant to NH RSA 420-J.**

221 Acting Fire Chief LeBlanc reviewed SB245, which changed how ambulance billing is  
222 done. A public hearing is needed to discuss the Fire Department entering into contracts  
223 with providers and amending the ambulance fees.

224  
225 *Vice Chair Faber moved that the Londonderry Town Council hereby schedule a public*  
226 *hearing for January 19, 2026, at 7 p.m. at the Londonderry Town Hall to hear public*  
227 *input and pass Ordinance 2026-08 amending Title IV, Chapter XXV Ambulance Fee*  
228 *Schedule. Seconded by Councilor Combes. Motion carried 5-0-0. Chair votes in the*  
229 *affirmative.*

231 **F. OLD BUSINESS**

232 **1. Discuss and consider moving proposed Charter Amendments to the ballot.**

233 Ms. Hildonen said the State and counsel have no objection to moving the proposed Charter  
234 amendments to the ballot. She explained why this does not include the recall provision;  
235 this will be discussed at a later date.

236  
237 *Vice Chair Faber moved that the Londonderry Town Council hereby orders the two*  
238 *proposed charter amendments be placed on the ballot for the March 10, 2026, municipal*  
239 *election. Seconded by Councilor Combes. Motion carried 5-0-0. Chair votes in the*  
240 *affirmative.*

241  
242 **G. APPROVAL OF CONSENT ITEMS**

243 There were no Consent Items to be approved.

244  
245 **H. OTHER BUSINESS**

246 **1. Liaison Reports**

247 Councilor Combes and Chair Dunn attended the School Board meeting, where the budget  
248 and full-day kindergarten were discussed.

249  
250 **2. Town Manager Report**

251 Mr. Mulholland passed out non-public minutes from December 15, 2025, and January 5,  
252 2026. He recommended the Council approve both sets of minutes and unseal the  
253 December 15th minutes.

254  
255 *Councilor Combes moved that the Londonderry Town Council accept the minutes of*  
256 *the December 15, 2025, non-public session as presented. Seconded by Councilor Paul.*  
257 *Motion carried 5-0-0. Chair votes in the affirmative.*

258  
259 *Councilor Combes moved that the Londonderry Town Council unseal the minutes of*  
260 *the December 15, 2025, non-public session. Seconded by Councilor Paul. Motion*  
261 *carried 5-0-0. Chair votes in the affirmative.*

262  
263 *Councilor Combes moved that the Londonderry Town Council accept the minutes of*  
264 *the January 5, 2026, non-public session as presented. Seconded by Councilor Paul.*  
265 *Motion carried 5-0-0. Chair votes in the affirmative.*

266  
267 Mr. Mulholland requested approval from the Council for the Household Hazardous Waste  
268 Collection Project for \$4,000.

269  
270 *Councilor Bouchard moved to approve the Household Hazardous Waste Collection*  
271 *Project for \$4,000. Seconded by Vice Chair Faber. Motion carried 5-0-0. Chair votes in*  
272 *the affirmative.*

273  
274 Mr. Mulholland requested approval from the Council for \$1,500 to conduct a background  
275 investigation on the top applicant for the Cyber Services Director position.

276

277 *Councilor Bouchard moved to approve the request for \$1,500 to conduct a background*  
278 *investigation on the top applicant for the Cyber Services Director position. Seconded by*  
279 *Councilor Combes. Motion carried 5-0-0. Chair votes in the affirmative.*  
280

281 **3. Deputy Town Manager Report**

282 Ms. Caron had no report.  
283

284 **I. PUBLIC COMMENT**

285 Chair Dunn opened public comment.  
286

287 **Name:** Ann Chiampa

288 **Address:** 28 Wedgewood Drive

289 Ms. Chiampa said it is important for people to know the history of the Morrison Meeting House  
290 before voting on it.  
291

292 Chair Dunn closed public comment.  
293

294 **J. MEETING SCHEDULE**

- 295 • January 19, 2026, Moose Hill Council Chambers, 7 p.m.
- 296 • February 2, 2026, Moose Hill Council Chambers, 7 p.m.
- 297 • February 7, 2026, Londonderry High School Cafeteria, 9 a.m. - Deliberative Session  
298

299 **K. ADJOURNMENT**  
300

301 *Councilor Combes moved to adjourn the meeting at 11:23 p.m. Seconded by Vice Chair*  
302 *Faber. Motion carried 5-0-0. Chair votes in the affirmative.*  
303

304 *Minutes prepared by Beth Haggeli*  
305

# PFAS Removal Rebate for Private Wells

Amy Rousseau

*PFAS Response Coordinator*



January 12, 2026

# How was the program established?



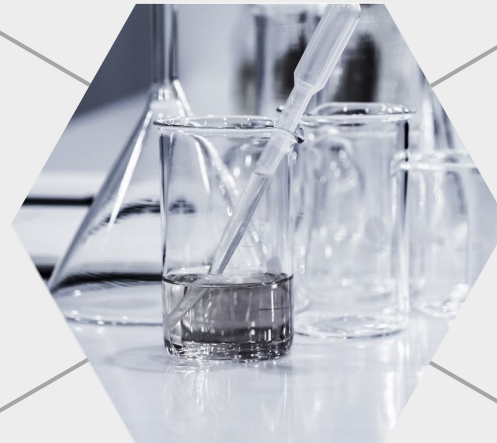
**2014**

NHDES samples  
private wells for VOCs



**2016**

PFAS  
contamination in  
Merrimack



**2019**

NHDES  
establishes  
PFAS AGQS



**2022**

Program  
established

# Program Initiative – Early 2022



NEW HAMPSHIRE DRINKING WATER  
& GROUNDWATER TRUST FUND

- > 9,000 private wells sampled
  - 3,500+ PFAS AGQS exceedances
  - > 2,000 with no third-party assistance

\$5M approved

- ~ 900 households



## HOW

Apply online, by mail, email, or hand-delivery  
1<sup>st</sup> come, 1<sup>st</sup> serve



## WHAT

- Up to \$5,000 for treatment
- OR**
- Up to \$10,000 for a service connection



## WHO

Owners of residential properties in NH

- Drinking water well impacted by PFAS
- No assistance from potentially liable third party

# Red Light!.....

- June 2022 – General Fund appropriation
  - NHDES drafting rules
- April 10, 2024 – EPA announces MCLs
  - Rebate program opens eligibility
- June 10, 2024 – Rebate program suspended



- August 2, 2024 – HB 1649 signed into law
- September 9 – new application form available

..... **Green Light!**

# Env-Dw 1500 - Effective February 26, 2025

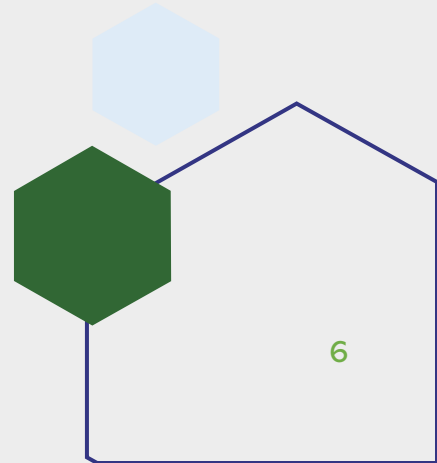
## NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES

### CHAPTER Env-Dw 1500 PER AND POLYFLUOROALKYL SUBSTANCES (PFAS) REMOVAL REBATE PROGRAM FOR PRIVATE WELLS

Statutory Authority: RSA 485-H:3, II-a and RSA 485-H:9

#### PART Env-Dw 1501 PURPOSE

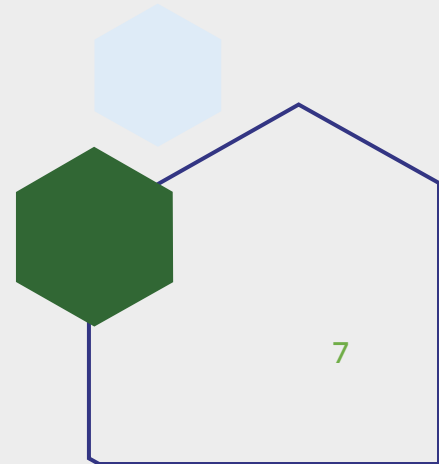
Env-Dw 1501.01 Purpose. The purpose of this Chapter is to establish criteria and procedures for administering the per- and polyfluoroalkyl substances (PFAS) removal rebate program for private wells authorized by RSA 485-H:3, II-a.



# “Impacted by PFAS”

Compound	NH or EPA MCLs in ng/L (nanograms per liter, also expressed as parts per trillion, ppt)
PFOA	4.0 (EPA)
PFOS	4.0 (EPA)
PFHxS	18 (NH)
PFNA	11 (NH)

Eligibility criteria as of 1/12/2026.



# Income Qualified Eligibility

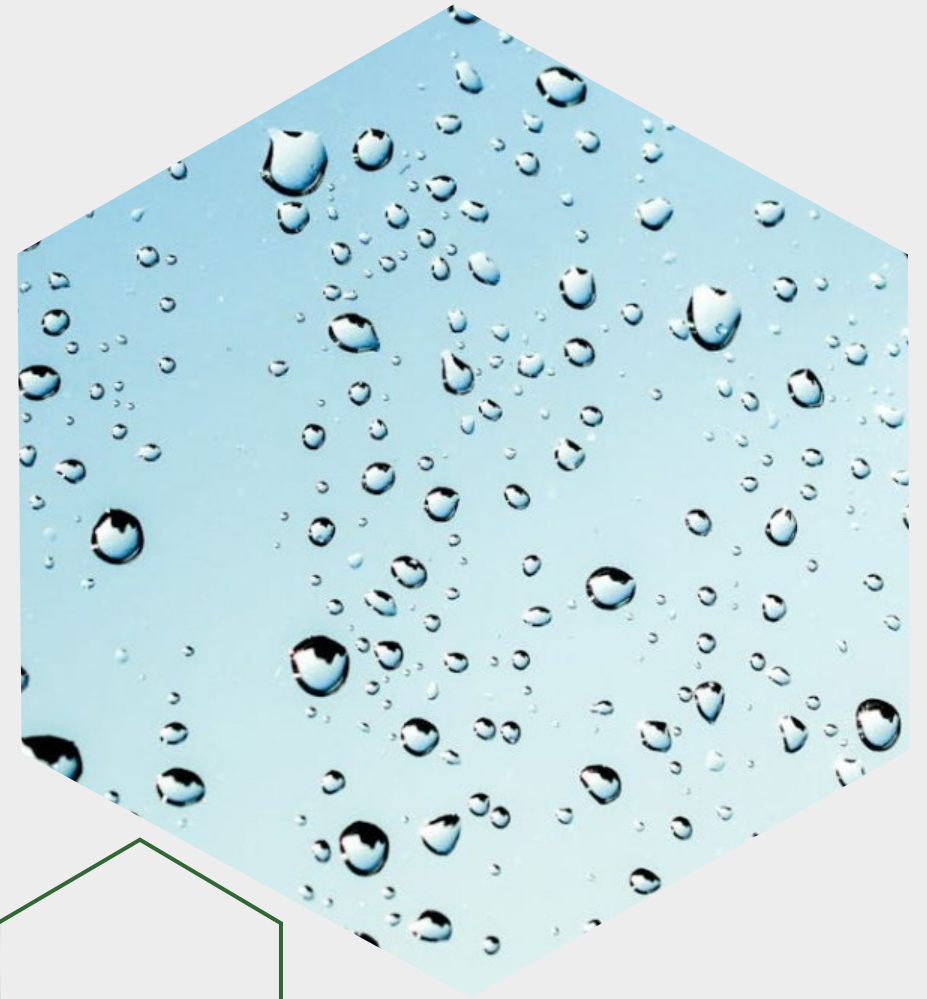
## Income-qualified eligibility

An applicant whose total family annual income does not exceed the 24 CFR, Title 24, U.S. Department of Housing and Urban Development (HUD) low-income criteria that applies to the county or metropolitan statistical area where the property is located, may request pre-approval for a rebate for eligible costs to be distributed directly to a treatment installer or contractor. Applicants may obtain a pre-approval request form by contacting the PFAS Response Team.

## PART Env-Dw 1504 PRE-APPROVAL OF INCOME QUALIFIED APPLICANTS

Env-Dw 1504.01 Pre-approval Request Procedures. An applicant that meets the eligibility requirements in Env-Dw 1503.03(a) may submit a pre-approval request by:

- (a) Providing all information required by Env-Dw 1504.02, either in writing or on form NHDES-S-03-012;
- (b) Signing and certifying a pre-approval request as required by Env-Dw 1504.03; and
- (c) Delivering an original pre-approval request in writing to:



# Income Qualified Eligibility

NHDES-S-03-012



## PFAS REMOVAL REBATE PROGRAM FOR PRIVATE WELLS PRE-APPROVAL REQUEST FOR INCOME-QUALIFIED APPLICANTS



Waste Management Division

RSA/Rule: RSA 485-H, Env-Dw 1500, Voluntary

### Introduction

The PFAS Removal Rebate Program for Private Wells (the Program) provides rebates to private residential well owners of up to \$5,000 for the installation of a treatment system designed to remove per- and polyfluoroalkyl substances (PFAS) or up to \$10,000 for a service connection to a public water system.

Applicants are limited to owners of residential properties in the State of New Hampshire that use a private drinking water well impacted by PFAS and have not been offered or are not being provided alternate water, temporary or permanent, from a third party.

### Who is Income-Qualified?

An applicant whose total family annual income does not exceed the 24 CFR, Title 24, U.S. Department of Housing and Urban Development (HUD) low-income criteria that applies to the county or metropolitan statistical area where the property is located, may request pre-approval for a rebate for eligible costs to be distributed directly to a treatment installer or contractor. Low-income is defined as 80% of the area median family income as calculated by HUD. A table for the current fiscal year can be found on the [HUD Income Limits](#) website.

### How to Submit a Pre-Approval Request

Pre-approval requests must be signed, dated and submitted in writing with the required documentation to New Hampshire Department of Environmental Services (NHDES) via the address below. **\*Note: Pre-approval requests will not be accepted via email. Income documentation including but not limited to federal tax return(s), social security benefit statement(s), and W-2 forms cannot be accepted via email.\***

NHDES-S-03-012



## PFAS REMOVAL REBATE PROGRAM FOR PRIVATE WELLS PRE-APPROVAL REQUEST FOR INCOME-QUALIFIED APPLICANTS



Waste Management Division

### Applicant Contact Information

Full Name:	<input type="text"/>		
Mailing Address:	<input type="text"/>		
Town/City:	<input type="text"/>	State:	<input type="text"/>
		ZIP Code:	<input type="text"/>
Email:	<input type="text"/>	Daytime Phone:	<input type="text"/>

### Address Where Remedy will be Completed (if different from mailing address above)

Please include all unit numbers or additional addresses that will benefit from the remedy.

Street Address:	<input type="text"/>		
Town/City:	<input type="text"/>	State: NH	<input type="text"/>
		ZIP Code:	<input type="text"/>



# Londonderry Participation

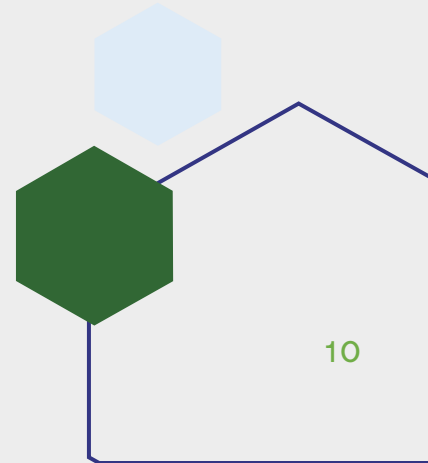
759 applications reviewed  
**727 applications approved**  
More coming in everyday!

**Total Paid: \$3,114,370**

Trust Fund: \$2,022,769  
General Funds: \$1,091,600

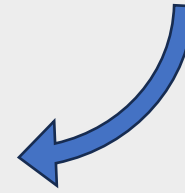


**35%**





**PFAS Removal Rebate for Private Wells**  
webpage



# Thank you

KC Moran, PE

*PFAS Removal Rebate Program Manager*

[kathryn.c.moran@des.nh.gov](mailto:kathryn.c.moran@des.nh.gov)

603-271-8539





**Town of Londonderry  
New Hampshire**

**Public Works Department**

**2025**

**CONTRACT DOCUMENTS FOR  
HOUSEHOLD HAZARDOUS WASTE  
COLLECTION**

## **CONTRACT PERFORMANCE**

Contractor shall comply with the Town's contract requirements as specified in this contract document and as directed by the Town's representative. Contractor's refusal to comply with the Town's representative shall give the Town sole authority to terminate the contract and direct another Contractor to complete this job utilizing the funds available for this project.

## PROJECT SUMMARY

### 1. GENERAL

The Contractor shall successfully perform a household hazardous waste (HHW) collection operation at the Nelson Recreation Fields on Sargent Road, Londonderry N.H. open to residents (non-commercial) of the Towns of Londonderry and Derry, New Hampshire between the hours of 8:30 am and 12:30 pm on November 22, 2025.

### 2. DESCRIPTION

The Contractor shall be responsible for:

- a) Possessing a valid and current New Hampshire Hazardous Waste Transporter Identification Number.
- b) Receiving household hazardous wastes, as defined by New Hampshire Hazardous Waste Rules.
- c) Segregating, analyzing, consolidating, containerizing, and labeling all household hazardous wastes.
- d) Loading, documenting, and transporting all collected household hazardous wastes in properly placarded vehicles.
- e) Disposing of all household hazardous wastes at permitted hazardous waste treatment or disposal facilities. Certificates of destruction must be supplied to the Owner.

### 3. SAFETY

The Contractor shall adhere to all appropriate safety procedures, including but not limited to those outlined in the Technical Specifications and shall properly handle, package, containerize, label, load, and transport all hazardous wastes accepted during the operation in a manner approved by the State of New Hampshire Department of Environmental Services.

### 4. MANAGEMENT

The Contractor shall have present at the site, a Project Manager/Safety Officer responsible for directing the Contractor's operation. This person shall report to the Town of Londonderry's representative and shall coordinate the project's activities with said representative. The Contractor shall also have present, an employee or agent of the Contractor trained in chemical identification of all hazardous and acutely hazardous wastes as defined in the N.H. Hazardous Waste Rules. **The Contractor shall also have present a sufficient number of additional and appropriately trained employees or agents in order to safely, properly, and efficiently handle, containerize, label, load, and transport wastes for treatment or disposal at a permitted hazardous waste facility based on the anticipated number of vehicles and estimated volume of HHW to be collected. To accomplish this, the contractor shall provide a minimum of twenty (20) properly trained personnel on site during**

**the collection and associated activities. In addition, the contractor shall arrange for two (2) 55 foot long trailers to be on site to assure adequate storage capacity for all equipment and collected materials. The contractor shall also provide or arrange for a propane fueled fork truck to be on site to facilitate unloading and loading of equipment and storage containers.**

Each of the above specified persons shall be sufficiently experienced to properly carry out the operation.

## **5. CO-OPERATION**

The Contractor shall accept wastes only from individuals designated by the Town of Londonderry's representative at the site, and only in such amounts as are approved by the representative, and shall cooperate to the fullest measure possible with the Town of Londonderry's personnel in the operation.

## **6. HOURS**

The collection station will open promptly on the selected day, no later than 8:30 AM and remain open until 12:30 PM for receipt of Household Hazardous Waste. **The Contractor shall have sufficient appropriately trained personnel and capacity to process the collected material, pack all containers into their transport vehicle(s), perform any required clean up made necessary by the collection activities, and properly transport all collected wastes from the collection area by 3:00 PM of the designated collection date.**

## **7. ACCOUNTABILITY**

One hour after the collection has begun and every hour thereafter, the Contractor's Project Manager will give Londonderry's representative an update of the quantity of waste which has been received to that point in each classification together with the agreed unit price and total cost for each classification. Londonderry's representative shall be responsible for terminating the collection program at any time.

## **8. SET UP**

The Contractor shall supply and have available at the appropriate site on the collection day, all equipment and personnel necessary to perform the tasks included in their "Work Plan." Said "Work Plan" shall be prepared in accordance with that specified in the Technical Specifications. **The Contractor shall have the capability and be prepared to simultaneously operate two receiving lines for collecting household hazardous waste material from the participating residents, and have sufficient appropriately trained personnel and capacity to remove the material from the resident's vehicle, process the collected material, and move the residents through the receiving line in a timely manner, keeping resident wait times to a minimum.**

## **9. EMERGENCIES**

The Contractor shall be responsible for fulfilling requirements of their "Site Safety, Spill Response, and Emergency Evacuation Plan." Said plan shall be prepared in accordance with that specified in the Technical Specifications.

## **10. PRE-REGISTRATION**

No Pre-registration is required.

## **11. QUANTITIES**

The Town of Londonderry proposes to limit each resident to a maximum drop off quantity of 10 gallons or 20 pounds of household hazardous waste.

## **12. TARGET**

It is the Town of Londonderry's desire and intent to safely provide household hazardous waste collection to as many Londonderry and Derry residents (**non- commercial**) that are in need of this service, while keeping the resident's wait time for this service to an absolute minimum.

## BID FORM

### **PART A. - BID**

Proposal of MXI Environmental Services LLC (hereinafter called ("Bidder")), organized and existing under the laws of the State of New Jersey doing business as a corporation.

To the Town of Londonderry, New Hampshire (hereinafter called "Owner"):  
In compliance with your Invitation to Bid, Bidder hereby proposes to perform all work for Household Hazardous Waste Collection for the Town of Londonderry, New Hampshire, in strict accordance with the Contract Documents, within the time set forth therein and at the prices stated below.

By submission of this Bid, the Bidder certifies, and, in the case of joint bid, each party thereto certifies as to his own organization, that this Bid has been arrived at independently, without consultation, communication, or agreement, as to any matter relating to this Bid, with any other Bidder or with any competitor.

The Bidder declares that no person in the employ of the Owner is pecuniary interested in this proposal or in the Contract for the Work which he proposes to do, that he had carefully examined the Contract and Specification and has informed himself fully in regard to all conditions pertaining to the site where the Work is to be done and has carefully estimated the Work. He understands that the Owner, its agent and employees, are not to be in any manner held responsible for the accuracy of any estimates relating to the Work and that if any have been given or made, they are to be considered solely as a base for filling out and comparing the several proposals.

The Bidder proposes to furnish all the labor, equipment and materials required for carrying out the Work in accordance with the accompanying Specifications for the sum specified herein, subject to additions and deductions according to the Specifications, and in all respects according to the terms thereof.

Bidder hereby agrees to commence Work under this Contract on the date to be specified in the Notice to Proceed and to substantially complete the project within the time frame allowed.

The Bidder proposes and agrees that within ten (10) days next after the day on which the Notice of Award of this Contract shall be given to him or mailed to him at the address hereinafter given, he will sign the Agreement of the form provided and deliver the Agreement to the Owner.

Prior to delivery, the Bidder shall provide the Owner with two (2) Certificates of Insurance for the prescribed amounts.

The Bidder acknowledges receipt of the following addenda:

No. \_\_\_\_\_, Dated \_\_\_\_\_,  
No. \_\_\_\_\_, Dated \_\_\_\_\_,  
No. \_\_\_\_\_, Dated \_\_\_\_\_,

The Bidder certifies possession of a valid, current New Hampshire Waste Transporter Identification Number. **Fill in ID # here** TNH-0211

**SCHEDULE OF PRICES:** This proposal shall be filled in by the Bidder with the prices written in both words and numerals and the extensions made by him. In case of discrepancy between words and numerals, the amount shown in words shall govern.

<u>Bid Item</u>	<u>Description /Unit</u>	<u>Estimated Quantity</u>	<u>Unit Price (words)</u>	<u>Unit Price (figures)</u>	<u>TOTAL</u>
1	Setup fee / Lump sum	1	\$ five thousand Dollars \$ 00 Cents	\$ 5000	\$ 5000
2	Consolidated Solvents - Organic Liquid, Flammable Liquid, & Solvents / 55 Gallon Drum	16	\$ two hundred fifty Dollars \$ 00 Cents	\$ 250	\$ 4000
3	RCRA Mixed Aerosols/ 55 Gallon Drum	15	\$ two hundred fifty Dollars \$ 00 Cents	\$ 250	\$ 3750
4	Pesticide Liquids in Consumer Packaging/ 55 Gallon Drum	15	\$ three hundred Dollars \$ 00 Cents	\$ 300	\$ 4500
5	Pesticide Solids in Consumer Packaging/ CY bin (est. 500 lbs.)	8	\$ one thousand Dollars \$ 00 Cents	\$ 1000	\$ 8000
6	Oxidizing Material Suitable for Aqueous Treatment/ 55 Gallon Drum	4	\$ three hundred fifty Dollars \$ 00 Cents	\$ 350	\$ 1400
7	Oxidizing Material Suitable for Incineration/ 55 Gallon Drum	5	\$ three hundred fifty Dollars \$ 00 Cents	\$ 350	\$ 1750
8	Basic & Basic compatible material Suitable for Aqueous Treatment/ 55 Gallon Drum	18	\$ two hundred seventy five Dollars \$ 00 Cents	\$ 275	\$ 4950

<u>Bid Item</u>	<u>Description /Unit</u>	<u>Estimated Quantity</u>	<u>Unit Price (words)</u>	<u>Unit Price (figures)</u>	<u>TOTAL</u>
9	Acid/Acid compatible material Suitable for Aqueous Treatment/ 55 Gallon Drum	4	\$ two hundred seventy five Dollars \$ 00 Cents	\$ 275	\$ 1100
10	Lab Packs/ 55 Gallon Drum	4	\$ fifty Dollars \$ 00 Cents	\$ 50	\$ 200
11	Antifreeze/ 55 Gallon Drum	4	\$ two hundred fifty Dollars \$ 00 Cents	\$ 250	\$ 1000
12a	Oil Based Paints, resins, adhesives in cans, & non-processable flammables / CY bin (est. 500 lbs.)	6	\$ five hundred Dollars \$ 00 Cents	\$ 500	\$ 3000
12b	Oil Based Paints, resins, adhesives in cans, & non-processable flammables / 55 Gallon drum	3	\$ fifty Dollars \$ 00 Cents	\$ 50	\$ 150
13	Mercury products / 5 gallon pail or 10 pounds	1	\$ two hundred Dollars \$ 00 Cents	\$ 200	\$ 200
14	Ni Cd Batteries / 5 gallon pail or 10 pounds	1	\$ one hundred Dollars \$ 00 Cents	\$ 100	\$ 100
15	Lithium Batteries / 5 gallon pail or 10 pounds	1	\$ one hundred Dollars \$ 00 Cents	\$ 100	\$ 100

<b>Bid Item</b>	<b>Description /Unit</b>	<b>Estimated Quantity</b>	<b>Unit Price (words)</b>	<b>Unit Price (figures)</b>	<b>TOTAL</b>
16	Straight Fluorescent Tubes for Reclaim / 1 box (10 pounds)	1	\$ seventy five Dollars \$ 00 Cents	\$ 75	\$ 75
17	Compact Fluorescent Lamps for Reclaim / 1 box (10 pounds)	1	\$ seventy five Dollars \$ 00 Cents	\$ 75	\$ 75
				<b>TOTAL</b>	\$ 39350

**Town of Londonderry N.H.**

**Household Hazardous  
Waste Collection**

**Agreement**

THIS AGREEMENT, made this \_\_\_\_\_ day of \_\_\_\_\_ by and between the Town of Londonderry, New Hampshire, hereinafter called "Owner" and MXI Environmental Services, LLC, doing business as a corporation), hereinafter called "Contractor".

WITNESSETH; that for and in consideration of the payments and agreements hereinafter mentioned:

WHEREAS, the Owner has selected the Contractor to manage and conduct a Household Hazardous Waste Collection Program at the Nelson Recreation Fields on Sargent Road, Londonderry N.H. on **Saturday, November 22, 2025.**

WHEREAS, the Contractor shall perform in a good and professional manner, the services identified in the attached contract documents:

NOW THEREFORE WITNESSETH;

That the parties hereto in consideration of the mutual promises, covenants and agreements of the parties hereto, as hereinafter set forth, do hereby mutually agree as follows:

1. The Contractor shall furnish all materials, supplies, tools, equipment, labor and other services necessary for the completion of the project as intended and specified herein.

The Town shall provide advertising posters and pamphlets and a trailer for disposal of emptied containers.

2. The Contractor certifies possession of a valid, current New Hampshire Waste Transporter Identification Number. **Fill in ID # here** TNH-0211

3. The Contractor shall commence the work required by the Contract Documents in a timely manner and provide the specified services on the date specified and within the time specified.

4. The term "Contract Documents" means and includes the following Advertisement for Bids; Information for Bidders; Bid Form; Contractor's Qualifying Statement; Notice of Award; Agreement; General Requirements; Project Summary; and Technical Specifications. The term "Contract Documents" shall also mean and include the following addenda:

No. **N/A** ; Dated \_\_\_\_\_,

No. \_\_\_\_\_ ; Dated \_\_\_\_\_,

No. \_\_\_\_\_ ; Dated \_\_\_\_\_,

5. The Contractor agrees to perform all the work described in the Contract Documents and comply with the terms therein for the bid item sums reflected on the bid schedule.

6. The Owner shall pay to the Contractor, in the manner and at such times as set forth in the General Requirements, such amounts as required by the Contract Documents based on the bid items reflected in the bid for the actual final quantities.

7. This Agreement shall be binding upon all parties hereto and their respective heirs, executors, administrators, successors and assigns.

8. This Agreement may be terminated by Owner upon ten (10) days written notice. In addition, the Owner reserves the right to terminate the contract at any time for whatever reason is deemed to be in the best interest of the Town of Londonderry, or to reduce the Scope of Services in order to be consistent with the availability of funds.

9. In the event of a claim, dispute or other disagreement arising out of, or relating to, this Agreement or the breach thereof, the Contractor shall request that the Town Manager of the Town of Londonderry resolve the matter. If the Town Manager is unable to resolve the matter to the Contractor's and Owners' mutual satisfaction within thirty (30) days of his receipt of notice of the disagreement, the Contractor and Owner agree that the matter will be governed by New Hampshire law and that the Rockingham County Superior Court shall have exclusive jurisdiction and venue over any litigation related to the Agreement.

10. Unless otherwise specified, this Agreement shall be governed by the law of the principal place of business of the Owner. This Agreement may be amended only by written instrument signed by both Owner and Contractor.

11. Contractor shall indemnify, hold harmless and defend the Owner from and against any and all liabilities, claims, penalties, fines, forfeitures, suits and the costs and expenses incident thereto (including cost of defense, settlement, and reasonable attorney's fees) which may be alleged against the Owner or which the Owner may incur, become responsible for or pay out as a result of death or bodily injury to any person, destruction or damage to any property, contamination of or adverse affects on the

environment, or any violation or alleged violation of governmental laws, regulations or orders, to the extent that such damage was caused by the Contractor's or Contractor's agents' negligent, willful or intentional act or omission, breach of contract or a failure of Contractor's warranties to be true, accurate or complete.

12. Neither the Owner's review, approval or acceptance of, nor payment for, any of the work required under this Agreement shall be construed to operate as waiver of any rights under this Agreement or of any cause of action arising out of the performance of this Agreement and the Contractor shall be and remain liable to the Owner for all damages to the Owner caused by the Contractor's negligent acts, errors or omissions of any of the work required to be performed under this Agreement.

WITNESS WHEREOF, the parties hereto have executed, or caused to be executed by their duly authorized officials, this Agreement in two (2) copies, each of which shall be deemed an original on the date first above written.

(SEAL)

ATTEST:

Tanya Pinter

Name: Tanya Pinter  
(please type)

Title: Executive Assistance

Date: 5-15-2025

OWNER:

Town of Londonderry, New Hampshire

By:

Kim A. Bernard  
Name: Kim A. Bernard  
(please type)

Title: Town Manager

Date: 05-15-25

(SEAL)

ATTEST:

Peggy Sneed

Name: Peggy Sneed  
(please type)

Title: Gov Sales Mgr  
26319 Old Trail Road

Address: Abingdon VA 24210

CONTRACTOR:

MXI ENVIRONMENTAL Services LLC

By: Brian Potter

Name: Brian Potter  
(please type)

Title: MANAGING Member  
26319 Old Trail Road

Address: Abingdon VA 24210

Note: If the Contractor is a corporation, an affidavit giving the principal the right to sign the Contract must accompany the executed Contract.

## GENERAL CONDITIONS

1. GENERAL
2. RECORDS
3. EQUAL EMPLOYMENT OPPORTUNITIES
4. LOCATION
5. COMPLIANCE
6. PERSONNEL
7. INDEMNIFICATION
8. EQUIPMENT
9. QUANTITIES
10. PAYMENT
11. PRE-COLLECTION CONFERENCE
12. INSURANCE
13. PERMITS
14. WORKMEN'S COMPENSATION
15. SOCIAL SECURITY ACT
16. BASIS OF PAYMENT
17. HAZARDS

Also See Pages in Appendix A

## GENERAL CONDITIONS

### 1. GENERAL

The work of this contract consists of receiving, analyzing, sorting, consolidating, packaging, transporting, and disposing of household hazardous wastes for the Town of Londonderry NH combined with participants from Derry, NH (combined population approximately 59,000). Contractor is responsible for placement of emptied containers (cans, bottles, bags, boxes, etc. brought to the event by residents) into a designated on site 30 yard roll off container. The Town of Londonderry shall provide one or two 30 yard roll off container(s) for the Contractor's use. The Contractor shall provide a sufficient quantity of water tight liners to be installed inside of the roll off container(s) by the Contractor prior to placement of any material into the roll off container. **The Contractor shall have the capability and be prepared to simultaneously operate two receiving lines for collecting household hazardous waste material from the participating residents, and have sufficient personnel and capacity to remove the material from the resident's vehicle, process the collected material, and move the residents through the receiving line in a timely manner. In addition, the Contractor shall have sufficient personnel and capacity to process the collected material, pack all containers into their transport vehicle(s), perform any required clean up made necessary by the collection activities, and transport all collected wastes out of the Town of Londonderry by 3:00 PM of the designated collection date.**

A summary of participation and quantity collected for the last 11 years is presented below. The 2014 through 2019 events were open for 3.5 hours between the hours of 8:30 am and noon. The November 2020 through 2024 events were open for 4.0 hours during the time period between 8:30 am and 12:30. These numbers are no indication of future participation or quantities to be collected. The November 2025 event will be open for 4.0 hours during the time period between 8:30 am and 12:30.

Year	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024
<b>Vehicles</b>	<b>377</b>	<b>341</b>	<b>378</b>	<b>420</b>	<b>413</b>	<b>530</b>	<b>336</b>	<b>376</b>	<b>465</b>	<b>422</b>	<b>502</b>
Shipping Containers Removed from Site by Contractor											
5 Gallon	2	4	3	6	6	6	7	12	6	4	4
30 Gallon	0	0	0	0	0	0	0	0	0	0	0
55 Gallon	57	86	74	88	88	121	97	136	95	87	81
CY Box	20	25	24	24	26	25	27	27	23	33	30
Other	2	4	3	4	7	7	14	17	10	1	11
<b>Total</b>	<b>81</b>	<b>119</b>	<b>104</b>	<b>122</b>	<b>127</b>	<b>159</b>	<b>145</b>	<b>192</b>	<b>134</b>	<b>125</b>	<b>126</b>

During the 2014 through 2021 collections, the weather was sunny and cool. During the 2022 and 2023 collections, there were heavy rains for the first 2 hours followed by sunny and cool weather. During the 2024 collection, there were light rains the first 2 hours followed by cloudy, damp, and cold weather.

The selected Contractor shall be a licensed hazardous waste transporter, properly authorized to perform the contract work and set up the appropriate collection program.

## **2. RECORDS**

The Contractor shall maintain records pertaining to this project on a generally recognized accounting basis. The records shall reflect actual time devoted and costs incurred for the services performed. The records shall show the status of the wastes from the time of collection until final disposal. The Contractor shall permit the Owner's authorized representatives, appropriate Federal and/or State Department and agencies to inspect and audit all data and records of the Contractor associated with this contract or related to the Contractor's performance under this contract.

## **3. EQUAL EMPLOYMENT OPPORTUNITIES**

The Contractor shall not discriminate against any employee or applicant for employment because of race, religion, color, sex or national origin. The Contractor shall take affirmative action to ensure applicants are employed, and that employees are treated during their employment, without regard to their race, religion, color, sex or national origin. Such actions shall include, but not be limited to the following: employment, upgrading, demotion or transfer; recruitment or recruitment advertising; layoff or termination; rate of pay or other forms of compensation; and selection for training including apprenticeship.

## **4. LOCATION**

Except as otherwise specifically provided for herein, the Contractor shall perform the work in the Town of Londonderry, Rockingham County, State of New Hampshire.

## **5. COMPLIANCE**

In connection with the performance of the work, the Contractor shall comply with all statutes, laws, regulations and orders of Federal, State, County or Municipal authorities which shall impose any obligations or duty upon the Contractor. The Contractor also verifies they are not considered either suspended or debarred from doing business with the Federal Government, and is not listed as ineligible on the System for Award Management (SAM) website.

## **6. PERSONNEL**

The Contractor shall, at its own expense, provide all personnel necessary to perform the work. The Contractor shall warrant that all personnel engaged in the work shall be qualified to perform the work, and shall be properly licensed and authorized to perform all such work under all applicable laws.

## **7. INDEMNIFICATION**

The Contractor shall defend, indemnify and hold harmless the Town of Londonderry, its members and representatives, the Town in which the collections are held, and their respective officers and employees from and against any and all losses suffered by any such indemnity and all claims, liabilities or penalties asserted against any such indemnity by or on behalf of any persons on account of, based on, resulting from, arising out of (or which may be claimed to arise out of) the acts or omissions of the Contractor. Notwithstanding the foregoing, nothing herein contained shall be deemed to constitute a waiver of the sovereign immunity of the Town of Londonderry, its members and representatives, or the Town in which the collections are held, and any such immunities are hereby reserved to the Town of Londonderry, its members and representatives, and the Town in which the collections are held. This covenant shall survive the termination of this agreement.

## **8. EQUIPMENT**

The Contractor shall supply and have available at the appropriate site on the designated day, all equipment, manpower, and supplies necessary to perform the work in accordance with the contract documents.

## **9. QUANTITIES**

The number of vehicles, gallons, drums, etc. as stated above are based on actual previous years' collection data, and collection was one day from either 8:30 am to 12:00 pm, or 8:30 am to 12:30 pm. They are not guaranteed to be exact for this year. Quantities of work that are to be performed under this contract and any departure there from will not be accepted as valid grounds for any claim for damages or for loss of profits. The Town of Londonderry specifically reserves the right to delete any portion of the work if desirable to keep expenditures within available funds. The total proposal representing the sum of the estimated quantities times the unit prices bid will be used as the basis for comparison of bids.

## **10. PAYMENT**

The contract prices shall be paid to the Contractor within thirty days of Town of Londonderry's receipt of copies of all manifest forms signed by the operator(s) of the hazardous waste facility(ies) to which the collected materials were delivered for disposal. Payment to the Contractor shall be made for the actual quantity of each specified bid item identified in the Bid Form.

## **11. PRE-COLLECTION CONFERENCE**

After execution of this agreement, but prior to starting the work, a pre-collection conference shall be held. The attendance of the Contractor and his contract manager shall be mandatory. The Owner shall notify all other appropriate personnel of the time and site of the Conference. The Conference shall be held at the Town of Londonderry, Public Works Department, at a mutually agreed upon time. Procedures to be followed for the duration of the collection shall be established and discussed at this time. In addition, the Contractor shall provide the Town with the proposed Work Plan, Safety Plan and Hazardous Response Plan.

## **12. INSURANCE**

The Contractor shall purchase and maintain such comprehensive general liability and other insurance as is appropriate for the work being performed. The insurance shall include the specific coverage and be written for not less than the limits of liability and coverage identified or required by law, whichever is greater. All policies shall contain a provision that the coverage will not be cancelled, changed or renewal refused until a thirty (30) day written notice is given to the Owner. All insurances shall remain in effect until final payment. Certifications from the insurance carrier shall be submitted and shall

state the type of coverage, limits of liability, and expiration date. The limits of liability for the liability insurance required shall provide coverage for not less than the following amounts or greater where required by law:

Workmen's Comp. and Employee Liability	Statutory Limits \$100,000 (each accident) \$500,000 (disease policy limit) \$100,000 (disease ea. employee)
Owner's Contractor's Protective Liability	\$5,000,000 (combined single limit)
Excess Liability (umbrella form)	\$5,000,000 BI & PD combined
Automotive Liability (all owned auto's hired)	\$5,000,000 BI-per person \$5,000,000 per accident
Auto's non hired auto's private or other	\$5,000,000 (PD)
General Liability	\$5,000,000 (BI & PD)
General Liability (comprehensive premises/operations, explosion products, contractual independent Contractors board form property damage personal injury)	\$5,000,000 (BI & PD combined each occurrence) \$5,000,000 (BI & PD combined aggregate)

The Contractor's insurance shall also provide coverage for hazardous waste liability claims. The Town of Londonderry and the New Hampshire Department of Environmental services shall be listed as additionally insured on the Certificate of Insurance and also by endorsement in the insurance policy. The Town shall not be required to indemnify or insure the contractor.

### 13. PERMITS

It shall be the responsibility of the Contractor to obtain all federal, state, and local permits which may be required and necessary to perform the work. The Town will assist the Contractor when possible in obtaining said permits. The cost of any permits or fees associated with same shall be borne by the Contractor.

### 14. WORKMEN'S COMPENSATION

The Contractor shall take out and maintain during the life of this contract, Workmen's Compensation Insurance for all of his employees employed at the site of the project and in case any work is sublet, the Contractor shall require the subcontractor, similarly, to

provide Workmen's Compensation Insurance for all of the latter's employees unless such employees are covered by the protection afforded by the Contractor. In case any class of employees engaged in hazardous work under this contract at the site of the project is not protected under the Workmen's Compensation Statute, the Contractor shall provide and shall cause each subcontractor to provide adequate insurance for the protection of his employees not otherwise protected.

## 15. SOCIAL SECURITY ACT

The Contractor shall be and remain an independent Contractor with respect to all services performed hereunder and agrees to and does hereby accept full and exclusive liability for the payment of any and all contributions or taxes for social security, unemployment insurance or old age retirement benefits, annuities now or hereafter imposed, or other remuneration paid to persons employed by the Contractor on work performed under the terms of this contract and further agrees to obey all lawful rules and regulations and to meet all lawful requirements which are now or hereafter may be issued or promulgated under said respective laws by any duly authorized State or Federal Officials; and said Contractor also agrees to indemnify and save harmless the Town of Londonderry from such contributions or taxes or liability therefore.

## 16. BASIS OF PAYMENT

A. Bid Item #1, Collection Set up fee, shall consist of all costs necessary to organize, set up and conduct the project in accordance with these project documents, and shall be paid as a lump sum. This item shall include but not be limited to all general condition requirements and all other project requirements which are not covered by the remaining bid items. Reimbursement shall be at the actual contract price bid and shall consist of all costs necessary to properly collect, sort, package, transport, and dispose of the identified household hazardous wastes.

B. Bid Items #2 through #17 consisting of the following items:

#2	Consolidated Solvents - Organic Liquids	55 gallon drum
#3	RCRA Mixed Aerosols	55 gallon drum
#4	Pesticide Liquids in Consumer Packaging	55 gallon drum
#5	Pesticide Solids in Consumer Packaging	1 CY Bin (est.500 lbs.)
#6	Oxidizing Materials / Aqueous Treatment	55 gallon drum
#7	Oxidizing Materials / Incineration	55 gallon drum

#8	Basic & Basic compatible material	55 gallon drum
#9	Acid/Acid compatible material	55 gallon drum
#10	Lab packed Chemicals	55 gallon drum
#11	Antifreeze	55 gallon drum
#12a	Oil based paints in cans, resins, varnishes	1 CY Bin (est.500 lbs.)
#12b	Oil based paints in cans, resins, varnishes	55 gallon drum
#13	Mercury products	5 gallon pail (est.10 lbs.)
#14	Ni-Cd Batteries	5 gallon pail (est.10 lbs.)
#15	Lithium Batteries	5 gallon pail (est.10 lbs.)
#16	Straight Fluorescent Tubes	box (est.10 lbs.)
#17	Compact Fluorescent Lamps	box (est.10 lbs.)

All collecting, analyzing, sorting, packaging, transporting, and disposing of identified household hazardous wastes and contaminated emptied containers shall be paid for at the contract unit price bid per container of the material type and size specified.

### 17. HAZARDS

The Contractor warrants that it understands the currently known or suspected hazards which are presented to persons, property and the environment by transport, treatment and disposal of wastes. The Contractor further warrants that it shall perform all services under this contract in a safe, efficient, expeditious, and lawful manner using industry accepted practices in full compliance with all applicable New Hampshire and Federal laws and regulations.

Also See Pages 10-11 Appendix A

## WORK PLAN

The following plan describes how the Town of Londonderry proposes to handle the household hazardous waste collection activities on the collection day.

### **MATERIAL FLOW**

As a homeowner (participant) arrives at the designated facility, posted signs shall direct the participant to the reception area. At that point, Town representatives shall meet the incoming vehicle, elicit general information from the participant (e.g., Town of residence, types and quantities of wastes brought to the facility), and provide information on waste disposal, household hazardous wastes, health effects, etc.

The participant then drives to the collection area where Contractor personnel will review the waste material present in the vehicle. Any unacceptable waste materials shall be refused by the Contractor personnel, not removed from the vehicle, and shall remain in the possession of the participant. All acceptable waste materials shall be removed from the vehicle. **The Contractor shall have the capability and be prepared to simultaneously operate two receiving lines for collecting waste material from the vehicles.** The waste material will then be taken to the handling tables by Contractor representatives. At this point, the Contractor takes custody of the waste. Once the waste material is removed from the vehicle, the participant will be directed toward the exit. The Contractor shall have sufficient personnel and table space on site to remove the material from the participant's vehicle, process the collected material, and move the participant through the receiving line in a timely manner. In addition, the Contractor shall have sufficient personnel and capacity to process the collected material, pack all containers into their transport vehicle(s), perform any required clean up made necessary by the collection activities, and transport all collected wastes from the collection area by 3:00 PM of the designated collection date.

In the event that a participant exceeds the amount of waste allotted for disposal (10 gallons or approximately 20 pounds), the Owner's representative shall be so advised. The excessive waste shall be accepted only per the authority of the Owner's representative.

The waste will be removed from the participant's vehicle by the Contractor's representative and shall be handed over the "hot line" along with its accompanying information sheet.

The Contractor shall segregate known wastes from unknown wastes. Separate tables shall be used. Known waste shall be transferred from its table to appropriate repackaging tables: solvents, corrosives, and pesticides and/or poisons. The Contractor's personnel shall man those tables, repackage the waste as necessary, record information about those wastes for manifest purposes, and containerize the wastes in 55-gallon drums or other appropriate containers. The wastes shall be packaged on-site so that they may be properly disposed of, e.g., as lab packs, etc. All paints accepted shall be bulked on site.

Unknown wastes shall be transferred from the collection table to the analysis area by the Contractor. The Contractor shall conduct simple chemical analysis on these wastes to determine appropriate classification. Following classification, those wastes shall then be packaged at this location for transportation to an authorized hazardous waste facility.

Once a drum or other appropriate container has been filled with waste, it shall be properly closed and transferred to the box trailer for storage. Manifests shall be initiated by the Contractor. Upon completion of the collections at the end of collection event, the vehicle shall transport the wastes to an authorized treatment or disposal facility. No drums shall leave the site until they are properly packaged.

Also See Pages in Appendix A

# APPENDIX A

GUIDELINES FOR  
HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

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## GUIDELINES FOR HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

### 1.0 INTRODUCTION

Household Hazardous Waste (HHW) Collections pose potential health and safety hazards to community residents and workers at these events, as well as risks to the environment. Community residents may unknowingly bring substances that are extremely volatile, flammable, toxic or unstable. To minimize the potential for a mishap, MXI Environmental Services LLC has established this Health and Safety Guideline for HHW operations. Although this guideline presents general requirements for HHW operations, additional requirements may be imposed based on client bid specifics.

This guideline attempts to address the issues involved with the handling of HHW in order to minimize potential human exposure to or injury from handling HHW, as well as to reduce the potential for any environmental contamination.

### 2.0 TRAINING

#### 2.1 General Requirement

All MXI Employees participating in HHW collections must have successfully completed the appropriate training as outlined in this section. The training will enable the employee to safely perform her/his function, as well as satisfy the operational objectives of the HHW collection.

##### 2.1.1 Supervisors and Other Decision Makers

Employees involved the supervision of operations, waste-related decision-making, lab packing of waste, documentation for the job and those responding to an emergency situation must be 40-hour OSHA trained.

##### 2.1.2 Supervisors of Pour-Off Employees

Employees supervising pouring operations to consolidate wastes must be 24-hour OSHA trained. Their OSHA training and respirator fit testing must be current.

##### 2.1.3 Other Employees Handling Wastes

Employees involved in any other waste handling operations (i.e., off-loading cars, sorting, pouring) must complete the MXI HHW Training Program or its equivalent.

The MXI HHW Training Program has components devoted to each aspect of the operational details for a HHW collection event. Employees who are 40-hour trained should also receive this operation specific training. Training must be current and employees will be issued a valid certificate.

## GUIDELINES FOR HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

Part time or temporary employees must have the level of training prescribed for the function they will be performing. All Employees, including those not handling waste, must be involved with the site safety meeting and understand the site contingency plan.

### 2.2 Site Safety Meeting

After site setup, the MXI Site Supervisor must conduct a site safety meeting. The purpose of this meeting is to assure that all crew members are aware of the following:

- Requirements of HHW Guidelines
- Each person's role in the HHW collection
- Location of safety equipment
- Contingency plans
- Waste packing guidelines & unacceptable materials
- Chemical/Physical hazards associated with the wastes and collection activities
- Personal protection equipment requirements
- Safety precautions/work practices

The Site Supervisor can use the Site Safety Meeting checklist and acknowledgment in Appendix 3 to document the meeting. All individuals who will enter work areas must participate in the meeting and sign-off on the Acknowledgment. Other people at the site associated with the HHW Collection (local officials, volunteers, EPA personnel, etc.) should be included in the safety meeting.

## 3.0 SITE REQUIREMENTS

### 3.1 Site Placement

Site Placement requires careful consideration to ensure the safety of the operations, as well as the prevention of environmental contamination. Adequate room for collection activities, equipment, waste containers, and vehicle access/exit must be maintained. The following must be considered when determining the appropriate location of the waste collection area:

- Minimum required operations area – 1200 sq. ft (i.e., 30' x 40');
- Open areas are preferable to allow for increased air movement (aids in dispersion of vapors);
- Adequate access for emergency equipment (fire trucks, ambulance, etc.)
- Smooth traffic flow for entrance/egress of participants;
- Adjacent property lines (i.e., homes, businesses) must be well away from the collection area;
- The nearest public way must be adequately separated from the collection area;

## GUIDELINES FOR HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

- Car off-loading area must be separate from the pour-off operations;
- No ignition sources can be adjacent to the pour-off area for flammable /combustibles;
- There must be proximity to a ground source for containers being utilized for flammables/combustibles are being poured;
- No other events should be scheduled for the location utilizing the area;
- No smoking is allowed within 25 feet;
- Proximity to potable water and a telephone;
- Proximity of fire hydrants;
- Location where waste roll offs or compactor truck (if applicable) can safely dump load in the event of an emergency (e.g. fire);
- Staging area for waste flammable/combustible drums away from potential fire sources, including waste compactor truck and/or rolloff containing empty containers from pour off operations.

### 3.2 Site Preparation

To reduce the likelihood of environmental contamination and limit the migration of spilled material, the following site preparation must be performed:

- Seal all storm drains;
- Lay poly in locations where waste will be handled. Include vehicle lanes if required by client. Cover foot traffic areas with card board which will be discarded at the end of the job;
- Work tables will be set up by placing plywood on top of 55 gallon drums or cubic yard boxes;
- Designate emergency and spill equipment stations. (See Sections 4.3 and 4.4);
- Designate decontamination area;
- Restrict access to the collection and waste handling areas as appropriate;
- Indoor collection sites should be set up with general room ventilation;
- Indoor collection sites with pour-off and/or paint bulking area may require local ventilation;
- Identify location where roll off or waste compactor truck (if used) can be dumped in the event of a fire within the container or truck and dumping becomes necessary (ordered by Fire Dept.) Location should be selected to minimize likely runoff of water during firefighting activities, or alternately a location where containment material could easily be deployed by on-site personnel.

### 3.3 Site Setup

Seven work areas will be established to accept, sort, consolidate and pack household hazardous waste (HHW): Off-loading; Initial Sort; Segregation; Bulking/Bulk Loading; Chemistry/Lab Packing; Command center; and Employee break area.

## GUIDELINES FOR HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

### 3.3.1 Off-Loading:

The household waste is removed from stationary vehicles and placed in carts to be moved to the Initial Sort area. Multiple lanes may be used. Poly should not be placed where the vehicle tires will ride over it, unless specifically requested by the client. The traffic flow must be regulated to avoid overcrowding in the off-loading area. A clear lane must open to allow emergency access in the event of an emergency and for movement of equipment utilized in at the event. The vehicle travel lanes can be designated with traffic cones. Residents should be encouraged to stay in their vehicles for their own safety.

Certain materials are not acceptable for disposal at a HHW collection (refer to Appendix 5 for a list of the specific materials not acceptable at the collection event). Waste should be inspected for unacceptable materials while still in the resident's vehicle and the resident informed of any waste which can not be accepted. Reactive materials (peroxidizables, multi-nitrated compounds, etc.) should also be identified at this point.

Several classes of materials will be moved to the appropriate staging area as part of the unloading of the vehicle:

- Car Batteries: Lead Acid Batters will be moved as part of the unloading process and placed on a pallet in the staging area.
- Fluorescent Lamps: Lamps will be moved during the unloading process and placed in the staging area for packaging into the appropriate container.
- 20lb Propane: The tanks will be moved during the unloading process and placed on a pallet in the staging area.

Plastic/metal carts will be used to carry containers from vehicles to the Initial Sort area. The cart capacity should be sufficient to hold the largest container being carried. Carts should not be overloaded.

Unidentified/unmarked containers should be referred to the Unloading Supervisor prior to unloading from the vehicle. "Unidentified" is defined as an unlabelled container that the resident has no knowledge of the identity of the contents. **If the resident has no knowledge of the container contents, then the container will be considered an unknown and will not be accepted unless it is tested by a Chemist utilizing an un-known kit in a designated area away from the Unloading Area.** MXI Unloading Staff will direct the vehicle to an area where the required test can be conducted. **Unidentified material will not be accepted without specific approval by the Chemist.**

## GUIDELINES FOR HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

In the event of a leaking or spilled container in a vehicle, notify the Site Supervisor. The spilled material should be identified by labels, markings, or through customer questioning before handling. MXI is not responsible for spill cleanup in vehicles due to leaking containers and, therefore will not perform any vehicle decontamination, unless a MXI employee has caused the spill. Absorbents (e.g. 3M pads, speedi-dry) and other cleaning supplies should be kept readily available in the unloading area for quick response to spills outside of vehicles.

### 3.3.2 Initial Sort

Carts loaded in the Off Loading area are wheeled to the Initial Sort stations. The carts are unloaded in this station with Latex Paint, Aerosols, and Pints/Quarts separated out and placed in Totes/CYB or Drums before the cart is unloaded onto the Work Tables.

Latex Paint will be handled in one of three methods dependent upon the size of the job and the requirements of the contract:

- Latex Paint may be off loaded into metal totes. These totes, once full, will be moved by fork truck to a roll off. The tote will be emptied into the roll off utilizing a rotator on the fork truck.
- Latex Paint may be loaded into CYB. Once the box is full, it will be moved to the staging area for loading into a van trailer.
- Latex Paint may be poured into 55 gallon drums. Once the drum is full, it will be moved to the staging area for loading into a van trailer.

Aerosols will be off loaded into a CYB. Once the CYB is full, it will be moved to the staging area for loading into a van trailer.

Pints/Quarts is a category of materials that includes smaller sized containers of oil based paints and stains, wax's, caulk, thinners, preservatives, oils, grease etc. These materials will be off loaded into a CYB or drum. Once the CYB or drum is full, it will be moved to the staging area for loading into a van trailer.

The balance of HHW in the cart will be placed on the Work Tables in the Segregation Area for the Second Sort:

### 3.3.3 Second Sort/Segregating

This area separates and directs the HHW materials that will be bulked, moves the materials that will be more specifically categorized for lab

## GUIDELINES FOR HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

packing in Chemistry and pulls out 11b Propane and Fire Extinguishers for packaging.

Tables will be used to place the HHW materials on that were not pulled out in the Initial Sort. These tables will consist of Plywood suspended on drums or CYB. The Plywood will be over lapped to allow for expansion of the work area as appropriate for the size of the job.

MXI staff will be located behind the Initial Sort stations and will direct materials as follows:

Oil Based Paints and Paint-related materials will be handled in one of two methods:

- If Oil Based Paints are to be bulked, they will be moved down the table to the Bulking Area.
- If Oil Based Paints are to be loaded into Drums, CYB or hand stacked into a roll off, they will be moved down the tables in an opposite direction for packaging in the designated container or roll off.

Oil/Gasoline/Anti Freeze will be moved down the work table to the bulking area. These materials will be poured into separate drums for each. The empty container will be placed into a roll off that is placed behind the Bulking area.

Pesticide Liquid and Solids will be placed by the Second Sort staff into drums or CYB's positioned behind the Work Tables and to the side of the Chemistry Area. These materials will be placed in the container.

All other materials will be place on the Work Table in front of the Chemist.

### 3.3.4 Bulking

This is the location where wastes capable of being consolidated on site are collected and consolidated via a pour-off operation. A MXI-trained employee will supervise these operations and screen all containers to ensure only acceptable materials are poured. Containers to be poured will be transferred to work tables at the end of the Segregation tables. Containers will then be opened and poured into a collection drum or placed on a Paint Spinner. **With the exception of motor oil, any pourable materials not in their original containers must be reviewed by the Chemist for pH/oxidizer testing.**

## GUIDELINES FOR HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

The setup should include the following:

- Compatibility testing will be performed for pourable materials not in their original containers (Exception: motor oil). Test buckets will be located in a drip pan.
- Absorbent will be readily available in the area.
- Proper bonding and grounding procedures will be employed for pouring all flammable materials.
- A local exhaust blower will be set up to control/reduce employee exposure to vapors from flammable/combustible materials, if the operation is conducted indoors.
- A "Roll-off" or "trash compactor truck" may be located adjacent to the pour-off area for placement of discarded original containers.
- All filled flammable/combustible containers must be moved to a staging location away from pour-off/consolidation, and compactor truck or rolloff containing empty pour-off/consolidation containers.

### 3.3.5 Chemistry

The Chemistry work area consists of an off-loading work tables and shipping containers for the respective waste types. Materials from the Second Sort staff are placed on the work tables. Behind the work tables are drums and pails designated for each primary waste categories including:

- Acid, solid and liquid
- Base, solid and liquid
- Oxidizer, solid and liquid
- Poison
- Mercury, Mercury containing devices
- Flammable Solid
- Peroxides
- Reactive

The Chemist will segregate waste based upon a review of the contents of the waste cross referenced to documentation provided to the Chemist by MXI. In addition the Chemist may use standard testing to identify the waste characteristics. The properly classified HHW will then be placed into the appropriate packing container. The designation of the waste groups by MXI is set forth in Appendix 4.

## GUIDELINES FOR HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

The following is required:

- All containers are to be lined
- All containers will have an appropriate absorbent materials added
- All containers are to be labeled with the appropriate waste label and DOT label.
- All filled containers are to be removed to the staging area
- All containers will be DOT shippable.

### 3.3.8 Command Center/Main Emergency Response Station

A table will be set up as Command Center (CC) for the HHW collection event. The location of the CC will be determined by the Site Supervisor based on the layout of the other operations. The CC will have the first aid equipment and is the main emergency response station (see Section 4.3 for specific equipment). The CC is where all the paperwork processing will be completed and other information associated with the HHW event will be available.

### 3.3.9 Employee Break Area

An area will be established by the Site Supervisor as an employee break area where personnel can go to eat, drink, smoke, and rest. The area will be located away from any waste handling operations. The area should be established in a shaded location when the ambient temperature is above 80°F. Personnel must remove PPE before entering the break area and wash before they eat, drink, smoke, etc. Personnel must notify the Site Supervisor upon going to and returning from the break area.

## 4 Equipment Requirements

The following is a list of equipment that will be required to set up and conduct HHW site event. The amount of equipment will vary depending on the size of the event.

### 4.1 Bulking Pour-Off

- Flexible grounding and bonding cables;
- Iron or steel rod to install as ground source, if existing source not available
- Wire brush, scraper or sand paper;
- Continuity tester;
- Explosion-proof exhaust blower for operations conducted inside with a generator to power the blower if there is no power on site;
- 2 x 20lb ABC-rated fire extinguisher;

## GUIDELINES FOR HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

- 17H steel 55 gallon drums;
- Funnels;
- Absorbent materials (speedy-dry 3M pads);
- Non-sparking (brass) bung wrenches
- Shovel, and hand tools;
- Opener for paint cans;
- Broom and dust pan;

### 4.2 Command Center/Main Emergency Response Station

- Safety Information Package: HHW Guidelines, emergency phone numbers, hospital directions and reference sources (Chemical Dictionary, DOT ER Guidebook & NIOSH Pocket Guide, MXI Env. H&S Field Manual, 5-page Emergency Response Plan blank);
- First aid kit;
- Eye wash solution;
- Air horn for emergency alarm signal;
- Cell phone for communications;
- Combustible gas meter and organics meter;
- 2 x poly-Tyvek;
- Nitrile, PVA, PVC and neoprene gloves.
- 2 pairs chicken boots or rubber overboots;
- Duct tape;
- 1 x 20 lb ABC-rated fire extinguisher
- Absorbent materials (speedi-dry, 3M pads, etc.);
- Acid/base neutralizing materials;
- Drum repair kit consisting of plugs and patches;
- Broom and shovel or dust pan.

### 4.3 Spill Stations

Additional spill stations may be located on the site

- Absorbent materials. (Speedi-dry, 3M pads, etc.)

### 4.4 Employee Break Area

- Hand sanitizer;
- Paper Towels;
- Cooler with water or other non-caffeinated beverage;
- Oral thermometer for heat stress monitoring (temp.  $\geq 80^{\circ}\text{F}$ ).

## 5 Personal Protective Equipment

### 5.1 Site Set-up/Breakdown

## GUIDELINES FOR HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

Personnel setting up and breaking down the HHW collection site will be dressed in Level D personal protection, which will include:

- a) Work clothing;
- b) Safety glasses with sideshields;
- c) Work gloves (if no chemical contamination) or PVC.

### 5.2 Off-Loading/Initial Sort/Second Sort/Segregation/Shipment

Personnel off-loading vehicles, segregating, and packing materials will be in modified Level "D" personal protection to include:

- a) Tyvek disposable white coveralls or CPF1 apron;
- b) Work gloves or PVC gloves;
- c) Safety glasses w/side shields;
- d) Reflective vest or MXI shirt for off-loaders.

An increased level of respiratory protection and PPE may be warranted in specific situations. Leaking containers, spills or other instances where potential exposure may occur may require upgrading with the guidance of the Site Supervisor.

### 5.3 Bulking/Pour-Off

Because of the handling of open containers, pour off personnel shall don Level C personal protection. Minimum PPE for pour-off operations includes:

- a) Safety glasses w/side shields;
- b) Poly-Tyvek suit or apron;
- c) Latex or nitrile rubber gloves – inner;
- d) PVC gloves – outer;
- e) Chicken boots or rubber over boots;

### 5.4 Chemist

This area performs lab pack of chemicals and shall don Level C personal protection. The minimum PPE for the Chemistry area includes:

- a) Safety glasses w/side shields;
- b) Poly-Tyvek suit or apron;
- c) Latex or nitrile rubber gloves – inner;
- d) PVC gloves – outer;
- e) ½ Face Respirator/if required

## 6 Contingency Plan

In order to prepare for potential releases, spills or emergencies, a contingency plan must be

## GUIDELINES FOR HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

developed. Prior to the HHW collection, the Site Supervisor or other MXI representative should visit the site to gather site-specific information, which will be included in Appendix 2. A traffic flow plan must be established that will allow emergency equipment (Fire Department, ambulance, etc.) access to the site in the event of an emergency. The proposed layout of the site in relation to neighboring structures and properties must also be identified. Location of fire hydrants or lack thereof must be identified. Fire Department should be prepared in the event the site has no readily available hydrants. Locations for the trash compactor truck or roll offs, and for possible dumping of the truck or roll off in the case of a fire (dumping only as directed by the Fire Department) should be identified. This information will be used to develop a site map. A copy of the contingency plan should be available to the local emergency organizations, EPA representatives and all other involved parties.

Remember to keep access lanes to the site clear at all times. In the event of an emergency, emergency equipment may need to have direct access to the site. Traffic lanes should be prearranged so there is an open path at all times.

The Site Supervisor will serve as the Emergency Coordinator in the event of an emergency situation.

### 6.1 Emergency Information

Emergency information will be located at the Command Center table. The information will be placed on the table with the job folder. Information to be present should include a copy of the HHW Collection Guidelines containing the site specific information (contingency plan, emergency phone numbers, hospital directions, etc.) and safety references (Chemical Dictionary, DOT ER Guidebook, NIOSH Pocket Guide, and MXI 5-page Emergency Response Plan). The following services shall be included on the emergency phone list; Fire Department, ambulance, hospital, poison information center, police department, state police, MXI support location, and local H&S rep.

### 6.2 Emergency Actions

#### 6.2.1 Spill or Chemical Release

In the event of a spill or release, the Site Supervisor will evaluate the situation and evacuate the site if necessary. A continuous blast of an air horn will signal the evacuation of the site. The Site Supervisor, with the assistance of the local H&S Representative, will decide how to respond to and contain and clean up the spill/release. Ensure that the evacuation assembly area is located upwind.

#### 6.2.2 Flammable Conditions

## GUIDELINES FOR HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

In the event that flammable vapors exceed 10% of the Lower Explosive Limit (LEL), the following actions should be taken:

- Cease all pour operations and evacuate the pour area.
- Eliminate all ignition sources. No Smoking.
- Stop the flow of cars into the area and have all cars in the unloading area exit immediately.
- If vapors do not dissipate in a short period of time (five minutes), notify the local official on site and the Fire Department. Contact the local MXI H&S Rep for assistance on how to proceed.

Low lying and other areas that may hold trapped flammable vapors should be monitored with an LEL meter to ensure vapors have dissipated. After the site has been monitored, the Site Supervisor may give the "all clear".

### 6.2.3 Fire

In the event of a fire, an appropriate fire extinguisher may be used to fight a fire if it is in the incipient stage. The following additional actions should be taken:

- Cease all operations and evacuate the area of all unnecessary personnel. Ensure that wind direction is noted in determining Evacuation Assembly Areas: locate upwind.
- Eliminate all ignition sources.
- Stop the flow of cars into the area and have all cars in the unloading area exit immediately.
- Notify the local official on site, the Fire Department and the local MXI H&S Rep.

### 6.2.4 Reaction

In the event of a reaction during pouring, the following actions should be taken:

- Cease the pour operations and evacuate the pour area. Ensure that wind direction is noted in determining evacuation assembly areas: locate upwind.
- Notify the Site Supervisor and the local MXI H&S Rep immediately.
- The Site Supervisor will evaluate the situation, evacuate the site if necessary, and decide on any further action.

## GUIDELINES FOR HOUSEHOLD HAZADOUS WASTE COLLECTIONS

### 6.2.5 Evacuation

In the event that the decision is made to evacuate the site, the Site Supervisor will sound the alarm with repeated blasts on the Air Horn. All staff will:

- Cease all operations and evacuate the area of all personnel
- Stop the flow of cars into the area and have all cars in the unloading area exit immediately
- All Staff is to move expediently to the Command Center or the Evacuation Assembly Area: locate upwind
- Notify the local official on site, the Fire Department and the local MXI H&S Rep.
- Be available to assist as directed by the Site Supervisor.

### 6.2.6 Employee Injury or Exposure

If an employee becomes injured or ill (e.g., heat-related illness), provides first aid and seek medical attention, if necessary. Notify the Site Supervisor and the local MXI H&S Representative immediately. If there is an injury involving blood, be sure to follow the MXI Blood borne Pathogens Exposure Control Plan.

## 7 Site Specific Information

Site specific information will be gathered prior to the start of the collection and reviewed by the Site Supervisor with the crew during the site safety meeting. Refer to the Site Specific Information Form in Appendix 2 for details on the HHW collection in question.

## 8 Operational Guidelines

At a minimum the following steps must be followed during collection operations. It is the Site Supervisor's responsibility to ensure that all employees understand and follow the appropriate guidelines.

### 8.1.1 Off-Loading

- When a vehicle enters the off-loading area, the vehicle engine should be shut off and the resident should stay in the vehicle. An MXI employee will then unload the vehicle. A cart may be used to transport the waste containers from the vehicles to the initial sort station.
- Waste should be inspected for unacceptable materials while it is still in the resident's vehicle. Unacceptable waste shall not be accepted. High hazard materials (peroxides, multi-nitrated compounds, etc.)

## GUIDELINES FOR HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

will be handled by the Chemist only. The resident should not be allowed to leave until the high hazard waste has been screened.

- If a large volume of waste is in boxes or crates, they may be brought to the Initial Sort Station for unpacking. In the event of a leaking or spilled container in a vehicle, the material should be identified by labels, markings, or through customer questioning before handling and then over-packed appropriately. The vehicle owner is responsible for decontaminating the vehicle. Only if a MXI employee is responsible for the spilled material should they perform any decontamination. Notify the Site Supervisor in either case. After a MXI decon has been completed the Site Supervisor should inspect the car.
- All containers should be checked for labels and the driver asked to confirm the contents. If there is no label and the driver can identify the container's contents, it must be written on the container.
- In the event an unidentified container is received, it should be fingerprint-tested by a MXI chemist utilizing a fingerprinting kit in a designated area away from personnel. Fingerprinted containers should be lab packed for disposal. "Unidentified" is defined as an unlabelled container for which the resident does not have definitive knowledge of the content of the contents. If the resident has no knowledge of the container contents, then the container will be considered an unknown and not be accepted.
- The Site Supervisor should be available to make decisions on what materials are acceptable for collection. Also, refer to Appendix 1 for list of unacceptable materials.
- Immediately over-pack any leaking containers.
- If a spill occurs, all operations should stop until the situation is under control and the spill is cleaned up. (See Section 6.2.1, Contingency Plan).
- Containers should not be opened in vehicles for any reason.

### 8.2 Initial Sort & Second Sort/Segregating

- Personnel segregating and packing wastes should be trained.
- Ensure drums are labeled, segregated and staged properly. Drums should be arranged in the same manner as the receiving tables to reduce movement and handling.
- Ensure containers are packed according to the packing specifications given in Appendix 4.
- Immediately over-pack leaking containers.

## GUIDELINES FOR HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

- If a spill occurs, all operations should stop until the situation is under control and the spill is cleaned up (See Section 6.2.1, Contingency Plan).

### 8.3 Pour-Off

- An MXI trained employee will supervise these operations and screen all containers to ensure only acceptable materials are poured.
- Locate the pour-off/bulking area away from the car unloading area, potential ignition sources, and the nearest public way; and well away from adjacent property lines.
- Establish one collection drum/pail for each waste stream being consolidated as indicated in the packing specifications in Appendix 4.
- If the pour-off or bulking operations are conducted indoors, set up the blower to remove vapors. Direct the discharge duct away from personnel and ignition sources.
- Assure bonding and grounding wires are attached to a clean, non-corroded, non-painted metal surface on the collection drums. Use wire brush or other device to remove rust or paint from drums to attach grounding wires. Also ground the blower, if utilized.
- Establish a ground source. Examples of ground sources which may exist on site include fire hydrants, utility pole grounds, electrical system grounds, and cold water pipes. If no existing ground source is present, establish a ground by sinking a ground rod at least 8 ft. below surface or by submerging a ground rod at least 1 ft. under water in any natural body of water (i.e., stream, pond, etc.). Check grounding/bonding continuity with test device to ensure the resistance of the connections is low (<20 ohms) or shows as being acceptable on test device.
- Cover collection drums as appropriate to limit exterior contamination.
- Prior to opening or consolidating any materials, don PPE.
- With the exception of motor oil, any pourable materials not in their original containers will be set aside for ph/oxidizer testing and separate consolidation utilizing compatibility ("bucket") testing. Monitor for any possible reaction between materials (smoking, fuming, spattering, heat generation, etc.). If a material reacts, do not pour it. Labs pack the container for disposal and start a new bucket test.
- If direct-reading instrumentation or personal air monitoring is specified by Health & Safety, monitor the area while pour off/squishing operations are conducted. Document your readings.

## GUIDELINES FOR HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

- As soon as a drum is full, it should be closed and labeled before another drum is started. Full drums should be moved to designated staging area away from pour-off and from trash compactor or roll-off.
- Keep ample absorbents (speedy dry, 3M pads) in area and clean up all spills immediately.
- Chemists and pour off personnel should ensure that non-pour off containers (e.g. empty cans or containers brought in by homeowners) are not thrown into the compactor truck or roll-off if there is any possibility they contain residual chemicals (e.g., oxidizers) which could react with flammables/combustible material, or cause other reactions. Any containers with any residual material will be lab packed.

### 8.4 Packing/Shipment

Pre-transportation and transportation requirements will be adhered to for packing and shipping all waste containers generated at the HHW collection.

- All lab pack containers shall be packaged with appropriate absorbent material per standard lab pack procedures.
- Reference packing specifications in Appendix 4 for specific requirements of waste stream packaging for the contract.
- All drums generated from the bulking/pour off and paint bulking operations shall be checked to ensure container integrity and no exterior contamination.
- All containers shall be checked to ensure proper DOT labeling and other appropriate waste stream information is communicated properly.
- A drum count will be taken to ensure accuracy before shipment (Use of a standard count sheet to reflect piece size and quantity is recommended).
- The Site Supervisor (or the designated person responsible for the generation of appropriate manifest, shipping documents, and other associated documentation) will review all shipping documents with the driver(s) before departure to ensure the completion of all forms as required. This person will also ensure with driver(s) that appropriate vehicle placarding is in place.
- If requested, the Site Supervisor will phone MXI dispatch to communicate the size of the inbound shipment.

## GUIDELINES FOR HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

Refer to the following MXI Health & Safety Programs/Guidelines for additional guidance and information.

- Heat/Cold Stress
- Drum Handling
- Decontamination
- Grounding and Bonding Guidelines
- Physical Hazard Control Checklists
- Asbestos Handling
- Respiratory Protection
- Personal Protective Equipment (PPE)
- Blood borne Pathogen Exposure Control Plan for First Aid Responders
- Confined Space Entry Guidelines

### 10 Appendices

1. Site set-up flow and diagram
2. Site-Specific Information for HHW Collection
3. Site Safety Meeting Checklist and Acknowledgment for HHW Collections
4. Packing Specifications for HHW Collections
5. Unauthorized Materials
6. Collection-Specific Budget/Pricing Information
7. Collection-Specific Contract

# Outline of Work Area

Large Collection Point

## Outline of Procedure

1. Care and unloading into carts that are moved to the KALU collection area
2. Unloading into place in an area
3. Initial test separation and basic collection
4. Items to be tested are moved from the table to testing area
5. Chemistry is moved across the table to Chemistry Booth
6. Ozone Pallet moves the weight direction to the Bleaching Booth
7. Laser Point is placed in metal containers that are moved by Fork Truck
8. Tipped into Laser fluid DTS
9. Oil base plate is moved opposite to battery and is hand attached in the Oil Base Plate Ont.
10. Loading of Oil, Adhesive, Palm Liquid, VEG Oil Oil Base Plate - are work load along
11. Chemistry separation balance of the material by DDT if applying class
12. Lab Pack as required



01-01-2017  
 7:53:13 AM  
 KALU  
 KALU  
 KALU

Continued Cluster  
 Pump and supply system

R. G. K. K.





## GUIDELINES FOR HOUSEHOLD HAZADOUS WASTE COLLECTIONS

### APPENDIX 2 SITE-SPECIFIC INFORMATION FOR HHW COLLECTIONS

SITE NAME: \_\_\_\_\_  
SITE LOCATION: \_\_\_\_\_  
\_\_\_\_\_

COLLECTION DATE: \_\_\_\_\_  
SITE SUPERVISOR: \_\_\_\_\_

SETTING: \_\_\_\_\_ OUTDOOR \_\_\_\_\_ INDOOR

SURROUNDING AREA:  
\_\_\_\_\_ URBAN \_\_\_\_\_ RURAL \_\_\_\_\_ RESIDENTIAL \_\_\_\_\_ INDUSTRIAL  
\_\_\_\_\_ OTHER (Specify)

BODIES OF WATER NEIGHBORING SITE:  
\_\_\_\_\_ STREAM \_\_\_\_\_ RIVER \_\_\_\_\_ POND \_\_\_\_\_ LAKE \_\_\_\_\_ BAY \_\_\_\_\_ OCEAN  
\_\_\_\_\_ OTHER (Specify)

PROPERTIES/OPERATIONS ABUTTING THE SITE & CURRENT USE:  
(NOTE: SPECIFY APPROXIMATE DISTANCE TO WORK AREAS)

North: \_\_\_\_\_  
South: \_\_\_\_\_  
East: \_\_\_\_\_  
West: \_\_\_\_\_

CLIENT SITE OPERATIONS:

\_\_\_\_\_

LOCATION OF GROUND FOR BULKING/POUR OFF:

\_\_\_\_\_

LOCATION OF EVACUATION ASSEMBLY AREA:

\_\_\_\_\_

LOCATION OF EMPLOYEE BREAK AREA:

\_\_\_\_\_

KEY PERSONNEL AND EMERGENCY NUMBERS:

Fire Department.....	
Ambulance Service.....	

## GUIDELINES FOR HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

Police Department.....	
State Police.....	
Chemtrec.....	(800) 424-9300
Poison Information Center.....	


### APPENDIX 3. SITE SAFETY MEETING CHECKLIST & ACKNOWLEDGMENT FOR HHW COLLECTION

The MXI Site Supervisor will discuss the below listed information with the work crew and other on-site personnel in a site safety meeting.

1. SITE LAYOUT/WORK ZONES: Identify Off-loading, Initial Sort, Segregation, Bulking/Pour, Chemistry, Staging, Roll-Off  
Command Center, Decon & Break Areas.
2. CHAIN OF COMMAND (Same Person Can Serve More Than One Function)  
Site Supervisor: \_\_\_\_\_  
Off-loading Supervisor: \_\_\_\_\_  
Chemist/Lab Pack Supervisor: \_\_\_\_\_  
Sort/Segregation Supervisor: \_\_\_\_\_  
Bulking/Pour-Off Supervisor: \_\_\_\_\_
3. ROLE/ASSIGNMENT OF EACH WORKER
4. EQUIPMENT LOCATIONS: Supplies, First Aid, Fire Extinguishers, Spill Clean-up, Communications, ER, PPE,
5. PPE REQUIREMENTS  
Site Set up/Breakdown: Work clothes/safety shoes/safety glasses/gloves.  
Off Loading: Add disposable suit or apron/chemical gloves/traffic vest.  
Segregating/Packing: Add disposable suit or apron/chemical gloves.  
Pour Off & Chemistry Area: Add Poly-Tyvek suit or apron ½ face respirator Cartridges, inner (latex)/outer (PVC) gloves, boots.
6. PHYSICAL/SITE HAZARDS  
Vehicular Traffic  
Slips/Trips/Falls  
Sunburn (if applicable)  
Heat Stress/Cold Stress (if applicable)  
Material Handling/Lifting  
Hand Tools  
Flammable Handling – fire/explosion--> ignition sources, bonding & grounding  
Electrical Equipment (impact gun & lighting)  
Paint Spinners
7. CHEMICAL HAZARDS  
Flammables: gasoline, auto products, paints & paint-related materials, aerosols  
Oxidizers: bleach, pool chemicals, disinfectants

GUIDELINES FOR  
HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

- Corrosives: cleaners, disinfectants, batteries, photo chemicals
- Irritants: cleaners, photo chemicals
- Reactives: home or school lab chemicals
- Toxic: pesticides, paints & paint-related products, cleaners, disinfectants, auto products, pool & photo chemicals, batteries
- 8. BIOLOGICAL HAZARDS (If Applicable)
  - Insect Bites
  - Snake Bites
  - Poison Plants, e.g. Poison Ivy
- 9. SAFE WORK PRACTICES BY AREA:
  - Off-Loading
    - Residents Remain in Cars/Extinguish Smoking Materials
    - Turn Off Motors
    - Collection-Specific Unacceptable Wastes/Explanation of What To Do When Homeowner Presents Unacceptable Material
    - Unlabelled Material Identification
    - Do Not Open Containers
    - Check Container Condition to Avoid Leakers/Spills
    - If Leaker/Spill, Notify Site Supervisor IMMEDIATELY
- 10. INITIAL SORT /SEGREGATING/PACKING
  - Guidelines for separation of Materials
  - Generic Packing Guidelines
  - Complete Necessary Packing List
  - Drums: Verm, Gaskets, Markings
  - Flex Bins: Lined, Verm, Secured to Pallet, Inner Containers Sealed/Upright, Markings
- 11. BULKING/POUR-OFF
  - Acceptable/Unacceptable Pour-off Materials
  - Oxidizer/pH/Bucket Test Mat' That is Not in Original Containers (Exception: Motor Oil)
  - Restrict Access
  - Spill Containment
  - Bonding/Grounding/Bare Metal Contact on Drums/Continuity Test
  - Cover Drums
  - Exhaust Blower If Indoors
  - Paint Spinners
  - Disposal of containers
  - Prevention of disposal of non-pour off empties into pour-off trash
- 12. CONTINGENCY PLANS, Including:
  - Location of emergency info
  - Emergency actions

  
ENVIRONMENTAL SERVICES

GUIDELINES FOR  
HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

---

Evacuation/all clear signals

---

Location of evacuation assembly area

---

Receipt of high hazard, peroxidizable, reactive chemicals

---

High haz., peroxid., reactivities procedures reviewed with client

---

Trash compactor or roll-off fire areas

---



ENVIRONMENTAL SERVICES

GUIDELINES FOR  
HOUSEHOLD HAZARDOUS WASTE COLLECTIONS


HHW HEALTH AND SAFETY AUDIT CHECKLIST

	Y	N	NA
<b>TRAINING:</b>			
Supervisors, Decision-makers, (40-hr./CP Chemist)			
Pour-Off, Emer Resp (24 hr.)			
Other Handlers (HHWC Training)			
Site Safety Meeting held/documented?			
<b>SITE REQUIREMENTS:</b>			
Area large enough? (1200 sq. ft. or larger)			
Open area for air movement?			
Space for emergency vehicle/equipment access?			
Entrance/exit of cars smooth?			
Clearance from adjacent property distance?			
Clearance from nearest public way?			
Proximity to potable water and telephone?			
Proximity of grounding source?			
Poly ground cover/Cardboard-covered foot traffic areas?			
Storm Drains sealed?			
Decon. Areas designated/set up?			
Good Location?			
Staging Area and waste handling areas?			
Local ventilation? (Indoors pours/paint spinner only)			
Command center set up w/equip. & paperwork?			
Employee break area set up properly?			
Trained supervisor stationed for supv./screening?			
Compatibility testing for unlabeled containers?			
Contingency plan set up?			
<b>FIRE/FLAMMABLE AND COMBUSTIBLE MATERIALS CONTROL:</b>			
Adequate grounding source(s) used?			
No adjacent ignition sources?			
No smoking?			
Bulking/Pour-Off grounded?			

ENVIRONMENTAL SERVICES

GUIDELINES FOR  
HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

	All bonds continuity checked?			
	Non-sparking tools used?			
	Fire extinguishers available?			
<b>HEAT STRESS:</b>				
	Water/non caffeinated beverages used?			
	Heat monitoring conducted?			
<b>PRE: CORRECT PPE USED:</b>				
	Set Up/Breakdown (Level D: shoes/glasses/gloves)			
	Off Loading (Modified D, plus traffic vest)			
	Segregating/Packing (Modified D)			
	Pour off/Bulking & Chemist (Level C)			
<b>AIR MONITORING:</b>				
	LEL and organics meters available for ER?			
	Personal air sample collected (when specified)			
	Worksheet completed?			
<b>OPERATIONS:</b>				
	Off Loading			
	Trained supervisor overseeing area?			
	Unacceptable waste not accepted?			
	Leaking containers properly handled?			
	Unidentified waste fingerprinted?			
	Initial Sort/Segregation			
	Trained supervisor overseeing area?			
	Containers labeled, segregated, staged?			
	Leaking containers over packed?			
	Bulking/Pour-off			
	Trained supervisor overseeing area?			
	Proper bonding/grounding established?			
	Compatibility testing for unlabeled containers?			
	Packing/Shipments			
	Containers properly packed/closed/labeled?			
	Containers properly loaded on trucks?			
	Proper paperwork completed?			
	Employee Break Area			
	Proper decon prior to entry?			
	Contingency plan implementation?			

## GUIDELINES FOR HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

### APPENDIX 4. Standard Waste Stream Packing Specification

UN1950, Aerosols, Flammable, 2.1 -Loose packed in 5-55 gal DF or 3 wall haz rate cubic yard box
UN1978, Propane, 2.1 -1 lb Loose packed in 5-55 gal DF & 3 wall haz CF -20 lb stacked and shrink wrapped on CW pallet
UN1993, Flammable Liquid, N.O.S., (Isopropyl, Mineral Spirits), 3, PG II -Bulked into 55 gallon UN rate drum -Small containers loose packed in 5-55 gal DF/DM or 3 wall haz rate cubic yard box
UN1263, Paint Related Material, 3, PG III -Bulked into 55 gallon UN rate drum -1 Gallons, Quarts, & Pints Loose packed in 5-55 gal DF/DM or 3 wall haz rate cubic yard box -5 Gallon containers stacked and shrink wrapped on CW pallet
UN1325, Flammable Solids, Organic, N.O.S., (Fusee, Matches), 4.1, PG II -labpacked in 5 gal or 55 gal DF
UN3139, Oxidizing Liquid, N.O.S., (Chlorine, Sodium Hypochlorite), 5.1, PG II -labpacked in 5 gal or 55 gal DF
UN1479, Oxidizing Solid, N.O.S., (Chlorine, Sodium Hypochlorite), 5.1, PG II -labpacked in 5 gal or 55 gal DF
UN3105, Organic Peroxide, Type D, Liquid, N.O.S., (Methyl Ethyl Ketone Peroxide < 45%), 5.2, PG II -labpacked in 5 gal or 55 gal DF
UN3108, Organic Peroxide Type E, Solid, (Dibenzoyl Peroxide (as paste), <52%), 5.2, PG II -labpacked in 5 gal or 55 gal DF
UN2810, Toxic Liquids, Organic, N.O.S., (Carbon Tetrachloride, Chloroform), 6.1, PG II -labpacked in 5 gal or 55 gal DF
UN3264, Corrosive Liquid, Acidic, Inorganic, N.O.S., (Hydrochloric, Phosphoric), 8, PG II -labpacked in 5 gal or 55 gal DF
UN3260, Corrosive Solid, Acidic, Inorganic, N.O.S., (Boric Acid, Sodium Bisulfate), 8, PG II -labpacked in 5 gal or 55 gal DF
UN3266, Corrosive Liquid, Basic, Inorganic, N.O.S., (Ammonia, Sodium Hydroxide), 8, PG II -labpacked in 5 gal or 55 gal DF -loose packed in double containment (cardboard boxes or plastic bins) in 3 wall haz rate cubic yard box
UN3262, Corrosive Solid, Basic, Inorganic, N.O.S., (Sodium Carbonate, Sodium Hydroxide), 8, PG II -loosepacked in 5 gal, 55 gal DF, or 3 wall haz rate cubic yard box
UN1044, Fire Extinguishers, 2.2 -loosepacked in 5 gal, 55 gal DF, or 3 wall haz rate cubic yard box
RQ, NA2212, Asbestos, 9, PG III -loosepacked in 5 gal, 55 gal DF, or 3 wall haz rate cubic yard box

ENVIRONMENTAL SERVICES

GUIDELINES FOR  
HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

-received double bagged and wetted only

Non DOT, Non RCRA Regulated Material, (Household Collected Antifreeze)

-Bulked into 55 gallon UN rate drum

Non DOT, Non RCRA Regulated Material, (Household Collected Latex Paint)

-Loosepacked in cubic yard boxes or 40x48x40 gaylord box

Non DOT, Non RCRA Regulated Material, (Household Collected Motor Oil)

-Bulked into 55 gallon UN rate drum

RQ, UN3506, Mercury Contained In Manufactured Articles, 8,(6.1), PG III (Universal Waste)

-labpacked in 5 gallon DF and overpacked in 55 gallon DM

UN2902, Pesticides Liquid, Toxic, N.O.S., (Dinoseb,Acephate), 6.1, PG II (Universal Waste)

-labpacked in 5 gal or 55 gal DF

-loose packed in double containment (cardboard boxes or plastic bins) in 3 wall haz rate cubic yard box

UN2588, Pesticides Solid, Toxic, N.O.S., (Dinoseb, Acephate), 6.1, PG II (Universal Waste)

-loose packed in 55 gal DF or 3 wall haz rate cubic yard box

UN2800, Batteries, wet, nonspillable, 8, PG III (Universal Waste)

-stacked and wrapped to a pallet CW

UN3028, Batteries, dry, containing potassium hydroxide solid, 8, PG III (Universal Waste, Nickel Cadmium Batteries)

-loose packed in 5 gal or 55 gal DF

UN3496, Batteries, nickel-metal hydride, 9 (Universal Waste)

-loose packed in 5 gal or 55 gal DF

UN3090, Lithium Batteries, 9, PG II (Universal Waste)

-loose packed in 5 gal or 55 gal DF

Non DOT Regulated, batteries dry,sealed,n.o.s.

-loose packed in 5 gal or 55 gal DF

Non DOT Regulated, Used Mercury Lamps (Universal Waste)

-loose packed into carton fiber boxes

ENVIRONMENTAL SERVICES

GUIDELINES FOR  
HOUSEHOLD HAZARDOUS WASTE COLLECTIONS

APPENDIX 5. LIST OF MATERIALS SPECIFICALLY EXCLUDED

1. Medical and Infectious Waste
2. DEA Controlled Substances
3. Explosives or Ordnance
  - a. Ammunition
  - b. DOT Class A, B, C Explosives
4. Radioactive Compounds
  - a. Americium
  - b. Cesium
  - c. Uranium
  - d. Thorium
5. Compressed Gas Cylinders (other than Propane and Helium)
6. Type A or B Organic Peroxides
  - a. Substances on DOT SADT List



# COMMONWEALTH of VIRGINIA

## DEPARTMENT OF ENVIRONMENTAL QUALITY

*Street address:* 629 East Main Street, Richmond, Virginia 23219

*Mailing address:* P.O. Box 10009, Richmond, Virginia 23240

Fax (804) 698-4500 TDD (804) 698-4021

[www.deq.state.va.us](http://www.deq.state.va.us)

W. Tayloe Murphy, Jr.  
Secretary of Natural Resources

Robert G. Burnley  
Director

(804) 698-4000  
1-800-592-5482

August 30, 2002

Mr. Ronald Potter, President  
MXI Environmental Services LLC  
26319 Old Trail Road  
Abingdon, VA 24210

**SUBJECT:** MXI Environmental Services LLC, Materials Recovery Facility  
Permit-by-Rule #180  
Washington County, Virginia

Dear Mr. Potter:

The Department is in receipt of your request dated May 30, 2002 for a Materials Recovery Facility permit – by – rule located in Washington County at 26319 Old Trail Road. The requirements for this application were completed with the receipt of the site certification dated August 21, 2002.

Attached to this letter are two documents, which must not be separated from this letter for compliance purposes. The two documents are:

**ATTACHMENT I: CONDITIONS OF THE PERMIT-BY-RULE STATUS**

**ATTACHMENT II: FACILITY DESCRIPTION**

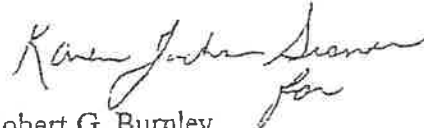
The purposes of this letter are to acknowledge receipt of the documentation submitted in accordance with the requirements of 9 VAC 20-80-480.E.2 of the Virginia Solid Waste Management Regulations (VSWMR, 9 VAC 20-80-10, et seq.) for permit-by-rule facilities, and to notify you that the amendment of Permit-by-Rule #180 is approved. Please note, however, that in accordance with 9 VAC 20-80-480.E.6, and the attached "Conditions of the Permit-by-Rule Status," the Director may require changes in the documents designed to assure compliance with the standards of VSWMR Parts VI and VII, if applicable. Should such changes be accomplished by the facility owner or operator, the Director may require the owner or operator to submit the full application and to obtain a regular solid waste management facility permit.

Mr. Potter

Page 2

Please note that it is the responsibility of MXI Environmental Services LLC, to obtain any other permits or authorizations that may be necessary. If you have any questions regarding this matter, please contact Joseph R. Levine, PE, Environmental Engineer Senior, at (276) 676-4876.

Sincerely,

A handwritten signature in cursive script, appearing to read "Robert G. Burnley".

Robert G. Burnley

Attachments

- c: DEQ - D. Sizemore, Southwest Regional Office (letter only)
- DEQ - L. Stull, Southwest Regional Office
- DEQ - E. Paul Farrell, Jr., Waste Permitting (letter only)
- DEQ - J. Levine, Waste Permitting
- DEQ - P. Kohler, Waste Permitting (letter only)



# COMMONWEALTH of VIRGINIA

## DEPARTMENT OF ENVIRONMENTAL QUALITY

Street address: 629 East Main Street, Richmond, Virginia 23219

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W. Taylor Murphy, Jr.  
Secretary of Natural Resources

August 30, 2002

Mr. Ronald Potter, President  
MXI Environmental Services LLC  
26319 Old Trail Road  
Abingdon, VA 24210

SUBJECT: MXI Environmental Services LLC, Materials Recovery Facility  
Permit-by-Rule #180  
Washington County, Virginia

Dear Mr. Potter,

The Department is in receipt of your request dated May 30, 2002 for a Materials Recovery Facility permit – by – rule located in Washington County at 26319 Old Trail Road. The requirements for this application were completed with the receipt of the site certification dated August 21, 2002.

Attached to this letter are two documents, which must not be separated from this letter for compliance purposes. The two documents are:

ATTACHMENT I: CONDITIONS OF THE PERMIT-BY-RULE STATUS

ATTACHMENT II: FACILITY DESCRIPTION

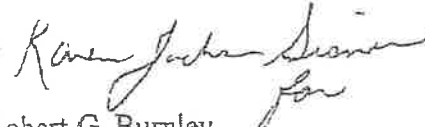
The purposes of this letter are to acknowledge receipt of the documentation submitted in accordance with the requirements of 9 VAC 20-80-480.E.2 of the Virginia Solid Waste Management Regulations (VSWMR, 9 VAC 20-80-10, et seq.) for permit-by-rule facilities, and to notify you that the amendment of Permit-by-Rule #180 is approved. Please note, however, that in accordance with 9 VAC 20-80-480 E.6, and the attached "Conditions of the Permit-by-Rule Status," the Director may require changes in the documents designed to assure compliance with the standards of VSWMR Parts VI and VII, if applicable. Should such changes be accomplished by the facility owner or operator, the Director may require the owner or operator to submit the full application and to obtain a regular solid waste management facility permit.

Mr. Potter

Page 2

Please note that it is the responsibility of MXI Environmental Services LLC, to obtain any other permits or authorizations that may be necessary. If you have any questions regarding this matter, please contact Joseph R. Levine, PE, Environmental Engineer Senior, at (276) 676-4876.

Sincerely,

  
Robert G. Burnley

Attachments

- c: DEQ - D. Sizemore, Southwest Regional Office (letter only)
- DEQ - L. Stull, Southwest Regional Office
- DEQ - E. Paul Farrell, Jr., Waste Permitting (letter only)
- DEQ - J. Levine, Waste Permitting
- DEQ - P. Kohler, Waste Permitting (letter only)

89 3 DEC 7004



# COMMONWEALTH of VIRGINIA

W. Taylor Murphy, Jr.  
Secretary of Natural Resources

## DEPARTMENT OF ENVIRONMENTAL QUALITY

Street Address: 355 Deadmore Street, Abingdon, Virginia 24210  
Mailing Address: P.O. Box 1688, Abingdon, Virginia 24212-1688  
Fax: (276) 676-4899  
www.deq.virginia.gov

Robert G. Burnley  
Director

Michael D. Overstreet  
Regional Director  
(276) 676-4800

December 9, 2004

Mr. Ronald S. Potter  
President  
MXI Environmental Services, LLC  
P.O. Box 262  
Somerville, NJ 08876

RE: MXI Environmental Services, LLC, Material Recovery Facility  
Permit-by-Rule #180  
Permit Amendment  
Washington County, Virginia

Dear Mr. Potter:

The Department has received your letter requesting an amendment to the Permit-by-Rule for the Material Recovery Facility located in Washington County. The letter requests a change in the operating plan for the addition of two storage tanks and installation of a low speed shredder. The Materials Recovery Facility is located on approximately 6.5 acres off State Route 879.

Attached to this letter are two documents, which must not be separated from this letter for compliance purposes. The two documents are:

ATTACHMENT I: CONDITIONS OF THE PERMIT-BY-RULE STATUS

ATTACHMENT II: FACILITY DESCRIPTION

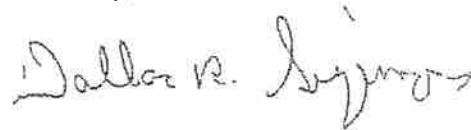
The purposes of this letter are to acknowledge receipt of the documentation submitted in accordance with the requirements of 9 VAC 20-80-485.A.8 of the *Virginia Solid Waste Management Regulations* (VSWMR, 9 VAC 20-80-10, et seq.) for Permit-by-Rule facilities, and to notify you that the amended Permit-by-Rule #180 is approved. Please note, however, that in accordance with 9 VAC 20-80-485.A.6, and the attached "Conditions of the Permit-by-Rule Status," the Director may require changes to the documents designed to assure compliance with the standards of VSWMR Parts VI and VII, if applicable. Should such changes be accomplished

MXI Environmental Services, LLC  
Permit By Rule #180  
Page 2

by the facility owner or operator, the Director may require the owner or operator to submit the full application and to obtain a regular solid waste management facility permit.

Please note that it is the responsibility of MXI Environmental Services, LLC to obtain any other permits or authorizations that may be necessary. If you have any questions regarding this matter, please contact Jim Stump, Environmental Engineer Senior, at (276) 676-4856.

Sincerely,

A handwritten signature in black ink that reads "Dallas R. Sizemore". The signature is written in a cursive style with a large initial "D".

Dallas R. Sizemore  
Deputy Regional Director

Attachments

C: Linda Stull, SWRO



14 OCT 2005

# COMMONWEALTH of VIRGINIA

W. Tayloe Murphy, Jr.  
Secretary of Natural Resources

## DEPARTMENT OF ENVIRONMENTAL QUALITY

*Street Address:* 355 Deadmore Street, Abingdon, Virginia 24210  
*Mailing Address:* P.O. Box 1688, Abingdon, Virginia 24212-1688  
Fax: (276) 676-4899  
[www.deq.virginia.gov](http://www.deq.virginia.gov)

Robert G. Bostrom  
Director

Michael D. Overstreet  
Regional Director  
(276) 676-4899

October 7, 2005

Mr. Ronald S. Potter  
President  
MXI Environmental Services, LLC  
P.O. Box 262  
Somerville, NJ 08876

**RE:** MXI Environmental Services, LLC, Material Recovery Facility  
Permit-by-Rule #180  
Permit Amendment  
Washington County, Virginia

Dear Mr. Potter:

The Department has received your letter requesting an amendment to the Permit-by-Rule for the Material Recovery Facility located in Washington County. The letter requests a change in the operating plan as presented in the new Attachment 9. The amendment also includes a new drawing showing the area assigned to the MRF and a revised closure cost estimate. The Materials Recovery Facility is located on approximately 6.5 acres off State Route 879.

Attached to this letter are two documents, which must not be separated from this letter for compliance purposes. The two documents are:

**ATTACHMENT I: CONDITIONS OF THE PERMIT-BY-RULE STATUS**

**ATTACHMENT II: FACILITY DESCRIPTION**


The purposes of this letter are to acknowledge receipt of the documentation submitted in accordance with the requirements of 9 VAC 20-80-485.A.8 of the *Virginia Solid Waste Management Regulations* (VSWMR, 9 VAC 20-80-10, et seq.) for Permit-by-Rule facilities, and to notify you that the amended Permit-by-Rule #180 is approved. Please note, however, that in accordance with 9 VAC 20-80-485.A.6, and the attached "Conditions of the Permit-by-Rule Status," the Director may require changes in the documents designed to assure compliance with

MXI Environmental Services, LLC  
Permit By Rule #180  
Page 2

the standards of VSWMR Parts VI and VII, if applicable. Should such changes be accomplished by the facility owner or operator, the Director may require the owner or operator to submit the full application and to obtain a regular solid waste management facility permit.

Please note that it is the responsibility of MXI Environmental Services, LLC to obtain any other permits or authorizations that may be necessary. If you have any questions regarding this matter, please contact Jim Stump, Environmental Engineer Senior at (276) 676-4856.

Sincerely,



Dallas R. Sizemore  
Deputy Regional Director

Attachments

C: Linda Stull, SWRO



# COMMONWEALTH of VIRGINIA

DEPARTMENT OF ENVIRONMENTAL QUALITY  
SOUTHWEST REGIONAL OFFICE

Preston Bryant  
Secretary of Natural Resources

Mailing Address: P.O. Box 1688, Abingdon, Virginia 24212-1688  
Street Address: 355 Deadmore Street, Abingdon, Virginia 24210  
(276) 676-4800 Fax (276) 676-4899  
[www.deq.virginia.gov](http://www.deq.virginia.gov)

David K. Paylor  
Director

Michael D. Overstreet  
Regional Director

June 2, 2006

Mr. Ronald S. Potter  
President  
MXI Environmental Services, LLC  
297 Zimmerman Lane  
Langhorne, PA 19047

RE: MXI Environmental Services, LLC, Material Recovery Facility  
Permit-by-Rule #180  
Permit Amendment  
Washington County, Virginia

Dear Mr. Potter,

The Department has received your letter requesting an amendment to the Permit-by-Rule for the Material Recovery Facility located in Washington County. The letter requests a change in the operating plan as presented on page 37, pages 61 and 62 of Attachment 1 and page 84 of Attachment 3. The amendment also request an increase in the capacity to 300 ton per week. The Materials Recovery Facility is located on approximately 6.5 acres off State Route 879.

Attached to this letter are two documents, which must not be separated from this letter for compliance purposes. The two documents are:

**ATTACHMENT I: CONDITIONS OF THE PERMIT-BY-RULE STATUS**

**ATTACHMENT II: FACILITY DESCRIPTION**

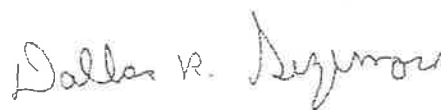
The purposes of this letter are to acknowledge receipt of the documentation submitted in accordance with the requirements of 9 VAC 20-80-485.A.8 of the *Virginia Solid Waste Management Regulations* (VSWMR, 9 VAC 20-80-10, et seq.) for Permit-by-Rule facilities, and to notify you that the amended Permit-by-Rule #180 is approved. Please note, however, that in accordance with 9 VAC 20-80-485.A.6, and the attached "Conditions of the Permit-by-Rule Status," the Director may require changes in the documents designed to assure compliance with

MXI Environmental Services, LLC  
Permit By Rule #180  
Page 2

the standards of VSWMR Parts VI and VII, if applicable. Should such changes be accomplished by the facility owner or operator, the Director may require the owner or operator to submit the full application and to obtain a regular solid waste management facility permit.

Please note that it is the responsibility of MXI Environmental Services, LLC to obtain any other permits or authorizations that may be necessary. If you have any questions regarding this matter, please contact Jim Stump, Environmental Engineer Senior, at (276) 676-4856.

Sincerely,



Dallas R. Sizemore  
Deputy Regional Director

Attachments:

C: Willard Keene, SWRO, letter only  
Stacy Bowers, SWRO, letter only  
Permit File PBR #180



# COMMONWEALTH of VIRGINIA

Doug Domenech  
Secretary of Natural Resources

DEPARTMENT OF ENVIRONMENTAL QUALITY  
SOUTHWEST REGIONAL OFFICE  
355 Deadmore Street, PO Box 1688, Abingdon, Virginia 24212  
Phone (276) 676-4800 Fax (276) 676-4899  
www.deq.virginia.gov

David K. Paylor  
Director

Dallas R. Sizemore  
Regional Director

July 11, 2011

Mr. Ronald Potter  
MXI Environmental Services  
26319 Old Trail Road  
Abingdon, Virginia 24210

RE: MXI Environmental Services- MRF  
Permit-by-Rule #180  
Permit Modification  
Washington County, Virginia

Dear Mr. Potter:

The Department has received a notice of intent and application to operate a Material Recovery Facility located at 26319 Old Trail Road, Abingdon, VA.

Attached to this letter are two documents, which must not be separated from this letter for compliance purposes. The two documents are:

ATTACHMENT I: CONDITIONS OF THE PERMIT-BY-RULE STATUS

ATTACHMENT II: FACILITY DESCRIPTION

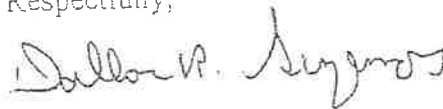
The purpose of this letter is to acknowledge receipt of the documentation submitted in accordance with the requirements of 9 VAC 20-81-410.A.2 for Permit-by-Rule facilities. In accordance with 9 VAC 20-81-410.A.4, this facility is deemed to have permit-by-rule status. The reference number for this facility is Permit-By-Rule Number 180. Please note, however, that in accordance with 9 VAC 20-81-410.A.5, and the attached "Conditions of the Permit-by-Rule Status," the Director may require changes in the documents designed to assure compliance with the standards of the VSWMR. Should such changes not be accomplished by the facility owner or operator, the Director may require the owner or operator to submit the full application and to obtain a regular solid waste management facility permit.

In addition, with the acknowledgement of this permit the facility is required to comply with the following annual requirements:

1. The facility shall maintain records of self-inspections, facility monitoring, and receipt of unauthorized waste in accordance with 9 VAC 20-81-350.
2. The facility is required to follow the reporting requirements of 9 VAC 20-81-530.C., which includes written notification of any planned physical alterations (C.1) and notification, orally within 24 hours and written within 5 days, of any noncompliance or unusual condition which may endanger health or the environment (such as receipt of hazardous waste, facility fires, etc) (C.3).
3. Submission of the Solid Waste Information and Assessment (SWIA) 50-25 Form in accordance with 9 VAC 20-81-80 by March 31<sup>st</sup> of each year. This form can be found online at [www.deq.virginia.gov/waste/wasteinf.html](http://www.deq.virginia.gov/waste/wasteinf.html).
4. The facility is responsible for paying an annual fee to the Department of Environmental Quality by October 1<sup>st</sup> of each year. The fee amount is determined based upon the facility's annual tonnage as recorded on the SWIA 50-25 Form in accordance with 9 VAC 20-90-130.
5. The facility shall review and certify its Operations Manual is consistent with current facility operations and regulatory requirements annually, by December 31<sup>st</sup> of each calendar year. These certifications shall be maintained in the facility's operating record.
6. The facility is required to adjust the estimated closure cost amount annually for inflation 60 days prior to the anniversary date of the establishment of the financial mechanism in accordance with 9 VAC 20-70-10, *et seq.*

Please note that it is the responsibility of MXI Environmental Services, Inc. to obtain any other permits or authorizations that may be necessary. If you have any questions regarding this matter, please contact Daniel P. Scott, Environmental Engineer Senior, at (276) 676-4866.

Respectfully,



Dallas Sizemore  
Regional Director  
Southwest Regional Office

#### Attachments

c: Kathryn Perszyk – DEQ, Solid Waste Permit Coordinator (letter only)  
Suzanne Taylor – DEQ, Financial Assurance (letter only)  
Daniel Scott, SW Regional Office  
File PBR 180



REC'D JUL 18 2016

## COMMONWEALTH of VIRGINIA

### DEPARTMENT OF ENVIRONMENTAL QUALITY

#### SOUTHWEST REGIONAL OFFICE

355-A Deadmore Street, Abingdon, Virginia 24210

Phone (276) 676-4800 Fax (276) 676-4899

[www.deq.virginia.gov](http://www.deq.virginia.gov)

Molly Joseph Ward  
Secretary of Natural Resources

David K. Paylor  
Director

Allen J. Newman, P.E.  
Regional Director

July 15, 2016

Mr. Jonathan Linder  
MXI Environmental Services  
26319 Old Trail Road  
Abingdon, Virginia 24210

RE: MXI Environmental Services - MRI  
Permit-by-Rule #180  
Permit Update  
Washington County, Virginia

Dear Mr. Linder:

The Department has received your request to update Permit-by-Rule 180 for the MXI Materials Recovery Facility located at 26319 Old Trail Road, Abingdon, Virginia. The request and associated revised documentation was received July 1, 2016 relating to the proposed update. The update includes a modification to the Site Plan and the MRF Layout to include four (4) static storage trailers with concrete pads and access walkways adjacent to the building and reorganization of the Universal Waste (UW) within the building.

Attached to this letter are two documents that have been modified and must not be separated from this letter for compliance purposes. The two documents are:

ATTACHMENT I: CONDITIONS OF THE PERMIT-BY-RULE STATUS

ATTACHMENT II: FACILITY DESCRIPTION

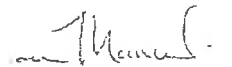
The purpose of this letter is to acknowledge receipt of the revised documentation submitted in accordance with the requirements of 9 VAC 20-81-410.A.6. for Permit-by-Rule modifications. In accordance with 9 VAC 20-81-410.A.4. this facility continues to operate under permit-by-rule status. With this modification, Attachments I and II have been revised and enclosed. Please insert the revised Attachments and submitted documentation into all copies of Permit-by-Rule 180 along with this letter to document the modification. Please note, however, that in accordance with 9 VAC 20-81-410.A.5., and the attached "Conditions of the Permit-by-Rule Status," the Director may require changes in the documents designed to assure compliance with the standards of the VSWMR. Should such changes not be accomplished by the facility owner or operator, the Director may require the owner or operator to submit the full application and to obtain a regular solid waste management facility permit.

In addition, with the acknowledgement of this permit modification, the facility is required to comply with the following requirements:

1. The facility shall maintain records of self-inspections, facility monitoring, and receipt of unauthorized waste in accordance with 9 VAC 20-81-350.
2. The facility is required to follow the reporting requirements of 9 VAC 20-81-530.C., which includes written notification of any planned physical alterations (C.1) and notification, orally within 24 hours and written within 5 days, of any noncompliance or unusual condition which may endanger health or the environment (such as receipt of hazardous waste, facility fires, etc) (C.3).
3. Submission of the Solid Waste Information and Assessment (SWIA) 50-25 Form in accordance with 9 VAC 20-81-80 by March 31<sup>st</sup> of each year. This form can be found online at <https://node.deq.virginia.gov/SWIAWebApp/login.jsp>.
4. The facility is responsible for paying an annual fee to the Department of Environmental Quality by October 1<sup>st</sup> of each year. The fee amount is determined based upon the procedures outlined in 9 VAC 20-90-115.
5. The facility shall review and certify its Operations Manual is consistent with current facility operations and regulatory requirements annually, by December 31<sup>st</sup> of each calendar year. These certifications shall be maintained in the facility's operating record.
6. The facility is required to adjust the estimated closure cost amount annually for inflation 60 days prior to the anniversary date of the establishment of the financial mechanism in accordance with 9 VAC 20-70-10, *et seq.*

Please note that it is the responsibility of MXI Environmental Services, Inc. to obtain any other permits or authorizations that may be necessary. If you have any questions regarding this matter, please contact Daniel P. Scott, Environmental Engineer Senior, at (276) 676-4866.

Respectfully,



Daniel Manweiler  
Land Protection Manager  
Southwest Regional Office

Attachments

- cc: Kathryn Perszyk – DEQ, Solid Waste Permit Coordinator (letter only)
- Daniel Scott – SWRO Permits
- Stephan Martin – SWRO Inspections
- Justen Dick – SWRO HW Inspections
- File PBR 180

## ATTACHMENT I CONDITIONS OF THE PERMIT-BY-RULE STATUS

### I. CHANGE OF OWNERSHIP

A permit-by-rule may not be transferred by the permittee to a new owner or operator. However, when the property transfer takes place without proper closure, the new owner shall notify the Department of the sale and fulfill all the requirements contained in 9 VAC 20-81-410.A.2.a. through 9 VAC 20-81-410.A.2.k. of the Virginia Solid Waste Management Regulations (VSWMR, 9 VAC 20-81-10, *et seq.*). Upon presentation of the financial assurance proof required by the Financial Assurance Regulations for Solid Waste Facilities (9 VAC 20-70-10, *et seq.*) by the owner, the Department will release the old owner from his closure and financial responsibilities and acknowledge the new permit-by-rule in the name of the new owner.

### II. FACILITY MODIFICATIONS

The owner or operator of a facility operating under a permit-by-rule may modify its design and operation by furnishing the Department a new design and construction certificate prepared by the professional engineer and an operations manual certificate. Whenever modifications in the design or operation of the facility affect the provisions of the approved closure plan, the owner or operator shall also submit an amended closure plan certificate signed by a professional engineer.

### III. LOSS OF PERMIT-BY-RULE STATUS

In the event that a facility operating under a permit-by-rule violates any applicable siting, design and construction, or closure provisions of 9 VAC 20-81-320, 9 VAC 20-81-330, or 9 VAC 20-81-360, respectively, the owner or operator of the facility will be considered to be operating an unpermitted facility as provided for in 9 VAC 20-81-45 of the VSWMR and shall be required to either obtain a new permit as required by Part V [9 VAC 20-81-400, *et seq.*] or close under Part III [9 VAC 20-81-100, *et seq.*] or IV [9 VAC 20-81-300, *et seq.*] of these regulations, as applicable.

### TERMINATION

The Director shall terminate permit-by-rule and shall require closure of the facility whenever he finds that:

- a. As a result of changes in key personnel, the requirements necessary for a permit-by-rule are no longer satisfied;
- b. The applicant has knowingly or willfully misrepresented or failed to disclose a material fact in his disclosure statement, or any other report or certification required under this regulation, or has knowingly or willfully failed to notify the Director of any material change to the information in the disclosure statement;

- c. Any key personnel have been convicted of any of the crimes listed in § 10.1-1409 of the Code of Virginia, punishable as felonies under the laws of the Commonwealth or the equivalent of them under the laws of any other jurisdiction; or have been adjudged by an administrative agency or a court of competent jurisdiction to have violated the environmental protection laws of the United States, the Commonwealth or any other state and the Director determines that such conviction or adjudication is sufficiently probative of the permittee's inability or unwillingness to operate the facility in a lawful manner.
- d. The operation of the facility is inconsistent with the facility's operations manual and/or the operational requirements of the regulations.

#### V. CERTIFIED OPERATOR

In accordance with the Virginia Waste Management Act (Title 10.1, Chapter 14 of the Code of Virginia), § 10.1-1408.2, this facility must employ a facility operator licensed by the Board of Waste Management Facility Operators (Licensing Regulations, 18 VAC 155-20-10 *et seq.*).

#### VI. RIGHT OF APPEAL

As provided by Rule 2A:2 of the Supreme Court of Virginia, you have 30 days from the date of the service of this decision to initiate an appeal of this decision, by filing notice with:

David K. Paylor, Director  
Virginia Department of Environmental Quality  
ATTN: Office of Waste Permitting & Compliance  
Post Office Box 1105  
Richmond, Virginia 23218

In the event this decision is served to you by mail, three days will be added to that period. Please refer to Part Two of the rules of the Supreme Court of Virginia, which describes the required content of the Notice of Appeal, including specification of the Circuit Court to which the appeal is taken, and additional requirements governing appeals from decisions of administrative agencies.

#### VII. SITE SPECIFIC CONDITIONS

- a. The Hazardous Waste Area delineated on the Site Plan is not included with this permit-by-rule and no materials approved for acceptance with this permit-by-rule shall be stored or handled in this area at any time.
- b. When Universal Waste (UW) is present in the delineated area shown on the plan on the Site Plan, the area should be properly contained and marked with signage as such. In addition when UW are present in the delineated area shown on the Site Plan, no materials approved for acceptance with this permit-by-rule shall be stored or handled in this area.
- c. The sign located at the access point(s) should include but is not limited to facility name, facility address, contact number(s), and hours of operation.
- d. The static storage trailers shall be regularly inspected for leakage and proper containment per the Operations Manual requirements appropriate to the material type stored.

ATTACHMENT II  
FACILITY DESCRIPTION

COMMONWEALTH OF VIRGINIA  
DEPARTMENT OF ENVIRONMENTAL QUALITY  
DIVISION OF LAND PROTECTION & REVITALIZATION  
OFFICE OF WASTE PERMITTING & COMPLIANCE  
Permit-By-Rule #180

Facility Name: MXI Environmental Services LLC

Facility Type: Materials Recovery Facility

Site Location: Washington County, Virginia

Latitude: 36°44'18" North  
Longitude: 81°54'03" West

**Location Description:** The facility is located at 26319 Old Trail Road in the Town of Abingdon, Washington County. Access is provided by a paved access road. The materials recovery facility is located on a paved state access road (SR 879) with an operations area of approximately 6.5 acres. The entrance to the facility is located on State Route 879, Old Trail Road, and approximately 0.5 miles southeast from SR 609. Two gates and a perimeter fence are utilized to limit access to the facility. The access pad is concrete and the site contains a suitable all-weather surface. Adequate queuing and parking capacity is available at the facility.

**Background:** The facility is owned and operated by MXI Environmental Services. The facility serves as a central delivery point for non-hazardous solid waste and recyclable material collected by MXI Environmental Services LLC. The facility consists of an office, vehicle repair garage, and operations building. The MRF permitted area includes the Operation Building which consists of a single story metal building with concrete floors. The operation consists of receiving non-hazardous solid waste material that have been collected at the point of generation by MXI vehicles and are packaged either in USDOT-approved shipping containers (drums or carton) or in palletized loads. The incoming collection vehicles contain mixed loads of different categories of containerized wastes. The incoming waste will be sorted at the facility into three waste streams: material to be recycled; material suitable for use as fuel substitutes in approved incinerators; and, material to be disposed of as waste in a permitted landfill. The waste will be unloaded from the collection vehicles, processed or stored in tanks at the facility, and loaded into haulage vehicles for transportation to the appropriate final destination. Four (4) static storage trailers are located to the north northeast of the building for storage of segregated household hazardous waste (HHW), see figures 1 & 2. This facility has a maximum capacity of 600 tons per week. The hours of operation for the facility are 6am till 12am 7 days per week.

**Modification Highlights:** The permit-by-rule has been modified to include the following:

- A. Increase of the permitted capacity from 300 tons/week to 600 tons/week
- B. Site Plan updated to Revisions 02/02/2011.
- C. Operations Plan – Sheets 37 & 48 (revised 5/24/11)
- D. Attachment 3 (revised 05/01/11) – List of Contracted Facilities
- E. Attachment 7 – Adverse Closure Cost (revised 05/2011)
- F. Attachment 8 - Addition to Processing Equipment (revised 05/01/11)
- G. Attachment 9 - Addition to Processing Equipment (revised 05/01/11)
- H. Attachment 10 - Addition to Processing Equipment (revised 05/01/11)
- I. Attachment 11 – Addition of four (4) Static Storage Trailers with concrete pads and pathways and relocation of Universal Waste (UW) from the northeast corner of the building to the southwest corner of the building (revised 06/20/16 – update only).

**Update Submission Highlights:** The Department is in receipt of the following documents for this update (non-process non-modification):

- A. Attachment 11 Request – Dated June 29, 2016
- B. Attachment 11 figure 1 – As-built Site Map
- C. Attachment 11 figure 1 – Proposed MRF Layout UW and HHW (Aerosol, Propane, Oxidizing Solid, and Reactive Solid Storage Trailers)

**Modification Submission Highlights (2011)** The Department is in receipt of the following documents:

- A. A document signed by Ronald Potter dated July 7, 2011 certifying that the facility has an operations manual that conforms to the standards of 9 VAC 20-81-340. This is a required submission in accordance with 9 VAC 20-81-410 A.2.d.
- B. A document signed by C. Donald Evans, Jr., a professional engineer, dated May 11, 2011 certifying that the facility has been designed and constructed in accordance with the standards of 9 VAC 20-81-330. This is a required submission in accordance with 9 VAC 20-81-410 A 2.e.(1)
- C. A document signed by C. Donald Evans, Jr., a professional engineer, dated May 11, 2011 certifying that the facility has a closure plan that conforms to the standards of 9 VAC 20-81-360. This is a required submission in accordance with 9 VAC 20-81-410.A 2 e.(2).
- D. A copy of a lease demonstrating MXI Environmental Services has legal control over the site. This is a required submission under 9 VAC 20-81-410.A.2 f
- E. Certification from the State Corporation Commission for MXI Environmental Services. This is a required submission under 9 VAC 20-81-410.A.2.g.
- F. Financial Assurance in the amount of \$110,000 has been provided in the form of an increase in the Closure Bond from \$91,000 to \$110,000. This is a required submission in accordance with 9 VAC 20-81-410.A 2.h
- G. Payment of the permit application fee in accordance with 9 VAC 20-81-410 A.2 k.

**Previous Submission Highlights:** The Department was in receipt of previous applications and modifications that contained the following documents:

1. A notice of intent submitted by Mr. Ronald Potter, President of MXI Environmental Services LLC, and dated November 10, 2001. A Disclosure Statement signed by Mr. Potter, and dated July 11, 2002. A local certification dated September 18, 2000, and signed by Mr. Mark Reeter, Washington County Administrator. The above documents contained in Item A of the report are in accordance with 9 VAC 20-80-500.B of the Virginia Solid Waste Management Regulations (VSWMR, 9 VAC 20-80-10, et seq.);
2. A Site Location Map, dated May 20, 2002, and Facility Site Plan, dated July 3, 2002 (See Item A and Final Page of Operations Plan, respectively);
3. Certification signed by Mr. Robert H. Taylor, P.E., certifying that the facility meets the DEQ waste management siting standards of 9 VAC 20-80-360.B. This is a required submission in accordance with 9 VAC 20-80-485.A.2.b.;
4. Certification signed and stamped by Mr. Robert H. Taylor, P.E., of R.D. Designs, Inc. certifying that the facility has been designed and constructed in accordance with the standards of 9 VAC 20-80-360.C. (See Item B). This is a required submission in accordance with 9 VAC 20-80-485.A.2.c.;
5. A new certification dated 6/30/2005 by Mr. Robert H. Taylor P.E. certifying that the addition Attachment 9 complies with the design and construction of the facility in accordance with the standards of 9 VAC 20-80-360 C and the required submission with 9 VAC 20-80-485 A.8.;
6. An operations plan which meets the requirements of 9 VAC 20-80-360.D. (See Item D with Attachments 1-5). This is a required submission in accordance with 9 VAC 20-80-485.A.2.d.;
7. A closure plan which meets the requirements of 9 VAC 20-80-360.E. (See Item E). This is a required submission in accordance with 9 VAC 20-80-485.A.2.e.;
8. A proof of financial responsibility which meets the requirements of the Financial Assurance Regulations for Solid Waste Facilities, 9 VAC 20-70-10, et seq. This is a required submission in accordance with 9 VAC 20-80-485.A.2.f., (See Item F).
9. Public participation documents which resulted from the public participation effort, in accordance with 9 VAC 20-80-485.A.5. This is a required submission in accordance with 9 VAC 20-80-485.A.2.g. The advertisement was published in the local newspaper, "The Bristol Herald Courier" on June 8, 2000. The public meeting was held on June 28, 2000 at the Maumee Express offices at 17600 Jeb Stuart Highway, Abingdon, VA 24211. No comments regarding the technical merit of the facility were received (See Attachment G).

**AS BUILT SITE**  
**THE POTTER HEALY CO. LLC, LAND**  
 THIS AS-BUILT SITE PLAN OF THE POTTER HEALY CO. LLC, LAND  
 SHOWS THE BUILDING FOOTPRINTS, DRIVEWAYS, AND  
 LANDSCAPE FEATURES AS THEY EXIST ON THE DATE OF  
 THIS AS-BUILT SITE PLAN. THE AS-BUILT SITE PLAN IS  
 A TRUE AND CORRECT COPY OF THE ORIGINAL AS-BUILT  
 SITE PLAN.

7,500 SQ. FT.  
 0.17 AC.  
 15' WIDE DRIVEWAY  
 15' WIDE DRIVEWAY  
 15' WIDE DRIVEWAY

CONCRETE DRIVEWAY

POTTER HEALY CO. LLC  
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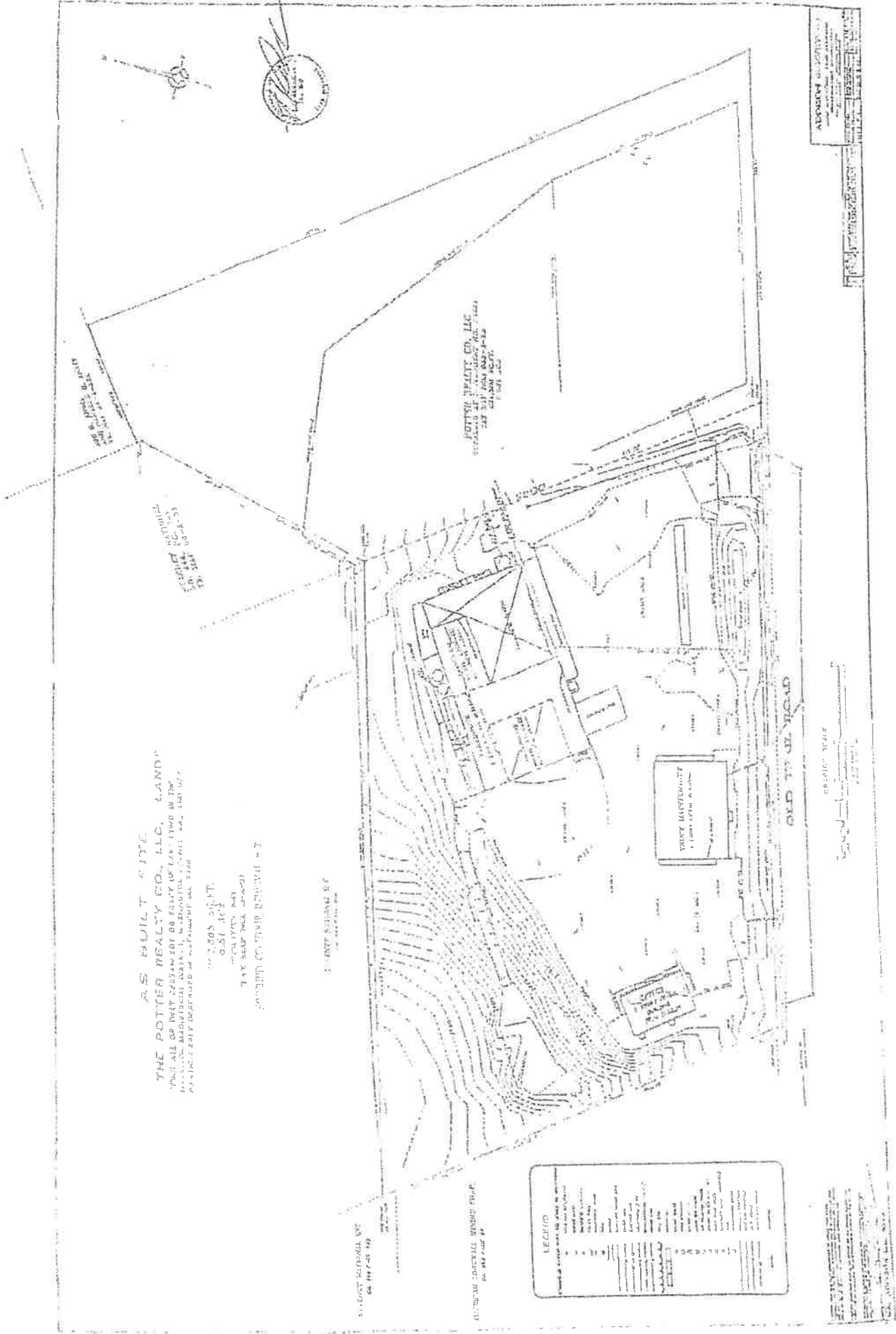
**LEGEND**

Symbol	Description
---	Proposed Driveway
---	Proposed Walkway
---	Proposed Utility Line
---	Proposed Erosion Control
---	Proposed Retention Wall
---	Proposed Stormwater Management
---	Proposed Landscaping
---	Proposed Fencing
---	Proposed Signage
---	Proposed Security
---	Proposed Access
---	Proposed Egress
---	Proposed Fire
---	Proposed Hazard
---	Proposed Other

**OLD TOWN ROAD**

CREATED BY  
 DATE

DATE	DESCRIPTION





# COMMONWEALTH of VIRGINIA

Matthew J. Strickler  
Secretary of Natural Resources

DEPARTMENT OF ENVIRONMENTAL QUALITY  
SOUTHWEST REGIONAL OFFICE  
355-A Deadmore Street, Abingdon, Virginia 24210  
Phone (276) 676-4800 Fax (804) 698-4178  
www.deq.virginia.gov

David K. Paylor  
Director

Jeffrey Hurst  
Regional Director

March 31, 2021

Mr. Brian Potter  
MXI Environmental Services LLC  
26319 Old Trail Road  
Abingdon, Virginia

RE: MXI Environmental Services MRF  
Permit-by-Rule #180  
Washington County, Virginia 24210

Dear Mr. Potter:

The Department has received the DEQ requested information to update Permit-by-Rule 180 for the MXI Environmental Services MRF located at 26319 Old Trail Road in Abingdon, Virginia. The request and associated revised documentation was received date relating to updating of the permit information and requirements to meet all applicable standards and documentation. The modification includes updates and clarifications to previous submissions and does not constitute significant changes to the facility operation or layout.

Attached to this letter are two documents that have been modified and must not be separated from this letter for compliance purposes. The two documents are:

## **ATTACHMENT I: CONDITIONS OF THE PERMIT-BY-RULE STATUS**

## **ATTACHMENT II: FACILITY DESCRIPTION**

The purpose of this letter is to acknowledge receipt of the revised documentation submitted in accordance with the requirements of 9 VAC 20-81-410.A.6. for Permit-by-Rule modifications. In accordance with 9 VAC 20-81-410.A.4. this facility continues to operate under permit-by-rule status. With this modification, Attachments I and II have been revised and enclosed. Please insert the revised Attachments and submitted documentation into all copies of Permit-by-Rule 180 along with this letter to document the modification. Please note, however, that in accordance with 9 VAC 20-81-410.A.5., and the attached "Conditions of the Permit-by-Rule Status," the Director may require changes in the documents designed to assure compliance with the standards of the VSWMR. Should such changes not be accomplished by the facility owner or operator, the Director may require the owner or operator to submit the full application and to obtain a regular solid waste management facility permit.

In addition, with the acknowledgement of this permit modification, the facility is required to comply with the following requirements:

1. The facility shall maintain records of self-inspections, facility monitoring, and receipt of unauthorized waste in accordance with 9 VAC 20-81-350.
2. The facility is required to follow the reporting requirements of 9 VAC 20-81-530.C., which includes written notification of any planned physical alterations (C.1) and notification, orally within 24 hours and written within 5 days, of any noncompliance or unusual condition which may endanger health or the environment (such as receipt of hazardous waste, facility fires, etc) (C.3).
3. Submission of the Solid Waste Information and Assessment (SWIA) 50-25 Form in accordance with 9 VAC 20-81-80 by March 31<sup>st</sup> of each year. This form can be found online at <https://node.deq.virginia.gov/SWIAWebApp/login.jsp>.
4. The facility is responsible for paying an annual fee to the Department of Environmental Quality by October 1<sup>st</sup> of each year. The fee amount is determined based upon the procedures outlined in 9 VAC 20-90-115 for MRF facilities.
5. The facility shall review and certify its Operations Manual is consistent with current facility operations and regulatory requirements annually, by December 31<sup>st</sup> of each calendar year. These certifications shall be maintained in the facility's operating record.
6. The facility is required to adjust the estimated closure cost amount annually for inflation 60 days prior to the anniversary date of the establishment of the financial mechanism in accordance with 9 VAC 20-70-10, *et seq.*

Please note that it is the responsibility of the Owner to obtain any other permits or authorizations that may be necessary. If you have any questions regarding this matter, please contact Daniel P. Scott, PE Environmental Engineer Senior, at (276) 676-4866 or email at [daniel.scott@deq.virginia.gov](mailto:daniel.scott@deq.virginia.gov).

Respectfully,



Daniel Manweiler  
DEQ-SWRO Land Protection Manager

#### Attachments

c: Kathryn Perszyk – DEQ-CO - Solid Waste Permit Coordinator  
Suzanne Taylor – DEQ-CO - Financial Assurance  
Daniel Scott - DEQ-SWRO – Solid Waste Permits  
Stephan Martin – DEQ-SWRO – Solid Waste Inspections

- c. Any key personnel have been convicted of any of the crimes listed in § 10.1-1409 of the Code of Virginia, punishable as felonies under the laws of the Commonwealth or the equivalent of them under the laws of any other jurisdiction; or have been adjudged by an administrative agency or a court of competent jurisdiction to have violated the environmental protection laws of the United States, the Commonwealth or any other state and the Director determines that such conviction or adjudication is sufficiently probative of the permittee's inability or unwillingness to operate the facility in a lawful manner.
- d. The operation of the facility is inconsistent with the facility's operations manual and/or the operational requirements of the regulations.

#### V. CERTIFIED OPERATOR

In accordance with the Virginia Waste Management Act (Title 10.1, Chapter 14 of the Code of Virginia), § 10.1-1408.2, this facility must employ a facility operator licensed by the Board of Waste Management Facility Operators (Licensing Regulations, 18 VAC 155-20-10 *et seq.*).

#### VI. RIGHT OF APPEAL

As provided by Rule 2A:2 of the Supreme Court of Virginia, you have 30 days from the date of the service of this decision to initiate an appeal of this decision, by filing notice with:

David K. Paylor, Director  
Virginia Department of Environmental Quality  
ATTN: Office of Waste Permitting & Compliance  
Post Office Box 1105  
Richmond, Virginia 23218

In the event this decision is served to you by mail, three days will be added to that period. Please refer to Part Two of the rules of the Supreme Court of Virginia, which describes the required content of the Notice of Appeal, including specification of the Circuit Court to which the appeal is taken, and additional requirements governing appeals from decisions of administrative agencies.

## ATTACHMENT I CONDITIONS OF THE PERMIT-BY-RULE STATUS

### I. CHANGE OF OWNERSHIP

A permit-by-rule may not be transferred by the permittee to a new owner or operator. However, when the property transfer takes place without proper closure, the new owner shall notify the Department of the sale and fulfill all the requirements contained in 9 VAC 20-81-410.A.2.a. through 9 VAC 20-81-410.A.2.k. of the Virginia Solid Waste Management Regulations (VSWMR, 9 VAC 20-81-10, *et seq.*). Upon presentation of the financial assurance proof required by the Financial Assurance Regulations for Solid Waste Facilities (9 VAC 20-70-10, *et seq.*) by the owner, the Department will release the old owner from his closure and financial responsibilities and acknowledge the new permit-by-rule in the name of the new owner.

### II. FACILITY MODIFICATIONS

The owner or operator of a facility operating under a permit-by-rule may modify its design and operation by furnishing the Department a new design and construction certificate prepared by the professional engineer and an operations manual certificate. Whenever modifications in the design or operation of the facility affect the provisions of the approved closure plan, the owner or operator shall also submit an amended closure plan certificate signed by a professional engineer.

### III. LOSS OF PERMIT-BY-RULE STATUS

In the event that a facility operating under a permit-by-rule violates any applicable siting, design and construction, or closure provisions of 9 VAC 20-81-320, 9 VAC 20-81-330, or 9 VAC 20-81-360, respectively, the owner or operator of the facility will be considered to be operating an unpermitted facility as provided for in 9 VAC 20-81-45 of the VSWMR and shall be required to either obtain a new permit as required by Part V [9 VAC 20-81-400, *et seq.*] or close under Part III [9 VAC 20-81-100, *et seq.*] or IV [9 VAC 20-81-300, *et seq.*] of these regulations, as applicable.

### IV. TERMINATION

The Director shall terminate permit-by-rule and shall require closure of the facility whenever he finds that:

- a. As a result of changes in key personnel, the requirements necessary for a permit-by-rule are no longer satisfied;
- b. The applicant has knowingly or willfully misrepresented or failed to disclose a material fact in his disclosure statement, or any other report or certification required under this regulation, or has knowingly or willfully failed to notify the Director of any material change to the information in the disclosure statement;

## ATTACHMENT II FACILITY DESCRIPTION

COMMONWEALTH OF VIRGINIA  
DEPARTMENT OF ENVIRONMENTAL QUALITY  
DIVISION OF LAND PROTECTION & REVITALIZATION  
OFFICE OF WASTE PERMITTING & COMPLIANCE  
Permit-By-Rule #180

**Facility Name:** MXI Environmental Services

**Facility Type:** Materials Recovery

**Latitude:** 36°44'18" North

**Site Location:** Washington County, Virginia

**Longitude:** 81°54'03" West

**Location Description:** The facility is located at 26319 Old Trail Road in the Town of Abingdon, Washington County. Access is provided by a paved access road. The materials recovery facility is located on a paved state access road (SR 879) with a total site of 14 acres and a permitted operations area of approximately 1.0 acres. The entrance to the facility is located on State Route 879, Old Trail Road, and approximately 0.5 miles southeast from SR 609. Two gates and a perimeter fence are utilized to limit access to the facility. The access pad is concrete and the site contains a suitable all-weather surface. Adequate queuing and parking capacity is available at the facility.

**Background:** The facility is owned Potter Realty Company and operated by MXI Environmental Services, LLC. The facility serves as a central delivery point for non-hazardous solid waste and recyclable material collected by MXI Environmental Services LLC, Maumee Express, and other private deliveries. The facility consists of an office, vehicle repair garage, and operations building. The MRF permitted area includes the Operation Building which consists of a single story metal building with concrete floors.

The operation consists of receiving non-hazardous solid waste material that have been collected at the point of generation by MXI vehicles and are packaged either in USDOT-approved shipping containers (drums or carton) or in palletized loads. The incoming collection vehicles contain mixed loads of different categories of containerized wastes. The incoming waste will be sorted at the facility into three waste streams: material to be recycled; material suitable for use as fuel substitutes in approved incinerators; and, material to be disposed of as waste in a permitted landfill. The waste will be unloaded from the collection vehicles, processed or stored in totes at the facility, and loaded into haulage vehicles for transportation to the appropriate final destination.

Processing includes stripping of packaging, venting of aerosols, consolidation of liquids for additional use or disposal, and solidification/mixing of waste liquids and solids to meet appropriate handling and disposal standards for receipt by a permitted solid waste landfill facility.

Seven (7) storage trailers are located to the north northeast of the building for storage of segregated flammable wastes and aerosols. All storage is under cover and protected from run on and run off. Access and transfer areas are concrete surfaced

All spillage or washwater that free flow are conveyed by trench drain from the upper level to the lower lever and then collected at the lower trench drain and conveyed by pipe to a 10,000 gallon secondary containment tank located at the south southwest corner of the building. This tank is checked daily and is periodically pumped and hauled for proper disposal.

The facility may accept delivery of petroleum contaminated soils for testing and subsequent offsite disposal at recycling or landfill. Storage must remain under cover, on an impervious surface, and be protected from all run-on or run-off.

Prior to acceptance, the facility ensures that accurate waste determinations/characterizations have been made (per 40 CFR 262.11 as referenced by 9 VAC 20-60-260) for all incoming wastes in order to ensure wastes are properly managed according to the Virginia Hazardous Waste Management Regulations as set forth at 9 VAC 20-60-12 et seq. and certain provisions adopted by reference of Title 40 of the Code of Federal Regulations Hazardous Waste Management Regulations. A portion of the MRF facility layout is occasionally utilized as a 10 day Hazardous Waste Transfer Site and designated on the site plan for this use. Signage segregating the area shall be utilized when in use. The facility will ensure that hazardous wastes are not impermissibly mixed with other excluded non-hazardous wastes such as HHW. Any comingling of hazardous waste with solid waste shall render the entire waste to be considered hazardous waste and must be reported, handled, and disposed of as such.

This facility has a process rate of 85 tons per day (600 tons/7 day week). The hours of operation for the facility are 6am till 12am, 7 days per week.

**Submission Highlights:** The Department is in receipt of DEQ Form PBR signed by Brian Potter on March 3, 2021. The following documents comprise the Permit-by-Rule submittal:

- A. A notice of intent with area and site location maps provided in the original submission. Site map has been updated for this submission. A notarized disclosure statement has been updated periodically. A local government certification dated August 4, 2000, and signed by Mark Reeter, County Administrator for Washington County was previously received. These documents are in accordance with 9 VAC 20-81-450.B., and are required submissions under 9 VAC 20-81-410.A.2.a. and 9 VAC 20-81-410.A.2.c.
- B. A document signed by C. Donald Evans, Jr., a professional engineer, dated May 11, certifying that the facility conforms to the siting standards of 9 VAC 20-81-320. This is a required submission in accordance with 9 VAC 20-81-410.A.2.b.
- C. A document signed by Ronald Potter dated July 7, 2011 certifying that the facility has an

- operations manual that conforms to the standards of 9 VAC 20-81-340. The Operations Manual is updated and certified each year. This is a required submission in accordance with 9 VAC 20-81-410.A.2.d.
- D. A document signed by C. Donald Evans, Jr., a professional engineer, dated May 11, 2011 certifying that the facility has been designed and constructed in accordance with the standards of 9 VAC 20-81-330. This is a required submission in accordance with 9 VAC 20-81-410.A.2.e.(1).
- E. A document signed by C. Donald Evans, Jr., a professional engineer, dated May 11, certifying that the facility has a closure plan that conforms to the standards of 9 VAC 20-81-360. A closure plan has been updated per this submission. This is a required submission in accordance with 9 VAC 20-81-410.A.2.e.(2).
- F. A copy of lease demonstrating the MXI Environmental has legal control over the site owned by Potter Realty Company, LLC. This is a required submission under 9 VAC 20-81-410.A.2.f.
- G. Certification of Fact from the State Corporation Commission dated March 16, 2004 that indicates the facility operator, MXI Environmental, is a valid business entity in the Commonwealth of Virginia was previously submitted. This is a required submission under 9 VAC 20-81-410.A.2.g.
- H. The cost estimate for facility closure is \$427,829.50, which covers the design throughput of 85 tons per day and temporary storage of segregated materials. Financial Assurance in the amount of \$427,829.50 has been provided in the form of a Financial Bond and was approved by the Office of Financial Assurance in a compliance letter dated March 8, 2021. This is a required submission in accordance with 9 VAC 20-81-410.A.2.h.
- I. Public participation documents which resulted from the public participation effort, in accordance with 9 VAC 20-81-410.A.3. The advertisement was published in the local newspaper, "Bristol Herald Courier" on June 8, 2000. The public meeting was held on June 28, 2000 at the Maumee Express offices at 17600 Jeb Stuart Highway, Abingdon, VA 24211. No comments regarding the technical merit of the facility were received. This is a required submission in accordance with 9 VAC 20-81-410.A.2.i.
- J. A portion of the total site is permitted separately under VADEQ Air Quality Permit – Ethanol Recovery/Distillation – Air Reg. No. 11447. See site plan for the extent of each permit.
- K. *No permit application fee required as this was an Agency initiated update.*

UNITED STATES OF AMERICA  
DEPARTMENT OF TRANSPORTATION  
PIPELINE AND HAZARDOUS MATERIALS SAFETY ADMINISTRATION



HAZARDOUS MATERIALS  
CERTIFICATE OF REGISTRATION  
FOR REGISTRATION YEAR(S) 2022-2025

Registrant: MXI ENVIRONMENTAL SERVICES LLC  
ATTN: John Brothers  
26319 OLD TRAIL ROAD  
ABINGDON, VA 24210

This certifies that the registrant is registered with the U.S. Department of Transportation as required by 49 CFR Part 107, Subpart G.

This certificate is issued under the authority of 49 U.S.C. 5108. It is unlawful to alter or falsify this document.

Reg. No: 062822550437EG Effective: July 1, 2022 Expires: June 30, 2025

HM Company ID: 97524

**Record Keeping Requirements for the Registration Program**

The following must be maintained at the principal place of business for a period of three years from the date of issuance of this Certificate of Registration:

- (1) A copy of the registration statement filed with PHMSA; and
- (2) This Certificate of Registration

Each person subject to the registration requirement must furnish that person's Certificate of Registration (or a copy) and all other records and information pertaining to the information contained in the registration statement to an authorized representative or special agent of the U. S. Department of Transportation upon request.

Each motor carrier (private or for-hire) and each vessel operator subject to the registration requirement must keep a copy of the current Certificate of Registration or another document bearing the registration number identified as the "U.S. DOT Hazmat Reg. No." in each truck and truck tractor or vessel (trailers and semi-trailers not included) used to transport hazardous materials subject to the registration requirement. The Certificate of Registration or document bearing the registration number must be made available, upon request, to enforcement personnel.

For information, contact the Hazardous Materials Registration Manager, PHH-52, Pipeline and Hazardous Materials Safety Administration, U.S. Department of Transportation, 1200 New Jersey Avenue, SE, Washington, DC 20590, telephone (202) 366-4109.



EPA

ACKNOWLEDGEMENT OF SUBSEQUENT  
NOTIFICATION OF REGULATED WASTE  
ACTIVITY (VERIFICATION)

This is to acknowledge that we have updated our records to reflect the information supplied on a Subsequent Notification of Regulated Waste Activity for the Installation located at the address shown below. This is in compliance with Section 3010 of the Resource Conservation and Recovery Act (RCRA) Your EPA Identification Number for that installation is identified below.

**Date:**

5/4/2010

**Installation Name:**

MXI Environmental Services, LLC

**EPA ID No.:**

VAR000503920

**Installation Address:**

26319 Old Trail Road  
Abingdon, VA 24210

**Contact / Mailing Address:**

Brian W. Potter  
VP Operations  
MXI Environmental Services, LLC  
26319 Old Trail Road  
Abingdon, VA 24210

**Status:**

Conditionally Exempt Small Quantity Generator (CESQG)

*[Faint, illegible text at the bottom of the page, likely bleed-through from the reverse side.]*

Dear Business Representative:

Congratulations! You are now registered with the New Jersey Division of Revenue.

Use the Taxpayer Identification Number listed above on all correspondence with the Divisions of Revenue and Taxation, as well as with the Department of Labor (if the business is subject to unemployment withholdings). Your tax returns and payments will be filed under this number, and you will be able to access information about your account by referencing it.

Additionally, please note that State law requires all contractors and subcontractors with Public agencies to provide proof of their registration with the Division of Revenue. The law also amended Section 92 of the Casino Control Act, which deals with the casino service industry.

We have attached a Proof of Registration Certificate for your use. To comply with the law, if you are currently under contract or entering into a contract with a State agency, you must provide a copy of the certificate to the contracting agency.

If you have any questions or require more information, feel free to call our Registration Hotline at (609)292-1730.

I wish you continued success in your business endeavors.

Sincerely,



James J. Fruscione  
Acting Director  
New Jersey Division of Revenue

STATE OF NEW JERSEY  
BUSINESS REGISTRATION CERTIFICATE

DEPARTMENT OF TREASURY  
DIVISION OF REVENUE  
PO BOX 252  
TRENTON, N J 08646-0252

TAXPAYER NAME:  
MXI ENVIRONMENTAL SERVICES LLC

TRADE NAME:

ADDRESS:  
27 SUTTON RD  
LEBANON NJ 08833  
EFFECTIVE DATE:

SEQUENCE NUMBER:

1224011

ISSUANCE DATE:

03/09/07

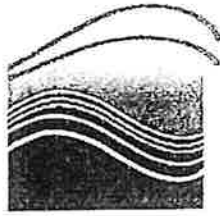
12/04/06



Acting Director  
New Jersey Division of Revenue

FORM BRC(3) (01)

This certificate is valid only if the taxpayer has filed a return and paid taxes on time. It is not valid if the taxpayer has not filed a return and paid taxes on time. It is not valid if the taxpayer has not filed a return and paid taxes on time.



Connecticut Department of

ENERGY &  
ENVIRONMENTAL  
PROTECTION

**Approval of Registration**

General Permit to Perform  
One Day Collections of Certain Wastes and Household Hazardous Waste

Registrant: MXI Environmental Services, LLC

Address: 26319 Old Trail Road, Abingdon, VA 24210-7635

The owner is hereby authorized to conduct one-day collections of household hazardous wastes, covered electronic devices or used electronics, hazardous and universal wastes from conditionally exempt small quantity generators, and sharps and pharmaceuticals from households, in accordance with the general permit re-issued by the Department on September 30, 2009.

**This registration will expire on October 14, 2024.**

January 13, 2015

Date

/s/Robert C. Isner

Robert C. Isner, Director  
Waste Engineering & Enforcement Division  
Bureau of Materials Management and  
Compliance Assurance

Application No. 201407948

Registration No. OOS-0940-HHW

UNITED STATES OF AMERICA  
DEPARTMENT OF TRANSPORTATION  
PIPELINE AND HAZARDOUS MATERIALS SAFETY ADMINISTRATION



**HAZARDOUS MATERIALS  
CERTIFICATE OF REGISTRATION  
FOR REGISTRATION YEAR(S) 2022-2025**

**Registrant:** MAUMEE EXPRESS INC  
ATTN: John Brothers  
PO BOX 278  
SOMERVILLE, NJ 08876-0278

This certifies that the registrant is registered with the U.S. Department of Transportation as required by 49 CFR Part 107, Subpart G.

This certificate is issued under the authority of 49 U.S.C. 5108. It is unlawful to alter or falsify this document.

**Reg. No: 062122550281EG    Effective: July 1, 2022    Expires: June 30, 2025**

**HM Company ID: 19696**

**Record Keeping Requirements for the Registration Program**

The following must be maintained at the principal place of business for a period of three years from the date of issuance of this Certificate of Registration:

- (1) A copy of the registration statement filed with PHMSA; and
- (2) This Certificate of Registration

Each person subject to the registration requirement must furnish that person's Certificate of Registration (or a copy) and all other records and information pertaining to the information contained in the registration statement to an authorized representative or special agent of the U. S. Department of Transportation upon request.

Each motor carrier (private or for-hire) and each vessel operator subject to the registration requirement must keep a copy of the current Certificate of Registration or another document bearing the registration number identified as the "U.S. DOT Hazmat Reg. No." in each truck and truck tractor or vessel (trailers and semi-trailers not included) used to transport hazardous materials subject to the registration requirement. The Certificate of Registration or document bearing the registration number must be made available, upon request, to enforcement personnel.

For information, contact the Hazardous Materials Registration Manager, PHH-52, Pipeline and Hazardous Materials Safety Administration, U.S. Department of Transportation, 1200 New Jersey Avenue, SE, Washington, DC 20590, telephone (202) 366-4109.

07/26/16

taxpayer Identification# 221-726-110/000

Dear Business Representative:

Congratulations! You are now registered with the New Jersey Division of Revenue.

Please use the Taxpayer Identification Number listed above on all correspondence with the Divisions of Revenue and Taxation, as well as with the Department of Labor (if the business is subject to unemployment withholdings). Your tax returns and payments will be filed under this number, and you will be able to access information about your account by referencing it.

In addition, please note that State law requires all contractors and subcontractors with Public Agencies to provide proof of their registration with the Division of Revenue. The law also amended Section 92 of the Casino Control Act, which deals with the casino service industry.

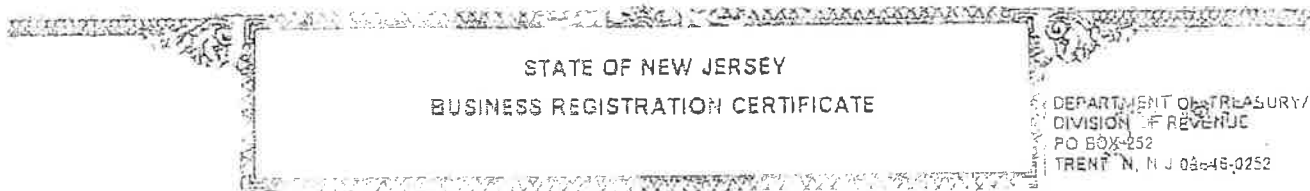
We have attached a Proof of Registration Certificate for your use. To comply with the law, if you are currently under contract or entering into a contract with a State agency, you must provide a copy of the certificate to the contracting agency.

If you have any questions or require more information, feel free to call our Registration Hotline at (908)292-9292.

We wish you continued success in your business endeavors.

Sincerely,

James J. Fruscione  
Director  
New Jersey Division of Revenue



TAXPAYER NAME:

LAUMEE EXPRESS, INC.

TRADE NAME:

ADDRESS:

7 SUTTON RD.  
EBANON NJ 08033-4309  
EFFECTIVE DATE:

SEQUENCE NUMBER:

0401953

ISSUANCE DATE:

07/26/16

1/22/16

  
Director  
New Jersey Division of Revenue

INTERSTATE COMMERCE COMMISSION

SERVICE DATE

PERMIT \*

FEB 24 1992

No. MC 202190 (Sub 2)

MAUMEE EXPRESS, INC.  
MARTINSVILLE, NJ

This Permit is evidence of the carrier's authority to engage in transportation as a contract carrier by motor vehicle.

This authority will be effective as long as the carrier maintains compliance with the requirements pertaining to insurance coverage for the protection of the public (49 CFR 1043); the designation of agents upon whom process may be served (49 CFR 1044); the execution of contracts (49 CFR 1053)<sup>1</sup>; and for passenger carriers, tariffs or schedules (49 CFR 1312).

This authority is subject to any terms, conditions, and limitations as are now, or may later be, attached to this privilege.

The transportation service to be performed is described on the reverse side of this document.

By the Commission.

(SEAL)

SIDNEY L. STRICKLAND, JR.  
Secretary

NOTE: If there are any discrepancies regarding this Permit, please notify the Commission within 30 days.

<sup>1</sup>While the execution of contracts must be accomplished, it is unnecessary to file them with the Commission.



U.S. Department  
of Transportation  
Federal Highway  
Administration

400 Seventh St. S.W.  
Washington, D.C. 20590

JULY 01, 1998

IN REPLY REFER TO:  
YOUR USDOT NO.: 389242  
REVIEW NO.: 00205742/CR

MAUMEE EXPRESS INC  
P O BOX 278  
SOMERVILLE NJ 08876-0278

DEAR MOTOR CARRIER:

THE MOTOR CARRIER SAFETY RATING FOR YOUR COMPANY IS:

SATISFACTORY

THIS SATISFACTORY RATING IS THE RESULT OF A MAY 26, 1998, REVIEW AND EVALUATION. A SATISFACTORY RATING INDICATES THAT YOUR COMPANY HAS ADEQUATE SAFETY MANAGEMENT CONTROLS IN PLACE TO EFFECT SUBSTANTIAL COMPLIANCE WITH THE FEDERAL MOTOR CARRIER SAFETY AND/OR HAZARDOUS MATERIALS REGULATIONS.

PLEASE ASSURE YOURSELF THAT ANY SPECIFIC DEFICIENCIES IDENTIFIED IN THE REVIEW REPORT HAVE BEEN CORRECTED. WE APPRECIATE YOUR EFFORTS TOWARD PROMOTING MOTOR CARRIER SAFETY THROUGHOUT YOUR COMPANY. IF YOU HAVE QUESTIONS OR REQUIRE FURTHER INFORMATION, PLEASE CONTACT THE SAFETY SPECIALIST WHO CONDUCTED THE REVIEW.

JAMES R. KEENAN  
NATIONAL FIELD COORDINATOR,  
OFFICE OF MOTOR CARRIER FIELD OPERATIONS

ACKNOWLEDGEMENT OF NOTIFICATION  
OF  
HAZARDOUS WASTE ACTIVITY

11/07/2006

Page: 2

This is to acknowledge that you have filed a Notification of Hazardous Waste Activity for the installation located at the address shown in the box below to comply with Section 3010 of the Resource Conservation and Recovery Act (RCRA). Your EPA Identification Number for that installation appears in the box below. The EPA Identification Number must be included on all shipping manifests for transporting hazardous wastes; on all Annual Reports that generators of hazardous waste, and owners and operators of hazardous waste treatment, storage and disposal facilities must file with EPA; on all applications for a Federal Hazardous Waste Permit; and other hazardous waste management reports and documents required under Subtitle C of RCRA.

EPA I.D. NUMBER:	NJD986607380
INSTALLATION NAME:	MAUMEE EXPRESS INC
INSTALLATION ADDRESS:	27 SUTTON RD LEBANON, NJ 08833
MAILING ADDRESS:	PO BOX 278 SOMERVILLE, NJ 08876

USEPA - REGION 2  
RCRA Program Branch  
390 Broadway, 32nd Floor  
New York, NY 10007-1806

ATTN: RCRA NOTIFICATIONS  
Tel: (212) 637-4106  
Fax: (212) 637-3056

USEPA - REGION 2  
RCRA Program Branch  
390 Broadway, 32nd Floor  
New York, NY 10007-1806



STATE CORPORATION COMMISSION

Richmond, March 16, 2004

*This certificate of registration to transact business in Virginia is this day issued for*

**MXI Environmental Services LLC**

*a limited liability company organized under the laws of NEW JERSEY and the said company is authorized to transact business in Virginia, subject to all Virginia laws applicable to the company and its business.*



*State Corporation Commission  
Attest:*

*Joel A. Bell*  
Clerk of the Commission

# PENNSTUART

Since 1890

ATTORNEYS AT LAW

Post Office Box 2009  
Bristol, Virginia/Tennessee 24203

804 Anderson Street  
Bristol, Tennessee 37620

Telephone 423/793-4800  
Facsimile 423/793-4900

Offices in Abingdon and Richmond, Virginia and  
Bristol, Tennessee

Additional Bar Memberships:  
NC, WV, TN, KY, WI

GEO. E. PENN (1895-1931)  
WM. A. STUART (1922-1978)

WM. W. ESKRIDGE  
STEPHEN M. HODGES  
W. CHALLEN WALLING<sup>14</sup>  
NADE W. MASSIE<sup>11, 11</sup>  
DANIEL H. CALDWELL  
MICHAEL F. BLAIR<sup>11</sup>  
WILLIAM M. MOFFET<sup>11</sup>  
MARK L. ESPOSITO<sup>11</sup>  
TIMOTHY W. GRESHAM<sup>11</sup>  
H. ASHBY DICKERSON  
SYRUS L. GEISLER<sup>11</sup>  
JILL MORGAN HARRISON<sup>1, 11, 11</sup>  
RICHARD E. LADD, JR.<sup>11</sup>  
W. BRADFORD STALLARD  
RAMESH MURTHY<sup>11</sup>  
MARK E. FRYE<sup>11</sup>  
LIBA FRISBIA CLEMENT

G.R.C. STUART (RETIRED)  
JOHN B. HEMMING (RETIRED)

ELIZABETH R. WALTERS<sup>11</sup>  
ANDREW M. HANSON<sup>11</sup>  
DANIELLE S. KISER<sup>11</sup>  
JOHN A. MARTIN<sup>11</sup>  
JESSE F. NARRON  
CAMERON S. BELL<sup>11</sup>  
KARI LOU FRANK  
ANNE L. MUSGROVE  
LAURA E. WILSON<sup>11, 11</sup>  
BRIAN J. RIFE<sup>11</sup>  
WHITNEY J. A. CAUDILL<sup>11</sup>  
JAMES R. PERKINS<sup>11</sup>  
TRACEY A. BERRY<sup>11, 11</sup>  
STEVEN H. THEISEN

E mail: [walling@pennstuart.com](mailto:walling@pennstuart.com)  
Printer's Direct Dial: 423/793-4811

September 15, 2005

Virginia State Corporation Commission  
Attn: Registered Agent Section  
Corporate Operations Division  
P.O. Box 1197  
Richmond, VA 23218-1197

Re: MXI Environmental Services LLC  
SCC ID # T024242-2  
Our File No. 4845-12

Dear Sir or Madam:

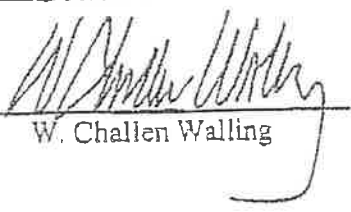
Please find enclosed for filing a Statement of Change of Registered Office and/or Registered Agent form for MXI Environmental Services LLC.

Thank you for your attention to this matter.

Very truly yours,

PennStuart

By:

  
W. Challen Walling

WCW/jf

Enclosure

cc: Mr. Ron Potter



LLC-1016 (09/04)

COMMONWEALTH OF VIRGINIA  
STATE CORPORATION COMMISSION

STATEMENT OF CHANGE OF REGISTERED OFFICE AND/OR REGISTERED AGENT

- 1. Limited Liability Company's Name: MXI Environmental Services LLC Limited Liability Company's SCC ID# T024242 - 2
- 2. Current registered agent's name and registered office address on record

FREDRICK A ROWLETT  
208 E MAIN ST  
ABINGDON, VA 24210-0000

Fully complete items 3, 4 and 5, even if some information remains unchanged.

- 3. Registered agent's name and registered office address, including the street and number, if any, after this statement is filed with the Commission:

Penn, Stuart & Eskridge, A Professional Corporation  
208 E. Main St.  
Abingdon, VA 24210

- 4. The registered agent named in item 3 is (mark appropriate box):

- (A) an individual who is a resident of Virginia and
  - a member or manager of the limited liability company.
  - a member or manager of a limited liability company that is a member or manager of the limited liability company.
  - an officer or director of a corporate member/manager of the limited liability company.
  - a general partner of a general or limited partnership that is a member or manager of the limited liability company.
  - a trustee of a trust that is a member of the limited liability company.
  - a member of the Virginia State Bar.

OR

- (B)  a domestic or foreign stock or nonstock corporation, limited liability company or registered limited liability partnership authorized to transact business in Virginia.

- 5. Locality of registered office:

- (A) Current registered office locality: WASHINGTON COUNTY
- (B) Registered office locality after this statement is filed:  city or  county of Washington

- 6. After the foregoing change(s) is (are) made, the limited liability company will be in compliance with the requirements of § 13.1-1015 of the Code of Virginia.

- 7. Complete "(A)" if a new registered agent is being appointed (see instructions for requisite authority):

- (A) The undersigned (manager/person who has been delegated the right and power to manage the company's business and affairs/member/person who formed the limited liability company) executes this statement on behalf of the limited liability company:

8/19/05 (Date) [Signature] (Signature) Donald Potter (Printed Name & Title)

Complete "(B)" if the registered agent (i) is remaining the same but has changed his/her/its name or business office address or (ii) is the surviving entity of a merger with the registered agent named in item 2:

- (B) The undersigned registered agent declares that a copy of this statement has been mailed to the limited liability company named in item 1, above.

\_\_\_\_\_  
(Date) \_\_\_\_\_ (Signature of Registered Agent)

SEE INSTRUCTIONS



State of New Jersey

CHRIS CHRISTIE  
*Governor*

DEPARTMENT OF ENVIRONMENTAL PROTECTION  
Division of Solid and Hazardous Waste  
MAIL CODE 401-02C, P.O. BOX 420  
TRENTON, NJ 08625-0420  
TEL: 609-984-4250  
FAX: 609-777-1951  
[www.state.nj.us/dep/dshw](http://www.state.nj.us/dep/dshw)

BOB MARTIN  
*Commissioner*

KIM GUADAGNO  
*Lt. Governor*

MXI Environmental Services LLC  
27 Sutton Road  
Lebanon, NJ 08833

JUN 22 2017

RE: Broker's A-901 Approval and Approved Registration Statement

Dear Applicants:

This is to advise you that the investigative report from the Attorney General required under N.J.S.A. 13:1E-126 et seq. has been received by the Department of Environmental Protection (Department). Based on our review of the investigative report, the Department is hereby authorizing the following entity to act as a Broker engaged in the solid waste and hazardous waste industry of New Jersey:

**MXI ENVIRONMENTAL SERVICES LLC**

As a Department-approved broker, this entity may charge a commission or fee to arrange for the transportation or disposal of solid waste or hazardous waste within this State. N.J.A.C. 7:26-16.2.

Please be advised that the license hereby issued is a "conditional" license and is modified by the terms and conditions as specified on the attached document as they have been put forth by the Attorney General's Office. Failure to meet the specified conditions will result in the revocation of this license.

This license authority is only issued to MXI Environmental Services LLC for its exclusive use and control, and it must be renewed annually by filing the Annual License Update form as well as any other change of information concerning your company or its operation as required by the Department.

Please note that you are required to obtain a Certificate of Public Convenience and Necessity (CPCN) prior to acting as a broker for solid waste. An application is enclosed. You may act as a broker for hazardous waste without a CPCN. Questions regarding the CPCN should be directed to (609) 633-1389.

Sincerely,

Roxanne Feasel, Permit Coordination Officer  
Planning & Licensing

Enclosure

c: DSFC James Mager, NJSP  
Akeel Qurashi, DAG, DOL  
Suzanne Conway, NJDEP, SWUCA  
John Barry, NJDEP, TOU  
005294 - PI 754789

## MXI Environmental Services LLC

### **Condition of Waste Broker License: Certification of Public Convenience and Necessity**

The licensee must obtain a Certificate of Public Convenience & Necessity ("CPCN") before brokering solid waste in this State.

### **Condition of Waste Broker License and Notice to Licensee: Key Employee Disclosures**

All supervisory or discretionary decisions with respect to solid waste operations can only be made by key employees disclosed to the Department pursuant to N.J.S.A. 13:1E-127(f). Therefore, MXI Environmental Services LLC is required to file a Personal History Disclosure for all key employees; that is, any supervisors, or any individuals empowered by MXI Environmental Services LLC to make discretionary decisions with respect to the solid waste operations of the company. MXI Environmental Services LLC must file a Personal History Disclosure for these individuals regardless of whether they are employees of MXI Environmental Services LLC or independent contractors.

### **Condition of Waste Broker License: Broker Must Only Engage the Services of A-901 Licensed Transporters**

The licensee must only engage the solid or hazardous transportation services of A-901 licensed entities. All transporters must comply with State and Federal transportation requirements, and have current decals affixed to their equipment. Further, in the case of hazardous waste transportation, the A-901 transporter must be licensed specifically by the Department to transport hazardous waste.

### **Condition of Waste Broker License: Official Company Name**

The State of New Jersey, Division of Commercial Recordings database indicates that this company is registered as MXI Environmental Services LLC (commercial record number: 0600096334), which is the official company name licensed as a waste broker in New Jersey. Therefore, you are required to conduct all solid waste business activities and operations under the registered and licensed name of: MXI Environmental Services LLC, including, but not limited to, billing and invoices, insurance, and all state and federal identification numbers and registrations.

### **Condition of Waste Broker License: Prohibition of Sale of License**

Pursuant to N.J.S.A. 13:1E-133: If, at any point subsequent to issuance of this license, this company has no solid waste equipment registered with NJDEP, or has no customers: the owners are prohibited from effecting any transaction which results in a change in majority ownership of the company, until NJDEP has reviewed disclosure statements from the proposed new owners and approved their participation in the New Jersey solid waste industry in accordance with N.J.S.A. 13:1E-126 to 135.

### **Condition of Waste Broker License: Attendance at a NJDEP Compliance Assistance Workshop on A-901 and related laws**

All key employees (that is, any supervisors, or any individuals empowered by MXI Environmental Services LLC to make discretionary decisions with respect to the brokering operations of the company) must attend a Compliance Assistance Workshop offered by NJDEP within 90 days of the date of this license. Please email [annamaria.penherrera@dep.nj.gov](mailto:annamaria.penherrera@dep.nj.gov) for further information.

HAZARDOUS WASTE BROKERS

I certify that I am Cory Pether the Vice President of  
Your Name Title

MXI Environmental Services LLC, and am authorized to make this certification/affidavit on behalf of MXI Environmental Services LLC, and that I have personal knowledge of the facts set forth below.

I understand that I must obtain a Certificate of Public Convenience & Necessity ("CPCN") before I can broker solid waste in the State. Without a CPCN, I may only broker hazardous waste.

I further certify that I will not broker solid waste in the State of New Jersey without first applying for and obtaining a CPCN.

I am aware that if any of the foregoing information or statement is willfully false, I am subject to punishment.

Cory Pether Date 11/21/17

HAZARDOUS WASTE BROKERS - PLEASE MAIL THIS COMPLETED FORM TO:  
NJDEP, PLANNING & LICENSING, ROXANNE FEASEL, A-901 UNIT, 401 E. STATE STREET, PO BOX 420, MAIL CODE: 401-02C, TRENTON, NJ 08625-0420



State of New Jersey

DEPARTMENT OF ENVIRONMENTAL PROTECTION  
Division of Solid and Hazardous Waste  
MAIL CODE 401-02C, P.O. Box 420  
TRENTON, NJ 08625-0420  
TEL: 609-984-4230  
FAX: 609-777-1931  
[www.state.nj.gov/denr/dsw](http://www.state.nj.gov/denr/dsw)

Acknowledgment and Agreement

By accepting this license, I hereby agree to comply with the conditions of this license, which shall be enforceable as a final agency order in the Superior Court of New Jersey, under NJ Court Rule 4:67-6. I agree not to contest the terms or conditions of this license in any action to enforce the conditions contained within this license.

Date: 11/11/11  
Signature: [Handwritten Signature]  
Title: [Handwritten Title]

Date: 11/11/11  
Signature: [Handwritten Signature]  
Title: [Handwritten Title]

Date: 11/11/11  
Signature: [Handwritten Signature]  
Title: [Handwritten Title]

By FAX Environment@NJSEA.com NJSEA  
#005294

This Certificate is  
Non-Transferable



State of New Jersey

CHRIS CHRISTIE  
Governor

Department of Environmental Protection  
Division of Solid & Hazardous Waste  
Bureau of Planning & Licensing  
401 East State Street, Mail Code 401-02C  
P.O. Box 420  
Trenton, New Jersey 08625

BOB MARTIN  
Commissioner

KIM GUADAGNO  
Lt. Governor

CERTIFICATE  
OF  
PUBLIC CONVENIENCE AND NECESSITY

HEREBY ISSUED TO: MXI ENVIRONMENTAL SERVICES LLC

STREET ADDRESS

27 SUTTON ROAD  
LEBANON, NEW JERSEY 08833

MAILING ADDRESS

27 SUTTON ROAD  
LEBANON, NEW JERSEY 08833


SW NUMBER: SW3354

FOR AUTHORITY TO ENGAGE IN THE BUSINESS OF SOLID WASTE COLLECTION AS  
DEFINED IN N.J.S.A. 13:1E-1 ET SEQ. IN AND ABOUT THE STATE OF NEW JERSEY

The authority granted shall not exceed that requested in Docket No. CF2017-051

IT IS MADE A CONDITION OF THIS CERTIFICATE THAT THE HOLDER SHALL OPERATE  
IN COMPLIANCE WITH THE AUTHORITY HEREIN GRANTED UNDER THE PROVISIONS  
OF N.J.S.A. 48:13A-1 ET SEQ. AND N.J.S.A. 13:1E-1 ET SEQ. FAILURE TO DO SO SHALL  
CONSTITUTE SUFFICIENT GROUNDS FOR SUSPENSION OR REVOCATION PURSUANT  
TO N.J.S.A. 48:13A-9 ET SEQ.

Date of Issue 12-01-2017

  
Seth Hackman, Supervisor  
Bureau of Planning & Licensing



**pennsylvania**  
DEPARTMENT OF ENVIRONMENTAL PROTECTION

**ACKNOWLEDGEMENT OF NOTIFICATION OF  
REGULATED WASTE ACTIVITY (VERIFICATION)**

This is to acknowledge that you have filed a Notification of Regulated Waste Activity for the installation located at the address shown below to comply with Section 3010 of the Resource Conservation and Recovery Act (RCRA). Your EPA Identification Number for that installation is identified below. The EPA Identification Number must be included on all shipping manifests for transporting hazardous wastes; on all Biennial Reports that are from generators of hazardous waste, for Biennial Reports from hazardous waste treatment, storage, and disposal facilities; on all applications for State or Federal Hazardous Waste Permits; and other hazardous waste management reports and documents required under Subtitle C of RCRA. The EPA Identification Number is also necessary to manage, collect, and transport waste oil in the state of Pennsylvania.

The Pennsylvania Hazardous Waste Management regulations closely mirror the Federal regulations. Links to Pennsylvania's regulations, along with Fact Sheets, Compliance Guides and much more useful compliance information may be found on the Department's Hazardous Waste Web page at [www.dep.state.pa.us](http://www.dep.state.pa.us). The Hazardous Waste page is found under subjects "H" for Hazardous Waste.

**EPA ID NO.:**  
PAR000520940  
LQG HANDLER OF UNIVERSAL WASTE

**INSTALLATION ADDRESS:**  
MXI ENVIRONMENTAL SERVICES LLC  
297 ZIMMERMAN LN  
LANGHORNE PA 19047

**MAILING ADDRESS:**  
MXI ENVIRONMENTAL SERVICES LLC  
Attn: RONALD POTTER  
297 ZIMMERMAN LN  
LANGHORNE PA 19047

March 23, 2010



STATE CORPORATION COMMISSION

*Richmond, May 19, 2000*

*This is to certify that a certificate of authority to transact business in Virginia was this day issued and admitted to record in this office for*

**MAUMEE EXPRESS, INC.**

*a corporation organized under the laws of NEW JERSEY and that the said corporation is authorized to transact business in Virginia, subject to all Virginia laws applicable to the corporation and its business.*



*State Corporation Commission*

*Attest:*

*[Signature]*



EPA

ACKNOWLEDGEMENT OF NOTIFICATION OF  
REGULATED WASTE ACTIVITY (VERIFICATION)

---

This is to acknowledge that you have filed a Notification of Regulated Waste Activity for the Installation located at the address shown below to comply with Section 3010 of the Resource Conservation and Recovery Act (RCRA). Your EPA Identification Number for that installation is identified below. The EPA Identification Number must be included on all shipping manifests for transporting hazardous wastes; on all Biennial Reports that generators of hazardous waste, and owner and operators of hazardous waste treatment, storage and disposal facilities must file with EPA; on all applications for a Federal Hazardous Waste Permit; and other hazardous waste management reports and documents required under Subtitle C of RCRA.

**EPA ID No.:**  
VAR000503912

**Installation Address:**  
MAUMEE EXPRESS INC  
26319 Old Trail Road  
Abingdon, VA 24210

**Mailing Address:**  
**Attn:** Chris Widener, Mgr  
PO Box 1537  
Abingdon, VA 24212  
276-628-1156

**Generator Status:**  
Transporter

- 1= Large Quantity Generator
- 2= Small Quantity Generator
- 3= Conditionally Exempt Small Quantity Generator



## COMMONWEALTH of VIRGINIA

### DEPARTMENT OF ENVIRONMENTAL QUALITY

Street address: 629 East Main Street, Richmond, Virginia 23219

Mailing address: P.O. Box 1105, Richmond, Virginia 23218

TDD (804) 698-4021

www.deq.virginia.gov

Douglas W. Domenech  
Secretary of Natural Resources

David K. Paylor  
Director

(804) 698-4000  
1-800-592-5482

### HAZARDOUS WASTE TRANSPORTER PERMIT RENEWAL

Maumee Express, Inc. is hereby granted permission to operate as a hazardous waste transporter in accordance with the provisions of Chapter 14, Section 10.1-1426 of the 1950 Code of Virginia, as amended, and 9 VAC 20-60-450 of the Virginia Hazardous Waste Management Regulations (VHWMR) as codified in Title 9 of the Virginia Administrative Code.

The transporter of hazardous wastes must meet all provisions of Part VII of the VHWMR.

The term of the transporter permit shall be ten (10) years from the effective date, unless terminated earlier in accordance with 9 VAC 20-60-450 of the VHWMR as codified in Title 9 of the Virginia Administrative Code.

Maumee Express, Inc. has been assigned the control numbers shown below which must appear on all correspondence related to the transport of hazardous waste, all manifests and all documents related to the reporting of a spill or accident. These numbers may not be transferred without the approval of the Director of the Department of Environmental Quality.

Hazardous Waste Transport ID Number:

NJD986607380

Virginia Hazardous Waste Transporter Permit Number:

NJD9866073801

Date of Issue:

April 24, 2013

Date of Expiration:

April 24, 2023

April 24, 2013

Date Signed

Leslie A. Romanchik  
Hazardous Waste Program Manager  
Office of Waste Permitting and Compliance



State of New Jersey  
 DEPARTMENT OF ENVIRONMENTAL  
 PROTECTION AND ENERGY

Division of Solid Waste Management  
 CN 414  
 Trenton, NJ 08625-0414  
 Tel.# 609-530-4004  
 Fax.# 609-530-4000

IN THE MATTER OF THE APPLICATION )  
 BY MAUMEE EXPRESS, INC. FOR A ) SOLID WASTE  
 CERTIFICATE OF PUBLIC CONVENIENCE ) ORDER  
 AND NECESSITY TO TRANSPORT SOLID ) DOCKET NO. CP05940066  
 WASTE )

Ronald Potter, President, 713 D East Main Street, Bridgeton, New Jersey 08607 for Maumee Express, Inc.

George D. Elio, Program Development Specialist III, 600 Hightstown Avenue, Hightstown, New Jersey 08520 for the Bureau of Registration, Division of Solid Waste Management

On July 10, 1987, Ronald Potter, Inc. (Applicant), a licensed hazardous waste transporter in the State of New Jersey, located at 713 D East Main Street, Bridgeton, NJ 08607 filed an application with the Department of Environmental Protection and Energy (Department) pursuant to N.J.A.C. 17:27A-6, for a certificate of Public Convenience and Necessity (Certificate) to engage in the business of solid waste transportation.

Under the P.C.N.A., 1972, persons who are permitted to engage in the solid waste transportation, collection or disposal business shall comply with the Department's regulations, including the Department's rules and approved the proposed collection or disposal system to be regulated with and approved by the Department.

The Applicant proposes to transport small quantities of solid waste incidentally to the transportation of hazardous waste for various clients. The Applicant has agreed that the transportation of this incidental solid waste will always be treated as a hazardous waste and transported to an authorized hazardous waste transfer, storage and disposal facility, either in New Jersey or out of state unless it constitutes source separated recyclable material which are transported to an approved recycling facility. As requested by the Department, the Applicant has submitted an Affidavit that such waste meets the criteria for its transportation of this incidental solid waste.

The Applicant submitted a copy of the notice of approval of the Department's rules and regulations which are required under N.J.A.C. 17:27A-6.

NEW JERSEY DEPARTMENT OF TRANSPORTATION

After review of the application as filed, the Department finds that the applicant has met the necessary requirements as to sufficient equipment to conduct the proposed operations in New Jersey, A-201 approval, experience and training to be granted a Certificate. Therefore, the Department HEREBY AUTHORIZES the issuance of a Certificate identifying A-201 No. 1878, to engage in the solid waste transportation business in New Jersey as specified hereinabove. Operations authorized herein are subject to the rights and duties of public utilities as set forth in Title 46, New Jersey Statutes Annotated and Title 14, New Jersey Administrative Code. Further, the Department HEREBY ACCEPTS the Affidavit (attached hereto) whereby the Applicant certifies that it will accept the applicant from the necessity of filing a bond as required by N.J.A.C. 14:3-11.7.

This Order shall not limit, prevent, or in any manner affect the authority of the Department or State to institute any proceeding, civil, criminal, regulatory, or administrative, in any federal or state court or agency with respect to anti-trust, monopoly, or restricted or exclusive service, franchises to serve or other activities of the applicant. This Order shall not limit, prevent, or in any manner affect the authority of the Department, or any federal or state court or agency.

Should the fitness to serve of Hackett Express, Inc. be successfully challenged in any legal and/or administrative proceeding, or should Hackett Express, Inc. or its owner, officer or employee be found to have violated any statutory or regulatory provision, the Department hereby reserves its right to amend, change, and/or rescind any provisions of this Order, as in its judgment the public safety, health and welfare require.

However, this Order is conditional and contingent upon Hackett Express, Inc. registering its vehicles with the Department within thirty (30) days of the date of this Order. Applicant's Certificate will be given approval only to the extent consistent with the applicable regulations and supporting documents incorporated herein. Hackett Express, Inc. expand the scope of its solid waste operations without seeking approval to do so, including filing a Certificate, the Applicant shall be subject to penalties and fines pursuant to applicable law.

Very truly yours,  
[Signature]  
[Title]  
[Address]



## COMMONWEALTH of VIRGINIA

DEPARTMENT OF ENVIRONMENTAL QUALITY  
Street address: 629 East Main Street, Richmond, Virginia 23219  
Mailing address: P.O. Box 1105, Richmond, Virginia 23218  
TDD (804) 698-4021  
www.deq.virginia.gov

Douglas W. Domenech  
Secretary of Natural Resources

David K. Paylor  
Director

(804) 698-4000  
1-800-592-5482

April 24, 2013

Mr. Ron Potter, CEO  
Maumee Express, Inc.  
P. O. Box 278  
Somerville, NJ 08876

Re: **Hazardous Waste Transporter Permit Renewal**  
**Maumee Express, Inc.**  
**EPA ID Number NJD986607380**

Dear Mr. Potter:

Enclosed is your Renewed Virginia Hazardous Waste Transporter Permit Number NJD98660673801. Should the name, EPA ID Number, or corporate ownership change, the Virginia Department of Environmental Quality (DEQ), Office of Waste Permitting and Compliance (OWPC) must be notified within thirty (30) days. The transporter permit will then be revoked and reissued in accordance with 9 VAC 20-60-450.E.2 of the Virginia Hazardous Waste Management Regulations (VHWMR) as codified in Title 9 of the Virginia Administrative Code. Within 30 days of the receipt of the reissued permit, the original permit shall be returned to the DEQ, OWPC.

Your permit expires ten (10) years from the effective date of renewal, April 24, 2013. Reapplication for a new permit must be received thirty (30) days prior to the expiration date of April 24, 2023.

All transporters holding Virginia permits must submit an annual report by April 1, of each year. This report covers activities involving hazardous waste, which originates or terminates in Virginia. This report must be submitted even if there was no activity. The annual report forms are enclosed for your convenience.

If you have any further questions concerning the regulations or permit, please contact me at (804) 698-4237 or by e-mail at Julia.King-Collins@deq.virginia.gov.

Sincerely,

A handwritten signature in cursive script that reads "Julia King-Collins".

Julia M. King-Collins  
Environmental Specialist II  
Office of Waste Permitting and Compliance

Enclosure

cc: HW files  
Transporter Permit Notebook

This Certificate is  
Non-Transferable

No. SW 1272

# State of New Jersey

Department of Environmental Protection and Energy  
Division of Solid Waste Management

## CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY

Hereby issued to:

NAME Naumee Express, Inc.

ADDRESS 713 D East Main Street, Bridgewater, New Jersey 08807

FOR AUTHORITY TO ENGAGE IN THE BUSINESS OF SOLID WASTE COLLECTION AS DEFINED IN  
N.J.S.A. 48-13A-1 ET SEQ. AND N.J.S.A. 13.1E-1 ET SEQ. IN AND ABOUT THE STATE OF NEW JERSEY

NJDEPE/DSWM CERTIFICATE NO. 18582

The authority granted herein shall not exceed that expressed and  
implied for in the application and tariff, Docket No. 9703860-A

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State of New Jersey  
Department of Environmental Protection and Energy  
Division of Solid Waste Management

CN 414  
Trenton, NJ 08625-0414  
Tel. # 609-530-8591  
Fax. # 609-530-8899

Scott A. Weiner  
Commissioner

Steven Gabel  
Director

November 27, 1991

Maumee Express, Inc.  
44 Wall Street  
Princeton, NJ 08872

Re: Solid Waste Transporter License  
N.J.S.A. 13:1E-126 et seq.

Dear Mr. Potter:

This is to advise you that the investigative report from the Attorney General required under N.J.S.A. 13:1E-126 et seq. has been received by the Department of Environmental Protection and Energy. Based on our review of the investigative report and the disclosure statement, your other application papers, and the Department's enforcement history, the Department is issuing a solid waste transporter license to Maumee Express, Inc. This license must be renewed annually by filing the annual license update form and any other information concerning your company or its operation as required by the Department.

This letter will serve as documentation that Maumee Express, Inc. has been issued a solid waste transporter license. A license certificate will follow at a later date. Please fill out the enclosed application to register your company's equipment prior to initiating business activities.

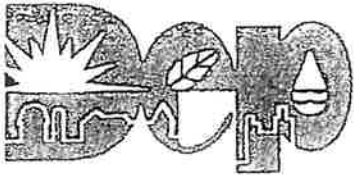
If you have any further questions concerning this license, please contact Dean Fuller at (609) 530-8212. For any questions regarding equipment registration, please contact Michael Nalbhone at (609) 530-4004.

Sincerely,

Charles E. DeWeese, P.E.  
Assistant Director  
Office of Investigation  
and Enforcement

Enclosure

c: Rai Belonzi, Chief BCE, DSWM  
Thomas Kearns, Chief BR, DSWM  
Dean Fuller, DSWM  
Michael Nalbhone, BR, DSWM  
Harley Williams, DAG



Pennsylvania Department of Environmental Protection

2 East Main Street  
Norristown, PA 19401  
December 12, 2005

Southeast Regional Office

Phone: 484-250-5960  
Fax: 484-250-5961

Mr. Ronald S. Potter  
Maumee Express, Inc.  
P.O. Box 278  
Somerville, NJ 08876

Re: In-transit Storage  
287 Zimmerman Lane  
Bristol Township  
Bucks County

Dear Mr. Potter:

The Department has finished the review of your request to extend the time of your in-transit storage at your Bristol facility. The extension from 3 to 10 days is approved.

If you have any questions concerning this matter, please feel free to call me at 484-250-5746.

Sincerely,

James A. Pagano  
Waste Management Supervisor  
Waste Management Program

cc: Mr. Page  
Mr. Baker  
File  
Re (GJS05)346



NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
DIVISION OF MATERIALS MANAGEMENT

**PART 364**  
**WASTE TRANSPORTER PERMIT NO. NJ-334**

Pursuant to Article 27, Titles 3 and 15 of the Environmental Conservation Law and 6 NYCRR 364

**PERMIT ISSUED TO:**

MAUMEE EXPRESS, INC.  
297 ZIMMERMAN LANE  
LANGHORNE, PA 19047

**PERMIT TYPE:**

- NEW  
 RENEWAL  
 MODIFICATION

CONTACT NAME: RONALD POTTER/JOHN BROTHERS  
COUNTY: OUT OF STATE  
TELEPHONE NO: (800)742-5542

EFFECTIVE DATE: 04/01/2022  
EXPIRATION DATE: 03/31/2023  
US EPA ID NUMBER: NJD986607380

**AUTHORIZED WASTE TYPES BY DESTINATION FACILITY:**

The Permittee Is Authorized to Transport the Following Waste Type(s) to the Destination Facility listed :

Destination Facility	Location	Waste Type(s)	Note
ADVANCED CHEMICAL COMPANY	WARWICK , RI	Hazardous Industrial/Commercial	
ADVANCED DISPOSAL GREENTREE LANDFILL, LLC	KERSEY , PA	Non-Hazardous Industrial/Commercial	
AERC RECYCLING SOLUTIONS (MITCHELL AVE)	ALLENTOWN , PA	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
ALLIED WASTE CARBON LIMESTONE LANDFILL	LOWELLVILLE , OH	Non-Hazardous Industrial/Commercial	
AMERICAN BIO MASS	WALTERBORO , SC	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
AMERICAN ENVIRONMENTAL SERVICES	CALVERT CITY , KY	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
AMERICAN LAMP RECYCLING, LLC	MARLBORO , NY	Universal Waste	
BETHLEHEM APPARATUS COMPANY, INC	HELLERTOWN , PA	Non-Hazardous Industrial/Commercial	
CALGON CARBON CORP	CATLETTSBURG , KY	Hazardous Industrial/Commercial	
CASIE ECOLOGY OIL SALVAGE INC	VINELAND , NJ	Non-Hazardous Industrial/Commercial Petroleum Contaminated Soil Hazardous Industrial/Commercial Waste Oil	
CHEMTRON CORPORATION	AVON , OH	Non-Hazardous Industrial/Commercial Asbestos Hazardous Industrial/Commercial Waste Oil	

\*\*\* AUTHORIZED WASTE TYPES BY DESTINATION FACILITY LISTING (continued on next page) \*\*\*

**NOTE:** By acceptance of this permit, the permittee agrees that the permit is contingent upon strict compliance with the Environmental Conservation Law, all applicable regulations, and the General Conditions printed on the back of this page.

**ADDRESS:**

New York State Department of Environmental Conservation  
Division of Materials Management - Waste Transporter Program  
625 Broadway, 9th Floor  
Albany, NY 12233-7251

AUTHORIZED SIGNATURE: Laura Stevens Digitally signed by Laura Stevens  
Date: 2022.03.07 14:29:45 -0500 Date:      /      /

# WASTE TRANSPORTER PERMIT

## GENERAL CONDITIONS

The permittee must:

1. Carry a copy of this waste transporter permit in each vehicle used to transport waste. Failure to produce a copy of the permit upon request is a violation of the permit.
2. Display the full name of the transporter on both sides of each vehicle and display the waste transporter permit number on both sides and rear of each vehicle containing waste. The displayed name and permit number must be in characters at least three inches high and of a color that contrasts sharply with the background.
3. Transport waste only in authorized vehicles. An authorized vehicle is one that is listed on this permit.
4. Submit to the Department a modification application for additions/deletions to the authorized fleet of vehicles. The permittee must wait for a modified permit before operating the vehicles identified in the modification application.
5. Submit to the Department a modification application to add a new waste category or a new destination facility, or to change the current waste or destination facility category. The permittee must wait for a modified permit before transporting new waste types or transporting to new destination facilities.
6. Submit to the Department a modification application for any change to the permit.
7. Comply with requirements for placarding and packaging as set forth in New York State Transportation Law as well as any applicable federal rules and regulations.
8. Contain all wastes in the vehicle so there is no leaking, blowing, or other discharge of waste.
9. Use vehicles to transport only materials not intended for human or animal consumption unless the vehicle is properly cleaned.
10. Comply with requirements for manifesting hazardous waste, regulated medical waste, or low-level radioactive waste as set forth in the New York State Environmental Conservation Law and the implementing regulations. Transporters who provide a pre-printed manifest to a generator/shipper/offeror of regulated waste shall ensure that all information is correct and clearly legible on all copies of the manifest.
11. Deliver waste only to transfer, storage, treatment and disposal facilities authorized to accept such waste. Permittee must demonstrate that facilities are so authorized if requested to do so.
12. Maintain liability insurance as required by New York State Environmental Conservation Law.
13. Maintain records of the amount of each waste type transported to each destination facility on a calendar-year basis. The transporter is obligated to provide a report of this information to the Department by March 1 of each year.
14. Pay regulatory fees on an annual basis. Non-payment may be cause for revocation or suspension of permit.
15. This permit is not transferrable. A change of ownership will invalidate this permit.
16. This permit does not relieve the permittee from the obligation to obtain any other approvals or permits, or from complying with any other applicable federal, state, or local requirement.
17. Renewal applications must be submitted no less than 30 days prior to the expiration date of the permit to:

**New York State Department of Environmental Conservation  
Division of Materials Management, Waste Transporter Program  
625 Broadway, 9<sup>th</sup> Floor  
Albany, NY 12233-7251**

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
DIVISION OF MATERIALS MANAGEMENT

**PART 364**  
**WASTE TRANSPORTER PERMIT NO. NJ-334**

Pursuant to Article 27, Titles 3 and 15 of the Environmental Conservation Law and 6 NYCRR 364

**PERMIT ISSUED TO:**

MAUMEE EXPRESS, INC.  
297 ZIMMERMAN LANE  
LANGHORNE, PA 19047

**PERMIT TYPE:**

- NEW  
 RENEWAL  
 MODIFICATION

CONTACT NAME: RONALD POTTER/JOHN BROTHERS  
COUNTY: OUT OF STATE  
TELEPHONE NO: (800)742-5542

EFFECTIVE DATE: 04/01/2022  
EXPIRATION DATE: 03/31/2023  
US EPA ID NUMBER: NJD986607380

**AUTHORIZED WASTE TYPES BY DESTINATION FACILITY:** (Continued)

The Permittee is Authorized to Transport the Following Waste Type(s) to the Destination Facility listed:

Destination Facility	Location	Waste Type(s)	Note
CLEAN EARTH OF MORGANTOWN	MORGANTOWN , WV	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
CLEAN EARTH OF NORTH JERSEY	KEARNY , NJ	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
CLEAN EARTH OF PHILADELPHIA	PHILADELPHIA , PA	Non-Hazardous Industrial/Commercial Petroleum Contaminated Soil	
CLEAN HARBORS DEER PARK	LAPORTE , TX	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
CLEAN HARBORS EL DORADO, LLC	EL DORADO , AR	Non-Hazardous Industrial/Commercial Asbestos Petroleum Contaminated Soil Waste Tires Grease Trap Waste Hazardous Industrial/Commercial Waste Oil	
CLEAN HARBORS PPM, LLC	TWINSBURG , OH	Hazardous Industrial/Commercial	
CLEAN HARBORS REIDSVILLE, LLC.	REIDSVILLE , NC	Hazardous Industrial/Commercial	
Clean Water of New York Inc	Staten Island , NY	Non-Hazardous Industrial/Commercial Waste Oil	
COLT REFINING, INC.	MERRIMACK , NH	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
CONESTOGA LANDFILL	MORGANTOWN , PA	Non-Hazardous Industrial/Commercial Petroleum Contaminated Soil	
Covanta Niagara I, LLC	Niagara Falls , NY	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
COVANTA UNION INC	RAHWAY , NJ	Non-Hazardous Industrial/Commercial	
CUMBERLAND COUNTY LF-NEWBURG	NEWBURG , PA	Non-Hazardous Industrial/Commercial Petroleum Contaminated Soil	
CWM CHEMICAL SERVICES LLC	MODEL CITY , NY	Non-Hazardous Industrial/Commercial Asbestos Petroleum Contaminated Soil Hazardous Industrial/Commercial	

\*\*\* AUTHORIZED WASTE TYPES BY DESTINATION FACILITY LISTING (continued on next page) \*\*\*

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**AUTHORIZED WASTE TYPES BY DESTINATION FACILITY:** (Continued)

The Permittee is Authorized to Transport the Following Waste Type(s) to the Destination Facility listed :

Destination Facility	Location	Waste Type(s)	Note
CWM CHEMICAL SERVICES LLC	MODEL CITY , NY	Waste Oil	
CYCLE CHEM (NJ)	ELIZABETH , NJ	Non-Hazardous Industrial/Commercial Asbestos Petroleum Contaminated Soil Hazardous Industrial/Commercial Waste Oil	
CYCLE CHEM (PA)	LEWISBERRY , PA	Non-Hazardous Industrial/Commercial Asbestos Petroleum Contaminated Soil Grease Trap Waste Hazardous Industrial/Commercial Waste Oil	
DCS,DISPOSAL CONSULTING SERVICES, INC.	PISCATAWAY , NJ	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
DYNAMIC RECYCLING LLC	BRISTOL , TN	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
E. I. DUPONT DENEMOURS AND COMPANY	DEEPWATER , NJ	Hazardous Industrial/Commercial	
ECOFLO	GREENSBORO , NC	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
ENVIRITE OF PENNSYLVANIA	YORK , PA	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
ENVIRONMENTAL ENTERPRISES, INC	CINCINNATI , OH	Non-Hazardous Industrial/Commercial Asbestos Petroleum Contaminated Soil Hazardous Industrial/Commercial	
ENVIRONMENTAL PROTECTION SERVICES	WHEELING , WV	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
ENVIRONMENTAL QUALITY COMPANY	BELLEVILLE , MI	Non-Hazardous Industrial/Commercial Asbestos Petroleum Contaminated Soil Hazardous Industrial/Commercial	
ENVIRONMENTAL RECOVERY CORPORATION	LANCASTER , PA	Non-Hazardous Industrial/Commercial	

\*\*\* AUTHORIZED WASTE TYPES BY DESTINATION FACILITY LISTING (continued on next page) \*\*\*

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
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**AUTHORIZED WASTE TYPES BY DESTINATION FACILITY: (Continued)**

The Permittee is Authorized to Transport the Following Waste Type(s) to the Destination Facility listed :

Destination Facility	Location	Waste Type(s)	Note
ENVIRONMENTAL RECOVERY CORPORATION	LANCASTER , PA	Grease Trap Waste Waste Oil	
ENVIROSAFE SERVICES OF OHIO, INC.	OREGON , OH	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
EnviroSense, Int'l Ltd / Advanced Recycling Technology	Depew , NY	Non-Hazardous Industrial/Commercial	
EQ DETROIT, INC (US ECOLOGY DETROIT DETROIT , MI SOUTH)		Non-Hazardous Industrial/Commercial Petroleum Contaminated Soil Hazardous Industrial/Commercial	
EQ OF YORK (ENVIRITE OF PENNSYLVANIA)	YORK , PA	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
EWS ALABAMA	GLENCOE , AL	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
EXIDE CORPORATION	READING , PA	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
GENERAL ENVIRONMENTAL MANAGEMENT	CLEVELAND , OH	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
GIANT RESOURCE RECOVERY-SUMTER	SUMTER , SC	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
HERITAGE CRYSTAL CLEAN	INDIANAPOLIS , IN	Hazardous Industrial/Commercial	
HERITAGE CRYSTAL CLEAN LLC	PENNSAUKEN , NJ	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial Waste Oil Universal Waste	
HERITAGE CRYSTAL CLEAN, LLC	FAIRLESS HILLS , PA	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial Waste Oil	
HERITAGE ENVIRONMENTAL SERVICES, LLC	INDIANAPOLIS , IN	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial Universal Waste	
HERITAGE WTI, INC.	EAST LIVERPOOL , OH	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
HUKILL CHEMICAL CORPORATION	BEDFORD , OH	Non-Hazardous Industrial/Commercial	

\*\*\* AUTHORIZED WASTE TYPES BY DESTINATION FACILITY LISTING (continued on next page) \*\*\*

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
DIVISION OF MATERIALS MANAGEMENT

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Pursuant to Article 27, Titles 3 and 15 of the Environmental Conservation Law and 6 NYCRR 364

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**AUTHORIZED WASTE TYPES BY DESTINATION FACILITY: (Continued)**

The Permittee is Authorized to Transport the Following Waste Type(s) to the Destination Facility listed :

Destination Facility	Location	Waste Type(s)	Note
HUKILL CHEMICAL CORPORATION Hyland Landfill	BEDFORD , OH Angelica , NY	Hazardous Industrial/Commercial Non-Hazardous Industrial/Commercial Asbestos Petroleum Contaminated Soil Sludge from Sewage or Water Supply Treatment Plant	
IMPERIAL LANDFILL	IMPERIAL , PA	Non-Hazardous Industrial/Commercial Asbestos	
LEI INC.	HAMMOND , LA	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
LIGHTING RESOURCES	GREENWOOD , IN	Hazardous Industrial/Commercial	
MAX ENVIRONMENTAL TECHNOLOGIES	YUKON , PA	Non-Hazardous Industrial/Commercial Petroleum Contaminated Soil Hazardous Industrial/Commercial	
MERCURY WASTE SOLUTIONS	UNION GROVE , WI	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
METALLIC RESOURCE	TWINSBURG , OH	Hazardous Industrial/Commercial	
MICHIGAN DISPOSAL WASTE TREATMENT PLANT	BELLEVILLE , MI	Non-Hazardous Industrial/Commercial Asbestos Petroleum Contaminated Soil Sludge from Sewage or Water Supply Treatment Plant Hazardous Industrial/Commercial	
MODERN LANDFILL	YORK , PA	Non-Hazardous Industrial/Commercial Petroleum Contaminated Soil	
MXI ENVIRONMENTAL SERVICES	ABINGDON , VA	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial Waste Oil	
MXI ENVIRONMENTAL SERVICES, LLC	Langhorne , PA	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
NORLITE, LLC	COHOES , NY	Hazardous Industrial/Commercial Waste Oil	
NSSI/RECOVERY SERVICES, INC	HOUSTON , TX	Hazardous Industrial/Commercial	
PETROCHEM PROCESSING GROUP OF NORTRU LLC	DETROIT , MI	Hazardous Industrial/Commercial	

\*\*\* AUTHORIZED WASTE TYPES BY DESTINATION FACILITY LISTING (continued on next page) \*\*\*

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
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**AUTHORIZED WASTE TYPES BY DESTINATION FACILITY: (Continued)**

The Permittee Is Authorized to Transport the Following Waste Type(s) to the Destination Facility listed :

Destination Facility	Location	Waste Type(s)	Note
RELDAN METALS/ABINGTON METAL REFINING &MFG	FAIRLESS HILLS , PA	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
REPUBLIC ENVIRONMENTAL SYSTEMS (PA) INC.	HATFIELD , PA	Non-Hazardous Industrial/Commercial Petroleum Contaminated Soil Hazardous Industrial/Commercial	
REVERE SMELTING & REFINING CORPORATION	MIDDLETOWN , NY	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
RINECO CHEMICAL	BENTON , AR	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial Waste Oil	
ROSS INCINERATION SERVICES, INC.	GRAFTON , OH	Non-Hazardous Industrial/Commercial Petroleum Contaminated Soil Hazardous Industrial/Commercial Waste Oil	
SABIN METAL CORPORATION	SCOTTSVILLE , NY	Hazardous Industrial/Commercial	
SAFETY-KLEEN SYSTEMS, INC	LINDEN , NJ	Non-Hazardous Industrial/Commercial Waste Oil	
SAFETY-KLEEN SYSTEMS, INC.	SMITHFIELD , KY	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
SET ENVIRONMENTAL INC	HOUSTON , TX	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
SIEMENS WATER TECHNOLOGIES CORP.	ROSEVILLE , MN	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
SOUTHEASTERN PUBLIC SERVICE AUTHORITY	PORTSMOUTH , VA	Non-Hazardous Industrial/Commercial	
SPIRIT SERVICES, INC. (ELLIOT PKWY)	WILLIAMSPORT , MD	Non-Hazardous Industrial/Commercial	
SYSTECH ENVIRONMENTAL	PAULDING , OH	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
TECHNIC, INC.	CRANSTON , RI	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
TIER ENVIRONMENTAL SERVICES	GAP , PA	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
TOXCO	BALTIMORE , OH	Non-Hazardous Industrial/Commercial	

\*\*\* AUTHORIZED WASTE TYPES BY DESTINATION FACILITY LISTING (continued on next page) \*\*\*

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**AUTHORIZED WASTE TYPES BY DESTINATION FACILITY: (Continued)**

The Permittee is Authorized to Transport the Following Waste Type(s) to the Destination Facility listed :

Destination Facility	Location	Waste Type(s)	Note
TOXCO	BALTIMORE , OH	Hazardous Industrial/Commercial	
TRADEBE TREATMENT & RECYCLING, LLC	EAST CHICAGO , IN	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
TRIUMVIRATE ENVIRONMENTAL	BALTIMORE , MD	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
TRIUMVIRATE ENVIRONMENTAL INC.	STAFFORD , VA	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
TRIUMVIRATE ENVIRONMENTAL, (NYC) LLC	ASTORIA , NY	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
UN ECOLOGY	ROBSTOWN , TX	Hazardous Industrial/Commercial	
VEOLIA ENVIRONMENTAL SERVICE, LLC	SAUGET , IL	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
VEOLIA ENVIRONMENTAL SERVICES	PORT ARTHUR , TX	Hazardous Industrial/Commercial	
VEOLIA ES TECHNICAL SOLUTIONS (FORMERLY ONYX)	FLANDERS , NJ	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	
VEXOR TECHNOLOGY, INC	MEDINA , OH	Non-Hazardous Industrial/Commercial Petroleum Contaminated Soil	
VICKERY ENVIRONMENTAL, INC.	VICKERY , OH	Hazardous Industrial/Commercial	
VLS PIEDMONT, LLC	MAULDIN , SC	Non-Hazardous Industrial/Commercial Petroleum Contaminated Soil Waste Oil	
WASTE RECOVERY SOLUTIONS, INC.	MYERSTOWN , PA	Non-Hazardous Industrial/Commercial	
WHEELABRATOR BALTIMORE L.P.	BALTIMORE , MD	Non-Hazardous Industrial/Commercial	
WHEELABRATOR FALLS INC	MORRISVILLE , PA	Non-Hazardous Industrial/Commercial	
WINFIELD ALLOY INC.	LAWRENCE , MA	Hazardous Industrial/Commercial	
WM AMERICAN LANDFILL	WAYNESBURG , OH	Non-Hazardous Industrial/Commercial Petroleum Contaminated Soil	
WORLD RESOURCES COMPANY	POTTSVILLE , PA	Non-Hazardous Industrial/Commercial Hazardous Industrial/Commercial	

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**AUTHORIZED VEHICLES:**

The Permittee is Authorized to Operate the Following Vehicles to Transport Waste:

(Vehicles enclosed in <>'s are authorized to haul Residential Raw Sewage and/or Septage only)

88 (Eighty Eight) Permitted Vehicle(s)

ME 2175508	NJ TKS58U
ME 255077E	NJ TKS59U
ME 255078E	NJ TKS62U
ME 255079E	NJ TKZ86S
ME 255080E	NJ TLK71F
ME 255081E	NJ TLY27C
ME 266784A	NJ TMF10E
ME 266785A	NJ TMF11E
ME 266786A	NJ TML63G
ME 266787A	NJ TNW83T
ME 266788A	NJ TNW84T
ME 2836617	NJ TNW85T
ME 2836618	NJ TNW86T
ME 2836619	NJ TNW87T
ME 2836620	NJ TPL57Y
ME 2836621	NJ TPL59W
ME 2940096	NJ TPT83S
ME 2940097	NJ TPT84S
ME 2940098	NJ TPT85S
ME 2940099	NJ TPT86S
ME 2940100	NJ TPT87S
ME 525077E	NJ TPT88S
ME 525078E	NJ TPT90S
ME 525079E	NJ TPT91S
ME 525080E	NJ TPT92S
ME 525081E	NJ TPT93S
NJ AF548X	NJ TSV12L
NJ AT515U	NJ TSV13L
NJ AT524N	NJ TSV14L
NJ AT530N	NJ TSV15L
NJ AW264L	NJ TSV16L
NJ AW703M	NJ TSV17L
NJ AW785P	NJ TSV18L
NJ AX108K	NJ TSV19L
NJ AX109K	NJ TSV20I
NJ TAB6071	NJ TSV21L
NJ TAS54H	NJ TTT34Z
NJ TCL87S	NJ TTT35Z
NJ TEM68J	NJ TTT38Z
NJ TEM70J	NJ TTT37Z
NJ THR14K	NJ TTT43Z
NJ TJP40Z	NJ TTT44Z
NJ TJP41Z	NJ XEDK72
NJ TJP42Z	End of List
NJ TKS35T	

# OPERATING PERMIT

UNDER 26 U.S.C. 5171 (D)

1. PERMIT NO  
OP-VA-20  
2. EFFECTIVE DATE  
OCT 8 2003  
3. DATE OF APPLICATION  
MARCH 10, 2003

4. NAME OF PERMITTEE AND ADDRESS OF PERMIT PREMISES

MXI ENVIRONMENTAL SERVICES LLC  
26319 Old Trail Road  
Abingdon, VA 24210



5. PERMIT GRANTED FOR THE FOLLOWING OPERATIONS

Distilling for Industrial Use, Denaturing Spirits and Manufacturing Articles at DSP-VA-33.

*Theresa G.*



**PROPOSAL FOR SEWER SYSTEM FLOW MONITORING  
TOWN OF: LONDONDERRY, NH  
DATE: JANUARY 9, 2026**

Londonderry Department of Engineering and Environmental Services  
268B Mammouth Rd.  
Londonderry, NH 03053  
Attn: Robert Kerry

**I. PURPOSE**

The Town of Londonderry, NH, (herein called "Client") has requested from Flow Assessment Services, LLC, (herein called "Subconsultant") a proposal for specialized services in the Town of Londonderry, NH. This document represents Subconsultant's proposal to perform the requested services and includes the following:

1. A listing of the services to be provided;
2. A detailed description of the scope of services to be provided;
3. A list of Client responsibilities;
4. A list of mutual agreements between the two parties;
5. An estimated time of performance of the requested services; and
6. A fee schedule for the requested services.

**II. SCOPE OF PROFESSIONAL SERVICES TO BE PROVIDED**

The specific services to be performed by the Subconsultant shall include the following:

- A. The study area consists of select portions of the Londonderry sanitary sewer system. The system will be investigated for the purpose of quantifying wastewater flow.
- B. The Scope of Specialized Services shall include the following items and estimated work quantities.

<b>Item #</b>	<b>Description of Tasks</b>	<b>Estimated Quantity</b>
1	Flow Meter Installation	4 Meter
2	Flow Meter Operation, Maintenance, & Rental (4 Meter x 3 Weeks = 12 Meter Weeks)	12 Meter Weeks
3	Flow Data Reduction & Presentation (4 Meter x 3 Weeks = 12 Data Weeks)	12 Data Weeks
4	Rainfall Gauge Installation & Monitoring (1 Gauge x 3 Weeks = 3 Gauge Weeks)	Lump Sum

- C. Continuous flow monitoring will be performed to obtain information necessary to accurately analyze the monitoring location's flow characteristics during multiple large volume batch discharges originating in tributary areas, and determine existence of rainfall related inflow during wet weather periods. Continuous metering will be conducted for the designated time period as directed by the Client. **Data will be collected at 5 minute intervals.**

The flow monitoring will be accomplished by one of the following methods:

1. The use of continuous monitoring devices incorporating a velocity sensor combined with a depth sensor, or
2. Palmer Bowlus flumes, in conjunction with continuous depth recording.

- D. Flow monitoring data reduction and review will be performed on all data obtained each flow monitoring location. The data obtained will be reduced, evaluated, and presented in report form. One (1) copy of the completed report will be submitted to the Client. This will include, for each location, tabular reports based on 15-minute time increments.

The tabular report will be provided and will include:

A summary of daily flow information for a selected time period. The summary presents, for each day, the minimum flow rate, peak flow rate, total daily flow, total rain, peak hourly rain, and peak 15-minute rainfall, if applicable. The summary also includes the total flow volume, average daily flow, and total rainfall quantity, if applicable, for the selected time period.

Detailed flow reports of the flow rate data in 15-minute time increments will also be prepared and submitted. The detailed report will include depth of flow, velocity of flow, incremental flow rate, cumulative flow rate and recorded rainfall. The report will also include the total daily flow volume and total daily rainfall quantity, if applicable.

In addition, flow hydrographs will be prepared for each flow monitoring location, which present a plot of the recorded flow rates for a selected time period. A bar graph of rainfall recorded during the selected time period is also plotted on the hydrograph.

Further, periodically data will be posted to a secure password protected web site that will allow project personnel access to flow, rainfall and groundwater recorded data. Users then can prepare and review detailed flow reports, graphs and tables. Comparison between wet and dry periods as well as net flows per sub system calculations may also be performed. Online data export format capabilities included Excel, Access, and ASCII.

### **III. QUALITY CONTROL PROCEDURES**

#### **FIELD OPERATIONS – SITE SELECTION**

Since the flow monitoring site can play a significant role in obtaining accurate flow monitoring data, site selection in the field will be given a high priority. The proposed monitoring site will be visited for the specific purpose of observing flow characteristics. Every effort will be made to identify a monitoring site that will provide accurate data while attempting to comply with the original location plan.

Observations such as surcharging or backing up of flows are less than ideal for monitoring and if possible will be avoided. Manholes having more than one line entering and irregular flow/velocity patterns will also be looked on as less than favorable.

### **FLOW METER SELECTION/INSTALLATION**

Once a site has been identified the appropriate meter with any specific sensors will be installed. The installation will consist of installing tight fitting aluminum bands with both flow depth and velocity sensors mounted in such a way as not to obstruct flow or snag paper or other disposed items in the flow stream.

### **INITIAL & SUBSEQUENT FLOW VERIFICATION**

During the installation process, the meter will be operated in such a way as to instantaneously obtain and display both depth and velocity readings. Manual depth measurements will be obtained and compared to meter readings, any differences will be corrected to within 0.10 inches. Using a hand held velocity meter, readings will be obtained and compared to the metered velocity readings and adjustments to the installed equipment will be made until a reasonable match is obtained. During each maintenance visit, the following will be performed and noted on site log sheets:

- Actual depth of flow
- Metered depth of flow
- Actual flow velocity
- Metered flow velocity
- Flow pattern will be graphed for the previous period
- Scatter plots of both depth & velocity will be reviewed
- Any adjustments ( if necessary ) will be noted
- Battery voltage logged and if necessary, batteries will be replaced

### **DATA QUALITY REVIEW**

Staff operating at our headquarters will review the flow data as it is received for completeness (missing data). A more detailed review will take place at a later date when the actual field logs arrive. Flow data files will then be combined with rainfall data and graphs will be prepared to begin a more detailed review of all depth, velocity and flow data. Abnormalities such as unexplainable depth spikes or drop outs as well as inconsistent velocity trends will be noted. Additional comparison graphs will be prepared that will use both actual depth and velocity data as well as predicted data. Scatter plots will also be produced to better understand specific characteristics of the site as well as help identify isolated incorrect measurements. Adjustments or corrections, if any, will be performed and documented.

## **IV. CLIENT RESPONSIBILITIES**

The Client shall provide the following at no additional cost to the Subconsultant:

- A. Furnish copies of the necessary plot maps of all sewers to be studied. The sewer lines and manholes should be clearly marked and labeled with a numbered reference system.
- B. Make any revisions to the sewer maps in the study area based on correction data collected during the fieldwork.

- C. Make arrangements to provide traffic control as required by local public safety authorities.
- D. Make arrangements to provide access to and exposure for entry those manholes within the study area which are buried, covered or otherwise not readily accessible.
- E. Provide free and legal access to all sites of work.
- F. Assure the prompt clearance of major blockages or obstructions in the sewer system, if any, should such clearance be required for performance of the work.
- G. Provide the shutdown of certain pump stations, upon prior request, should it become necessary for the satisfactory performance of the work.
- H. In the absence of any of the assurances indicated above, give Subconsultant release from responsibility for the performance of the affected portions of the work under this Agreement.

**V. MUTUAL AGREEMENTS**

- A. Subconsultant shall not be held liable to the Client if delayed or prevented from performing the work as specified herein through any cause beyond the control of Subconsultant and not caused by his own fault or negligence, including acts of God, or the public enemy, weather conditions; acts of government, including changes in state and/or federal requirements governing sewer system evaluation surveys after the effective date of this contract; fires, floods, epidemics, strikes, jurisdictional disputes, lockouts, and freight embargoes. Subconsultant shall advise the Client, in writing, of any such delays.
- B. Subconsultant is an equal opportunity employer.
- C. Subconsultant agrees to carry (1) Comprehensive Public Liability, Property Damage, Personal Injury and Independent Contractors – not less than \$1,000,000 per accident, \$2,000,000 aggregate. (2) Automobile Liability, Bodily Injury, Property Damage – not less than \$500,000 per person \$1,000,000 per occurrence. (3) Workman’s Compensation Insurance statutory limits covering any liability of the Consultant during the course of the services performed and as described herein.
- D. The provisions of the Agreement may be revised upon written notice by either party, and the written acceptance of the revisions by both parties to this Agreement.
- E. Subconsultant shall not assign, sublet, or transfer his interest in this Agreement without the written consent of the Client.

**VI. TIME OF PERFORMANCE**

Subconsultant anticipates initiating fieldwork no later than TBD with all such fieldwork to be completed TBD. All data will be provided to the Client within 21 days of completion of each field task.

**VII. FEES**

Item #	Description of Tasks	Estimated Quantity	Unit Cost	Total Cost
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1	Flow Meter Installation	4 Meter	\$850.00	\$3,400.00
2	Flow Meter Operation, Maintenance, & Rental (4 Meter x 3 Weeks = 12 Meter Weeks)	12 Meter Weeks	\$625.00	\$7,500.00
3	Flow Data Reduction & Presentation (4 Meter x 3 Weeks = 12 Data Weeks)	12 Data Weeks	\$110.00	\$1,320.00
4	Rainfall Gauge Installation & Monitoring (1 Gauge x 3 Weeks = 3 Gauge Weeks)	Lump Sum	\$400.00	\$400.00
			<b>Total:</b>	<b>\$12,620.00</b>

**VIII. METHOD OF PAYMENT**

The Method of Payment for Professional Services outlined above shall be in the form of progress invoices to be submitted to the Client for the items above as the fieldwork is actually completed. Such invoices are due and payable within thirty (30) days.

If the above is acceptable, kindly execute both copies, retain one for your records and return the other to our office.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed in Their behalf respectively by their proper officers or officials thereunto duly authorized by their respective governing bodies on this the \_\_\_\_\_ day \_\_\_\_\_ 20\_\_\_\_.

(Londonderry Dept. of Engineering and Environmental Services)

By: \_\_\_\_\_

Witness: \_\_\_\_\_

Print Name: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_



By: \_\_\_\_\_

Witness: \_\_\_\_\_

Print Name: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

Regards,  
Flow Assessment Services, LLC

Paul Casey  
Managing Partner



# Town of Londonderry Assessing Department

268B MAMMOTH RD.  
LONDONDERRY, NH 03053  
Main: (603) 432-1100, Ext. 190

## SUPPLEMENTAL WARRANT January 12, 2026 STATE OF NEW HAMPSHIRE

### ROCKINGHAM SS

**TO: ALLISON PARSONS  
COLLECTOR OF TAXES FOR THE TOWN OF LONDONDERRY IN SAID COUNTY.**

IN THE NAME OF SAID STATE YOU ARE DIRECTED TO COLLECT THE REAL ESTATE TAXES FOR **THE SECOND HALF OF TAX YEAR 2025** FOR SIZEMORE FAMILY REVOCABLE TRUST OF 2008, 11 HOVEY ROAD, MAP 010, BLOCK 042, LOT 6, AMOUNTING TO **THE SUM OF FIVE THOUSAND, THREE HUNDRED, NINETY-EIGHTY DOLLARS AND ZERO CENTS (\$5,398.00)** WITH INTEREST AT EIGHT PERCENT (8%) ON ALL SUMS NOT PAID ON OR BEFORE THE DUE DATE.

“A TAX COLLECTOR SHALL REMIT ALL MONEY COLLECTED TO THE TOWN TREASURER, OR TO THE TOWN TREASURER’S DESIGNEE AS PROVIDED BY RSA 41:29, VI, AT LEAST ON A WEEKLY BASIS, OR DAILY WHENEVER TAX RECEIPTS TOTAL \$1,500 OR MORE.”

THE LIST ON THE FOLLOWING PAGES IS A CORRECT LIST OF ASSESSMENT OF THE COUNTY, TOWN, PRECINCT, HIGHWAY, STATE AND SCHOOL TAXES FOR THE **YEAR 2025**, UPON THE ESTATES IN SAID LONDONDERRY AND OF ALL TAXES ASSESSED ON THE REAL ESTATE IN SAID TOWN, OF PERSONS AND CORPORATIONS NOT RESIDENTS THEREIN AS MADE BY US, THE TOWN COUNCIL OF SAID LONDONDERRY.

GIVEN UNDER OUR HANDS AND SEAL, AT LONDONDERRY, **THIS 12th DAY OF January, 2026.**

  
\_\_\_\_\_  
RON DUNN, CHAIRMAN

  
\_\_\_\_\_  
SHAWN FABER

  
\_\_\_\_\_  
TED COMBES

  
\_\_\_\_\_  
DAN BOUCHARD

  
\_\_\_\_\_  
DEB PAUL

PARCEL ID	PARCEL LOCATION	OWNER AT TIME OF BILL	CURRENT OWNER	ASSESSMENT	BILL	REASON FOR SUPPLEMENTAL BILL
010 042 6	11 Hovey Rd	Sizemore Family Revocable Trust of 2008	Sizemore Family Revocable Trust of 2008	\$766,800.00	\$5,398	Computer error, building was not registering on the 2nd 1/2 assessment even though sketch and features were in Vision CAMA system.